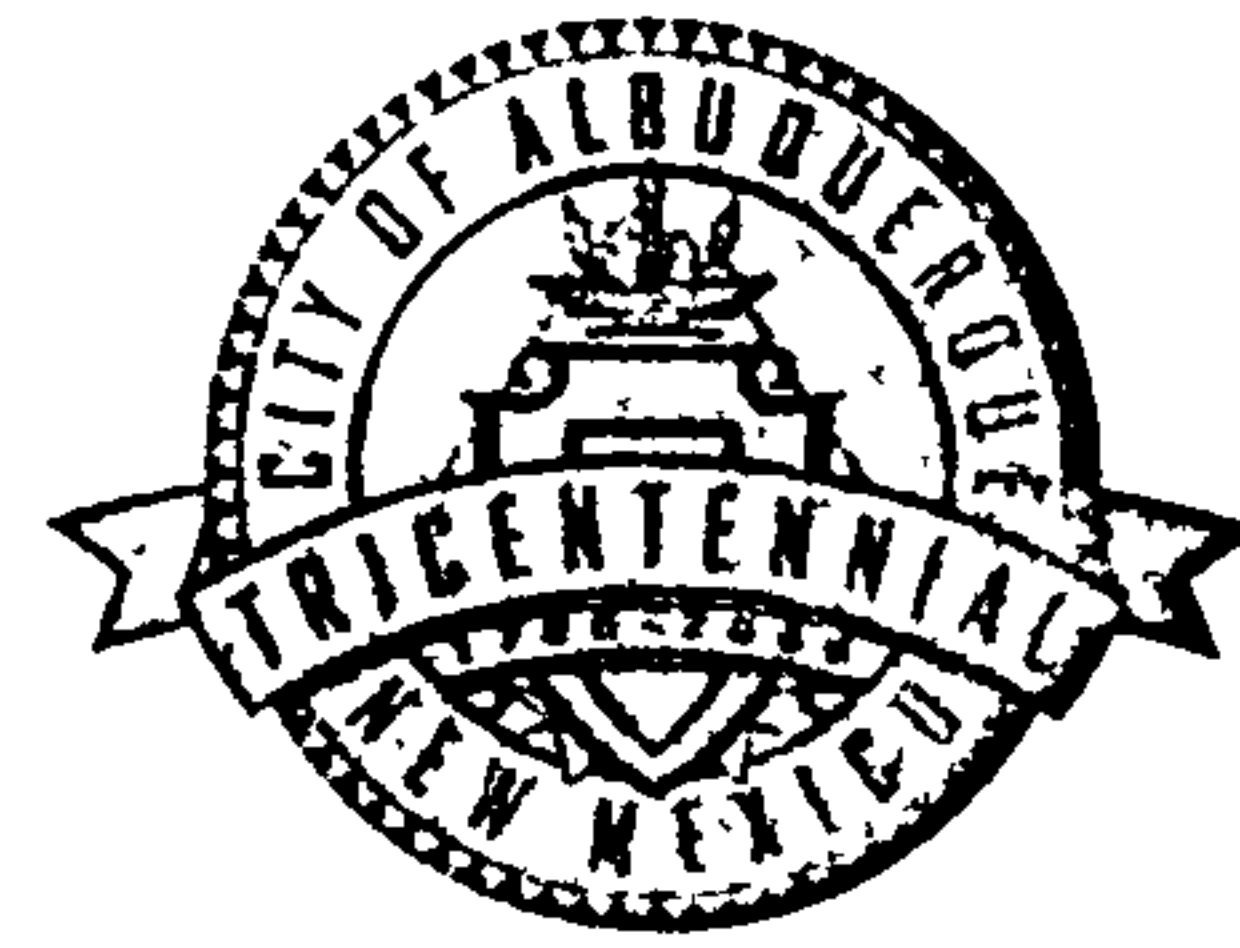


# CITY OF ALBUQUERQUE



June 15, 2006

Gregory J. Krenik, P.E.  
Mark Goodwin & Associates  
PO Box 90606  
Albuquerque, NM 87199

**Re: RV Storage on Gibson, 1400 Gibson Blvd SE**  
**Conceptual Grading and Drainage Plan**  
**Engineer's Stamp dated 5-02-06 (L15-D49)**

Dear Mr. Krenik,

Based upon the information provided in your submittal received 5-25-06, the above referenced plan is approved for Site development plan for building permit action by DRB. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology also submit a mylar copy of the grading plan for my signature in order to obtain a Grading Permit.

Before a building permit can be issued for this site, drainage calculations will be needed quantifying the amount of discharge leaving the site address off site flows and provide channel calculations.

If you have any questions, you can contact me at 924-3977.

Sincerely,

Rudy E. Rael, Associate Engineer  
Planning Department.  
Development and Building Services

C: File

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

L-15/D49

PROJECT TITLE: Gibson RV Storage

DRB #: \_\_\_\_\_

EPC#: \_\_\_\_\_

ZONE MAP/DRG. FILE #: L-15

WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: A Portion of Tract B, Gibson and Miles Area of Lan of Hugh B. Woodward

CITY ADDRESS: 1400 Gibson Blvd SE

ENGINEERING FIRM: Mark Goodwin & Associates, PA

ADDRESS: PO Box 90606

CITY, STATE: Albuquerque, NM

CONTACT: Gregory J. Krenik

PHONE: 828-2200

ZIP CODE: 87199

OWNER: Dos Piedras, LLC.

ADDRESS: 11 Koonte Road

CITY, STATE: Corrales, NM

CONTACT: Randy Stone

PHONE: 379-5645

ZIP CODE: 87048

ARCHITECT: Rick Bennett Architects

ADDRESS: 1104 Park Avenue SW

CITY, STATE: Albuquerque, NM

CONTACT: Darby Miera

PHONE: 242-6630

ZIP CODE: 87102

SURVEYOR: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: Albuquerque, NM

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: 87107

CONTRACTOR: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☒ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

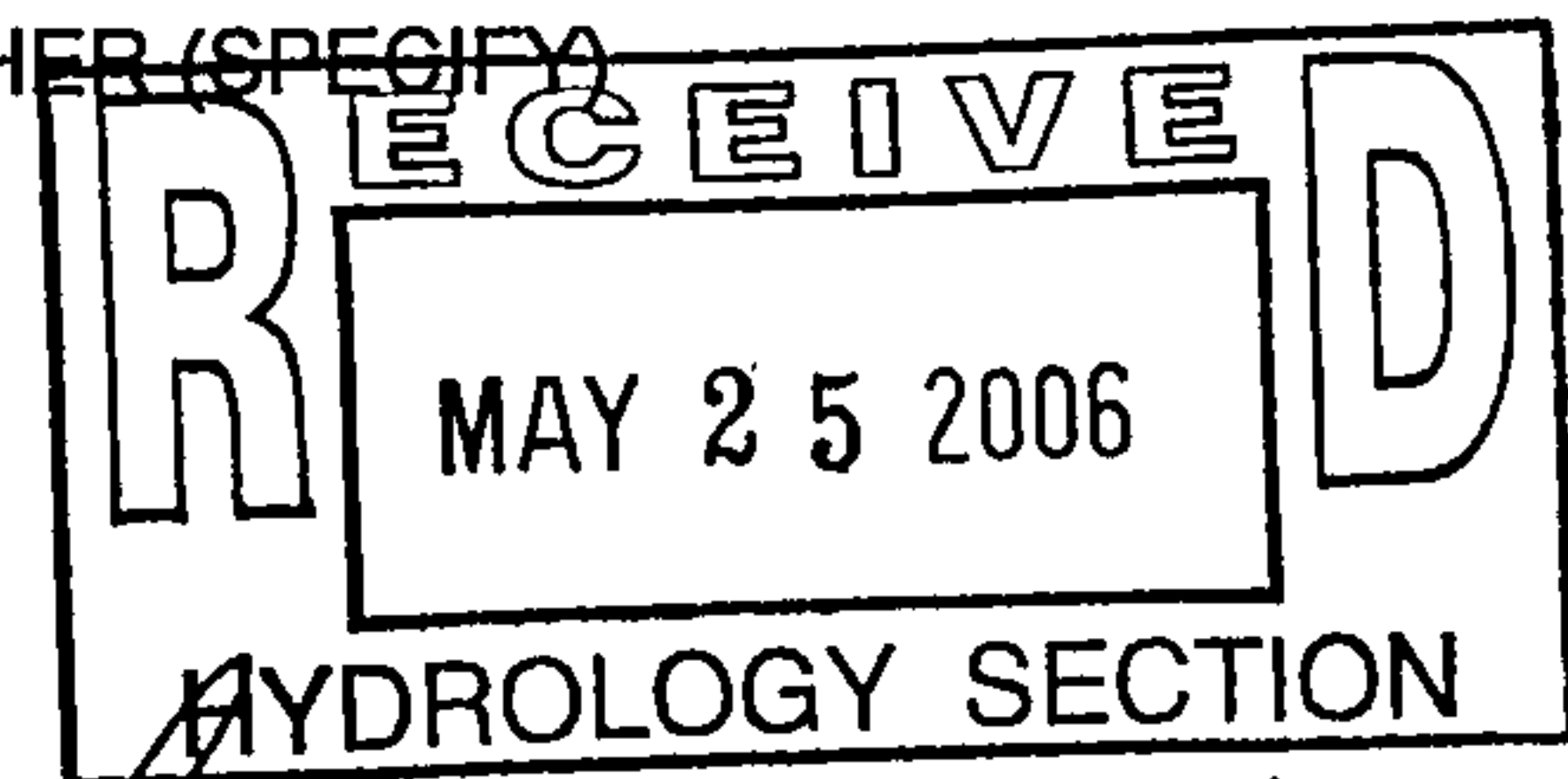
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 5/25/06

BY: Gregory J. Krenik



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

## DRAINAGE INFORMATION SHEET

PROJECT TITLE: Gibson Arby's ZONE ATLAS/DRNG. FILE #: L-15/D049 <sup>new</sup>

DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Portion of Tract B, Gibson and Miles Addition of Land of Hugh B. Wobalward

CITY ADDRESS: Gibson

ENGINEERING FIRM: Brasher & Lorenz, Inc CONTACT: Paul Brasher

ADDRESS: 2201 San Pedro NE, Bldg 1, Ste 210 PHONE: 888-6088

OWNER: Lauba Corp CONTACT: Stephen Robinson

ADDRESS: 145 West Swallows Rd PHONE: (970) 282-8505

ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

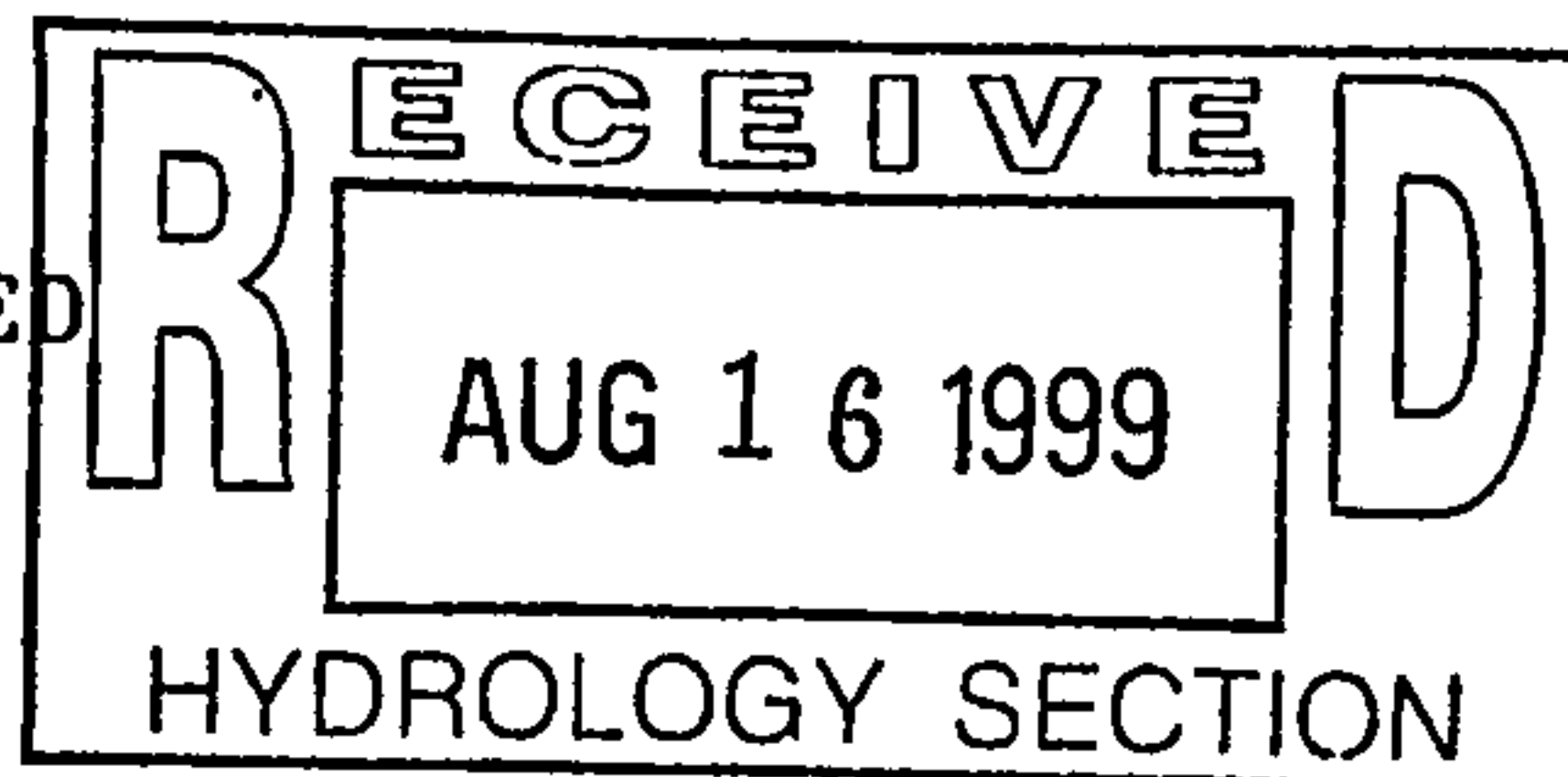
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER \_\_\_\_\_

## PRE-DESIGN MEETING:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

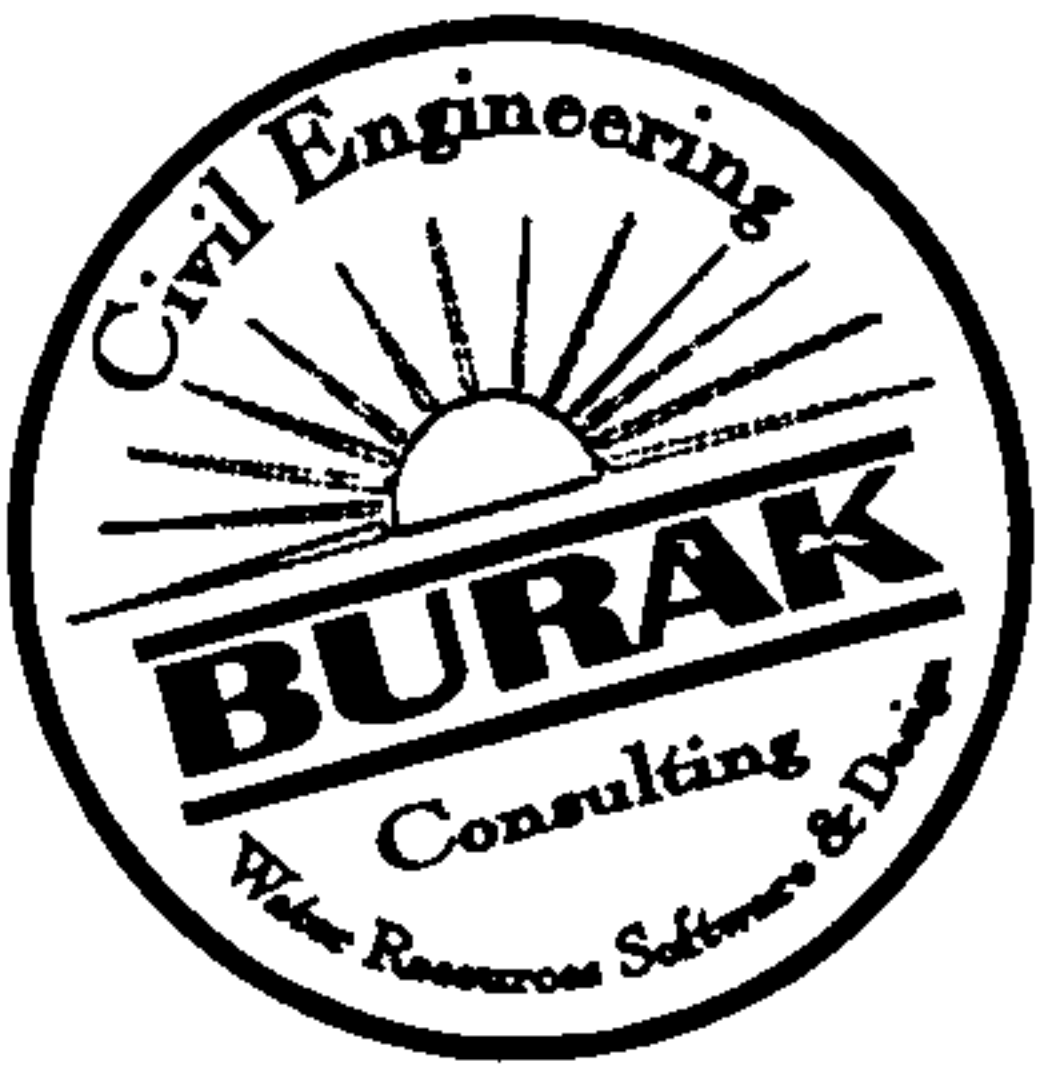


## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ OTHER \_\_\_\_\_ (SPECIFY)

DATE SUBMITTED: 8/16/99

BY: Mark J



Mark H. Burak, P.E.

1512 Sagebrush Trail SE Albuquerque, NM 87123

(505) 296-0461

235-2256 cell

296-0467 fax

---

October 5, 1999

Fred J. Aguirre, P.E., City Engineer  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

- **Case No:** L15-D049
- **Submittal dated:** August 16, 1999 by BLI
- **Project Title:** Arby's
- **Location:** Gibson, West of University
- **Approval Type:** Building Permit
- **Note:** *This submittal concerns the construction of commercial building and parking area on a 1.6-acre parcel. It is intended to discharge directly to the street based on infill site.*

Dear Mr. Aguirre:

Based on the submittal stamped August 16, 1999, the proposed grading and drainage plan appears to be sufficiently complete and can be approved for building permit.

If you have any questions regarding this letter or need any clarification concerning the above project, please feel free to call me at 296-0461.

Sincerely,

Mark H. Burak, P.E.  
Hydrology Consultant

---