

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 28, 2023

Rick Bennet, RA
RBA Architecture
1104 Park Ave. SW
Albuquerque, NM 87102

Re: Del Taco/ 1500 Gibson Blvd. SE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 10-12-2021 (L15-D049)
Certification dated 08-01-23

Dear Mr. Bennet,

Based upon the information provided in your submittal received 08-11-23, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at earmijo@cabq.gov

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File



August 10, 2023

Re: Del Taco
1500 Gibson Blvd. SE
Project # BP-2021-53946
Approved TCL Architect's Stamp 10-12-2021 (J15D049)

TRAFFIC CERTIFICATION

I, **Rick Bennett**, NMRA #1240, of the firm of RBA Architecture, PC hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL approved Site Plan dated 12/20/21 and with Architect's stamp dated 10/12/21.

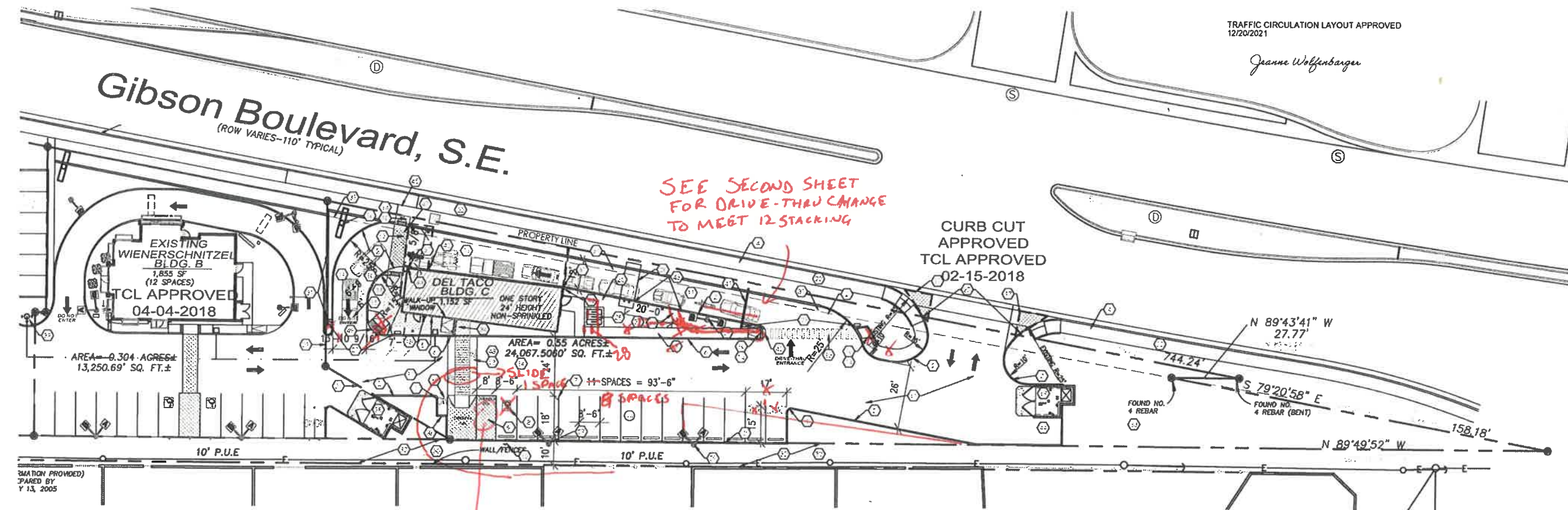
The record information was edited on the original design document has been obtained by **Rick Bennett | Architect**, of the firm. I further certify that I have personally visited the project site on August 9, 2023 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy (Permanent) for Del Taco at 1500 Gibson Blvd SE, TR B-2-A and B-2-B Gibson and Milearea Subdivision Cont. 5524 AC of Bernalillo County in Albuquerque, New Mexico.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,

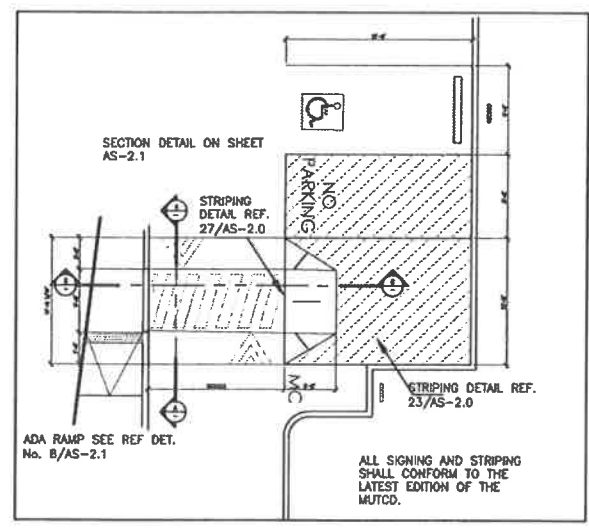
A handwritten signature in blue ink, appearing to read "Rick Bennett", with a long horizontal flourish extending to the right.

Rick Bennett, Architect



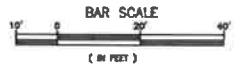
REVISION PROVIDED BY
Y 13, 2005

PARKING REQUIREMENTS	
DEL TACO 1,152 S.F.	8/1,000 S.F.
REQUIRED	10 SPACES
PROVIDED	14 SPACES (1 HC)
	8 DRIVE-THRU
	1 MOTORCYCLE

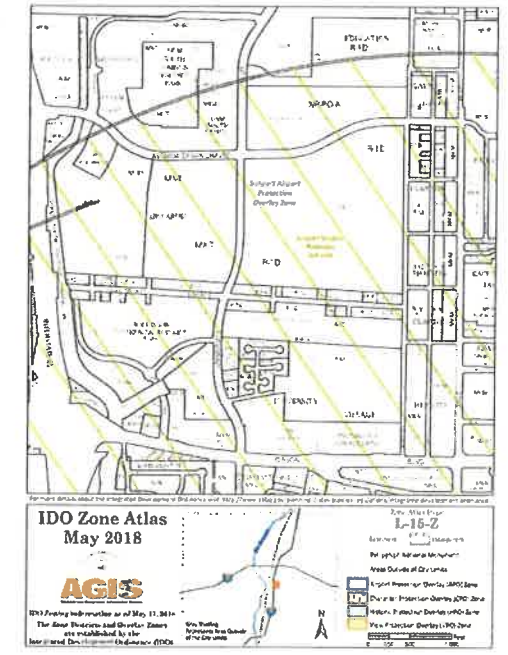


1 ADA PARKING SPEED TABLE
1/8-1-0
SEE SECTIONS ON SHEET AS-2.1

ENLARGED SITE PLAN
1"=20'-0"



- KEYED NOTES**
- 2'-0" RADIUS
 - CONSTRUCT NEW 6" RAISED CONCRETE CURB AND GUTTER PER CABQ STANDARDS 2415A, REF. DET. 10/AS-2.1
 - CONSTRUCT NEW 4" CONCRETE SIDEWALK PER CABQ STANDARD DWG. 2430, REF. 7/AS-2.1 AND 5/AS-2.0. REF. PLAN FOR SIDEWALK WIDTH. TIE INTO EXISTING SIDEWALKS AS NEEDED (FOR EMPLOYEE ENTRANCE ONLY).
 - EXISTING CONCRETE CURB WITH SIDEWALK 6' WIDE.
 - NEW CONCRETE SIDEWALK, SLOPE SIDEWALK 1/4"/FT. AWAY FROM BUILDING.
 - FIRE LANE, PAINT CONC. CURB RED AND ADD SIGNAGE TO CURBS 5" HIGH WHITE LETTER "NO PARKING, FIRE LANE", TYP. EVERY 15' OVER 6" WIDE RED STRIP, REF. FIRE ORD. 50303.1
 - 4" WIDE PAINTED PARKING STRIPE PER CABQ STANDARDS
 - HANDICAP SYMBOL PER CITY OF ALBUQUERQUE STANDARDS, TYPICAL (1) PLACE, REF. DETAIL 20/AS-2.0
 - PAINTED STRIPE HANDICAP ACCESSIBLE AISLE WITH "NO PARKING" IN CAPITAL LETTERS 12" HIGH X 2" WIDE, LOCATED SIGN (68-1-4.1.B NMSA 1978), REF. DETAIL 22/AS-2.0.
 - ACCESSIBLE CURB RAMP PER CABQ STANDARDS 2443 DETAIL-C, REF. DETAIL 23/AS-2.0.
 - ASPHALT PAVING OVER BASE COURSE, (FIRE APPARATUS ROADS SHALL HAVE ASPHALT OR OTHER DRIVING SURFACE SUPPORTING AT LEAST 75,000 LBS).
 - ACCESSIBLE SIGNAGE PER CABQ REQUIREMENTS, REF. 18/AS-2.0 FOR DETAILS LOCATED 2' AWAY FROM CURB EDGE.
 - 6" WIDE ADA ACCESSIBLE PEDESTRIAN PATH PAINTED PER CABQ REQUIREMENTS, TYP., REF. 27/AS-2.0.
 - 24" TRUNCATED DOMES, TYP. REF. 13/AS-2.0.
 - PAINTED 12" HIGH "DO NOT ENTER" - WHITE ON PAVEMENT REF DETAIL 13/AS-2.1.
 - PROPOSED SIGNAGE, UNDER SEPARATE PERMIT, (PROPOSED SIGN WILL NEED TO BE LOCATED ON PRIVATE PROPERTY WHICH INCLUDES AIR SPACE).
 - CLEAR SIGHT TRIANGLE, LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH THE CLEAR SIGHT REQUIREMENTS. ALL SIGNS, WALL, TREES AND SHRUBBERY BETWEEN 3 FEET AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
 - G.C. TO PROVIDE AND INSTALL RECESSED "KNOX BOX" WITH KEY FOR FIRE DEPARTMENT ACCESS, MOUNT BOX 4'-0" TO 6'-0" HIGH A.F.F. TYP.
 - DUMPSTER ENCLOSURE WITH CONC. APRON PER CAB REQUIREMENTS WITH DUMPSTER GREASE INTERCEPTOR, REF. 1/AS-2.1.
 - EXISTING 30' CURB CUT ENTRY PER CABQ. STANDARD DRAWING 2425 WITH HANDICAP RAMPS PER CABQ.
 - LEASE LINE.
 - ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER, REFERRING TO THE APPROPRIATE CITY STANDARD DRAWING (2430 & 2415A).
 - "ONE WAY" SIGN AT DRIVE-THRU ENTRANCE PER CABQ REQUIREMENTS
 - PREVIEW BOARD, REFER TO 15/AS-2.0.
 - DRIVE THRU MENU MAIN BOARD, REFER TO 09/AS-2.0.
 - DRIVE-THRU CANOPY W/ SPEAKER BOX, REFER TO 09/AS-2.0.
 - TWO SIDED "THANK YOU" REF DETAIL 12/AS2.1. FOR THE "DO NOT ENTER" SIGN 6.5' TALL, PER MUTCD GUIDE RS-1.
 - BICYCLE RACK FOR (3) BICYCLES, SPACES SHALL BE 6'-0" LONG x 2'-0" WIDE FOR EACH BIKE. (REF. 24/AS-2.0)
NOTE: A 1'-0" CLEAR ZONE AROUND THE BIKE PARKING SPACE, REF. DETAIL 1/AS-2.0
 - A. 30" TALL X 18" WIDE.
 - B. BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMB/TOASTER RACKS ARE NOT ALLOWED.
 - C. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION. SEE THE 100 FOR ADDITIONAL INFORMATION
 - D. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.
 - E. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.
 - F. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER VEHICLE.
 - G. THE RACKS SHOULD BE STURDY AND ANCHORED TO A CONC. PAD.
 - H. PARKING LIGHT POLE - SEE 8/AS-2.0, NOT TO EXCEED 16' OR PER CABQ STANDARDS.
 - I. 10' LANDSCAPE BUFFER REFERENCE ZONING CODE 14-16-3-10 E-7 (LANDSCAPING APPROVED WITHIN ADJACENT PUBLIC RIGHT-OF-WAY MAYBE COUNTED TOWARD THIS REQUIREMENT IF THERE IS NO EXISTING OR PLANNED PUBLIC SIDEWALK BETWEEN SUCH LANDSCAPING AND THE PREMISES, BUT IN NO CASE SHALL THE WIDTH OF THE ON-SITE LANDSCAPE BUFFER BE LESS THAN FIVE FEET.)
 - J. 3 FOOT HIGH CMU SCREEN WALL REF: ZONING CODE 14-16-3-18 D-5 DRIVE-UP SERVICE WINDOWS.
 - K. 10' PUBLIC UTILITY EASEMENT.
 - L. LANDSCAPING AREA, REF: LANDSCAPE PLAN.
 - M. ACCESSIBLE CURB RAMP PER CABQ STANDARDS 2443 DETAIL-B, REF. DETAIL: 8/AS-2.1.
 - N. 4'x8' MOTORCYCLE PARKING SPACE BY CABQ STANDARDS WITH PAINTED "MOTORCYCLE" IN CAPITAL LETTERS, 12" HIGH X 2" WIDE AT MOTORCYCLE PARKING SPACE - WHITE ON PAVEMENT PER CABQ STANDARDS.
 - O. MOTOR CYCLE PARKING SIGNAGE PER CABQ STANDARDS, REF DETAIL 14/AS-2.1.
 - P. 8" HIGH CONC. CURB AT BUILDING REF: AS-2.0
 - EXISTING DUMPSTER ENCLOSURE.
 - EXISTING FIRE HYDRANT.
 - 40' RADIUS.
 - CLEARANCE BAR, REFER TO 12/AS-2.0.
 - DRIVE-THRU WINDOW, REFER TO 10/AS-2.0.
 - CONCRETE FILLED PIPE BOLLARD, WITH PLASTIC SLEEVE, REFER TO 1/AS-2.0.
 - OWNER WILL HANDLE THEIR OWN RECYCLING.
 - HATCH DENOTES 4FT. WIDE ADA ACCESSIBLE PEDESTRIAN PATHWAY TO THE BUILDING ENTRANCES.
 - PARKING BUMPERS TYP. PER 14/AS-2.0.
 - DRIVE THRU SPEED TABLE, REF DET. 15/AS2.1
 - ADA PARKING SPEED TABLE.
 - ACCESSIBLE RAMP PLACEMENT ON PERPENDICULAR CURB RAMPS WITH FLARED SIDE SLOPES. PER CABQ. STANDARDS DETAIL, DWG 2448.



LEGEND

PRC

PRC

PRC

GENERAL CONTRACTOR TO FIELD VERIFY ALL EXIST. CONSTRUCTION AND DIMENSIONS PRIOR TO CONSTRUCTION

DEL TACO
FRESH FLEX DRIVE-THRU ONLY

DO NOT SCALE DRAWINGS
CONTRACTOR TO VERIFY
ALL EXISTING CONDITIONS AND
DIMENSIONS-NOTIFY ARCHITECT
OF ANY DISCREPANCIES PRIOR
TO BEGINNING CONSTRUCTION

FRESH FLEX PROTO
2021-Q1.0

DEL TACO STORE
ENLARGED SITE PLAN
1500 GIBSON BLVD
ALBUQUERQUE, NM
PROJECT #2107

REVISION DATE

STATE OF NEW MEXICO
RICHARD P. BENNETT
No. 1240
REGISTERED ARCHITECT

RBA
ARCHITECTURE PC
1500 GIBSON BLVD
ALBUQUERQUE, NM 87102

DATE
10-12-2021

SHEET NUMBER
AS-1.1

S.E.

CURB CUT
APPROVED
TCL APPROVED
02-15-2018

