

CITY OF ALBUQUERQUE



May 10, 2018

Richard P. Bennett, R.A.
RBA Architecture, PC
1104 Park Ave. SW
Albuquerque, NM 87102

Re: Gibson Shops
1400 Gibson Blvd. SE
Traffic Circulation Layout
Architect's Stamp dated 3-27-18 (L15D049) Phase 2

Dear Mr. Bennett,

The TCL submittal received 05-08-18 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Logan Patz
Senior Engineer, Planning Department
Development Review Services

LWP via: email
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 3/2018)

Project Title: 1400 GIBSON WINDOR SCHMITZ Building Permit #: _____ Hydrology File #: L15D049

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: 1400 GIBSON BLVD

Applicant: DAVID McEACHERN RRA-ARCHITECT Contact: DOUG or DAVID

Address: 1104 PARK AVE

Phone#: 242-1859 Fax#: _____ E-mail: david@rba81.com
doug@rba81.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR

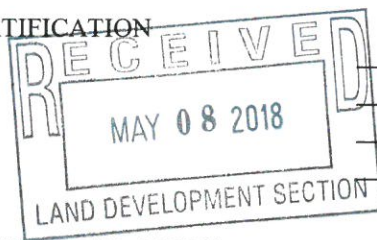
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)

☐ OTHER (SPECIFY) _____

☐ PRE-DESIGN MEETING?

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

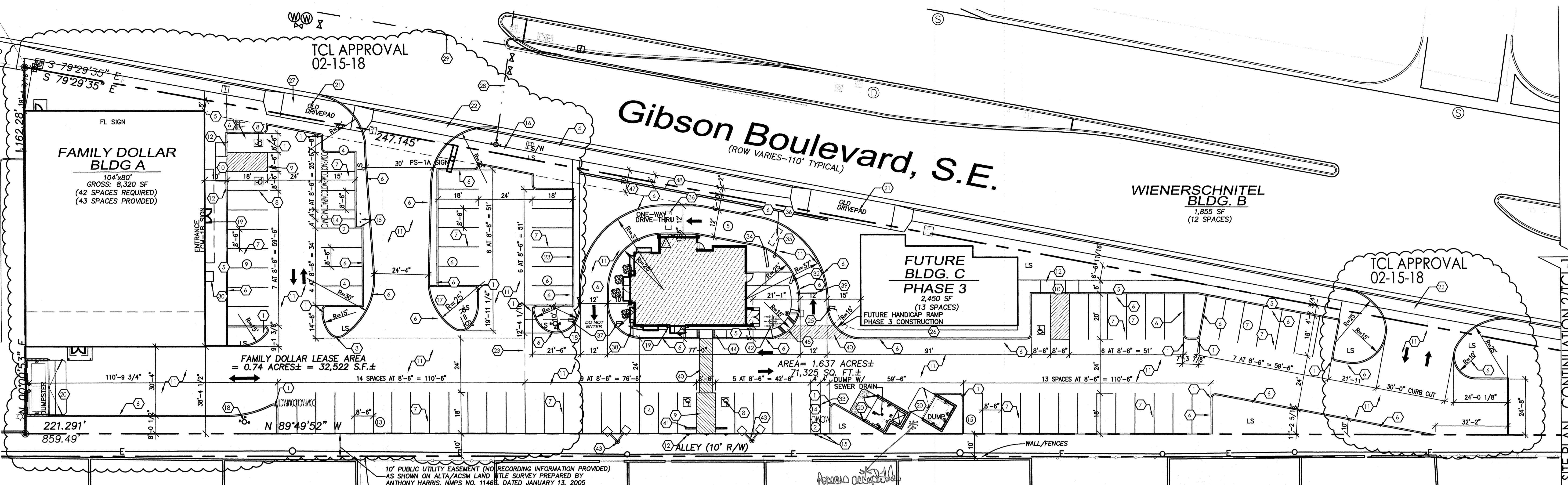


DATE SUBMITTED: 5/8/18 By: DAVID McEACHERN

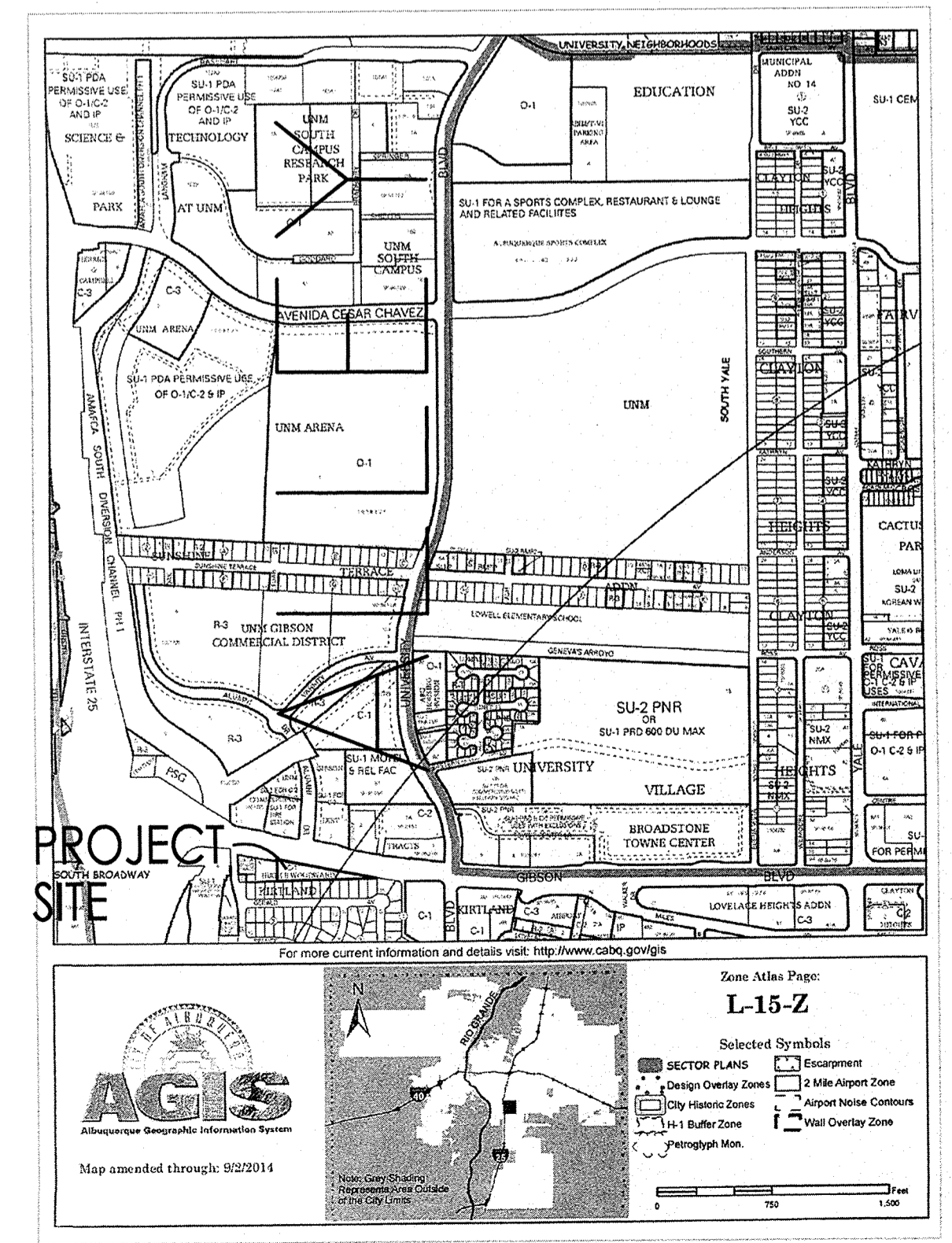
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



1 SITE PLAN
1" = 20'-0"



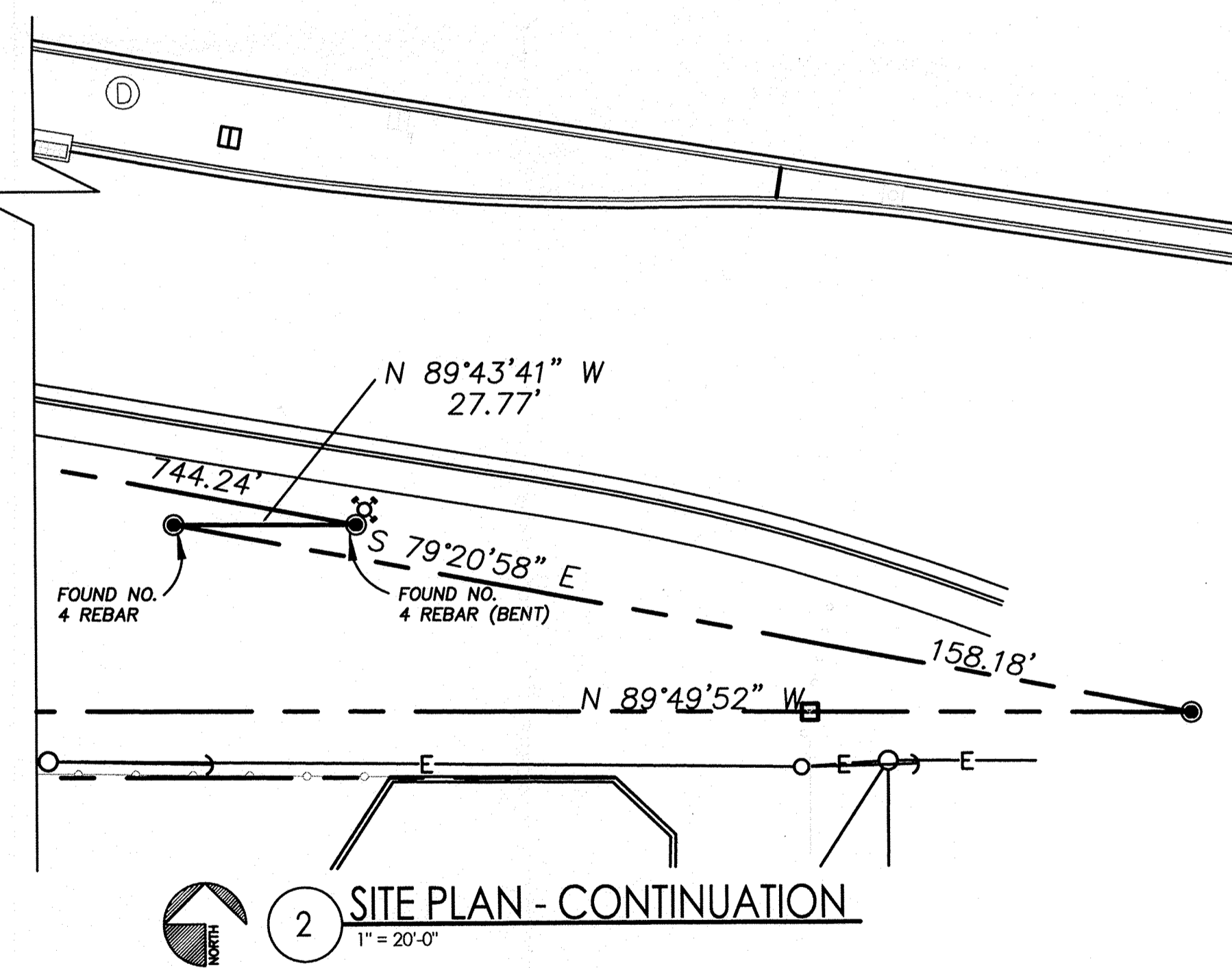
PARKING CALCULATIONS			
BLDG A 8,320 S.F./200			
REQUIRED	=	42 SPACES	
PROVIDED	=	41 SPACES	
	=	2 ACCESSIBLE	
TOTAL PROVIDED	=	43 SPACES	
	=	2 MOTORCYCLE	
BLDG B 1,855 S.F./200			
REQUIRED	=	12 SPACES	
PROVIDED	=	11 SPACES	
	=	1 ACCESSIBLE	
	=	5 DRIVE-THRU	
TOTAL PROVIDED	=	17 SPACES	
	=	2 MOTORCYCLE	
BLDG C 2,850 S.F./200			
REQUIRED	=	14 SPACES	
PROVIDED	=	28 SPACES	
	=	1 ACCESSIBLE	
TOTAL PROVIDED	=	29 SPACES	
TOTAL SPACES REQUIRED	=	66 SPACES	
TOTAL H.C. SPACES REQ'D	=	4 SPACES	
TOTAL SPACES PROVIDED	=	80 SPACES	
TOTAL H.C. SPACES PROV.	=	4 SPACES	
TOTAL DRIVE-THRU PROV.	=	5 SPACES	
TOTAL MC SPACE PROV.	=	4 SPACES	
TOTAL BIKE PARKING REQ'D	=	5 SPACES	
TOTAL BIKE PARKING PROV.	=	5 SPACES	

KEYED NOTES

- 2'-0" RADIUS.
- 5'-0" RADIUS.
- 10'-0" RADIUS.
- EXISTING CONCRETE CURB WITH SIDEWALK.
- NEW CONCRETE SIDEWALK, SLOPE SIDEWALK 1/4" FT. AWAY FROM BUILDING.
- 6" RAISED CONCRETE CURB PER CITY OF ALBUQUERQUE STANDARDS, GRADING AND DRAINAGE PLAN.
- 2" WIDE PAINTED PARKING STRIPE PER CITY OF ALBUQUERQUE STANDARDS.
- HANDICAP SYMBOL PER CITY OF ALBUQUERQUE STANDARDS.
- HANDICAP ACCESSIBLE AISLE PER CITY OF ALBUQUERQUE STANDARDS.
- HANDICAP ACCESSIBLE CURB RAMP PER CITY OF ALBUQUERQUE STANDARDS, REF: AS-2 FOR DETAIL.
- ASPHALT PAVING.
- HANDICAP ACCESSIBLE SIGNAGE PER CITY REQUIREMENTS, REF: AS-2 FOR DETAILS.
- PEDESTRIAN WALK-WAY.
- MOTORCYCLE PARKING PER CITY STANDARDS.
- MOTORCYCLE PARKING SIGNAGE PER CITY STANDARDS.
- EXIST. FIRE HYDRANT.
- PAINTED CURB.
- NEW FIRE HYDRANT.
- KNOX BOX LOCATION REFERENCE FIRE 1 PLAN.
- DUMPSTER WITH CONC. APRON PER CITY REQUIREMENTS, REF: AS-2.0.
- EXISTING CURB CUT TO BE ABANDONED AND REPLACED WITH NEW SIDEWALK, CURB AND GUTTER PER ALBQ CITY STANDARD DRAWINGS 2430, TYP. USE TEMPORARILY UNTIL NEW CC IS APPROVED AND CONSTRUCTED.
- NEW 30" CURB CUT PER ALBQ CITY STANDARD DRAWING 2425, TYP. SUBJECT TO MRCCG FINAL APPROVAL.
- LEASE LINE.
- ALL BROKEN OR CRACKED SIDEWALKS MUST BE REPLACED WITH SIDEWALK WITH CURB AND GUTTER PER ALBQ CITY STANDARD DRAWINGS 2430, TYP.
- "ONE WAY" SIGN AT DRIVE-THRU ENTRANCE PER CABQ REQUIREMENTS.
- SIDEWALK TO BE BUILT WITH FUTURE PHASE 2 BUILDING.
- EXISTING 4" CAST IRON WATER LINE
- EXISTING 6" CAST IRON WATER LINE
- EXISTING 20" STL WATER LINE
- WATER VENDING MACHINE LOCATION
- NOT USED
- SIGN WIDTH PREVIEW BOARD BY OWNER - SEE SN-1
- NOT USED
- DRIVE THRU MENU MAIN BOARD BY OWNER - SEE SN-1
- SPEAKER BOX BY OWNER - SEE SN-1
- SENSOR LOOP - SEE ELECTRICAL
- "DO NOT ENTER" SIGN PER CABQ STANDARDS #2802
- POLE MOUNTED LOGO SIGN BY OWNER TO COMPLY WITH CABQ SIGN ORDINANCE REQUIREMENTS - SEE AS-2.0 FOR SIGN SUPPORT
- CLEARANCE SIGN/ HEIGHT DETECTOR - SEE SN-1
- PAINTED HANDICAP ACCESSIBLE ROUTE TO BUILDING PER CABQ REQUIREMENTS
- CONCRETE WHEEL STOP
- BICYCLE RACK PER CABQ REQUIREMENTS SEE AS-2
- PARKING LIGHT POLE - SEE AS-2.0, NOT TO EXCEED 16' OR PER CABQ. ORDINANCE
- HANDICAP RAMP SEE AS-2.0
- HANDICAP RAMP PER CABQ STANDARDS #2418
- PAINTED "DO NOT ENTER" - WHITE ON PAVEMENT PER CABQ STANDARDS
- 10' LANDSCAPE BUFFER REFERENCE ZONING CODE 14-16-3-10 E-7 LANDSCAPING APPROVED WITHIN ADJACENT PUBLIC RIGHT-OF-WAY MAYBE COUNTED TOWARD THIS REQUIREMENT IF THERE IS NO EXISTING OR PLANNED PUBLIC SIDEWALK BETWEEN SUCH LANDSCAPING AND THE PREMISES, BUT IN NO CASE SHALL THE WIDTH OF THE ON-SITE LANDSCAPE BUFFER BE LESS THAN FIVE FEET.
- 8 FOOT HIGH CMU SCREEN WALL REF: ZONING CODE 14-16-3-18 D-5 DRIVE-UP SERVICE WINDOWS.

TRAFFIC CIRCULATION LAYOUT APPROVED

Logan Signed **05/01/18** Date



RECEIVED
MAY 08 2018
LAND DEVELOPMENT SECTION

GIBSON SHOPS
OVERALL SITE PLAN
1400 GIBSON BLVD
ALBUQUERQUE, NM
PROJECT # 1662

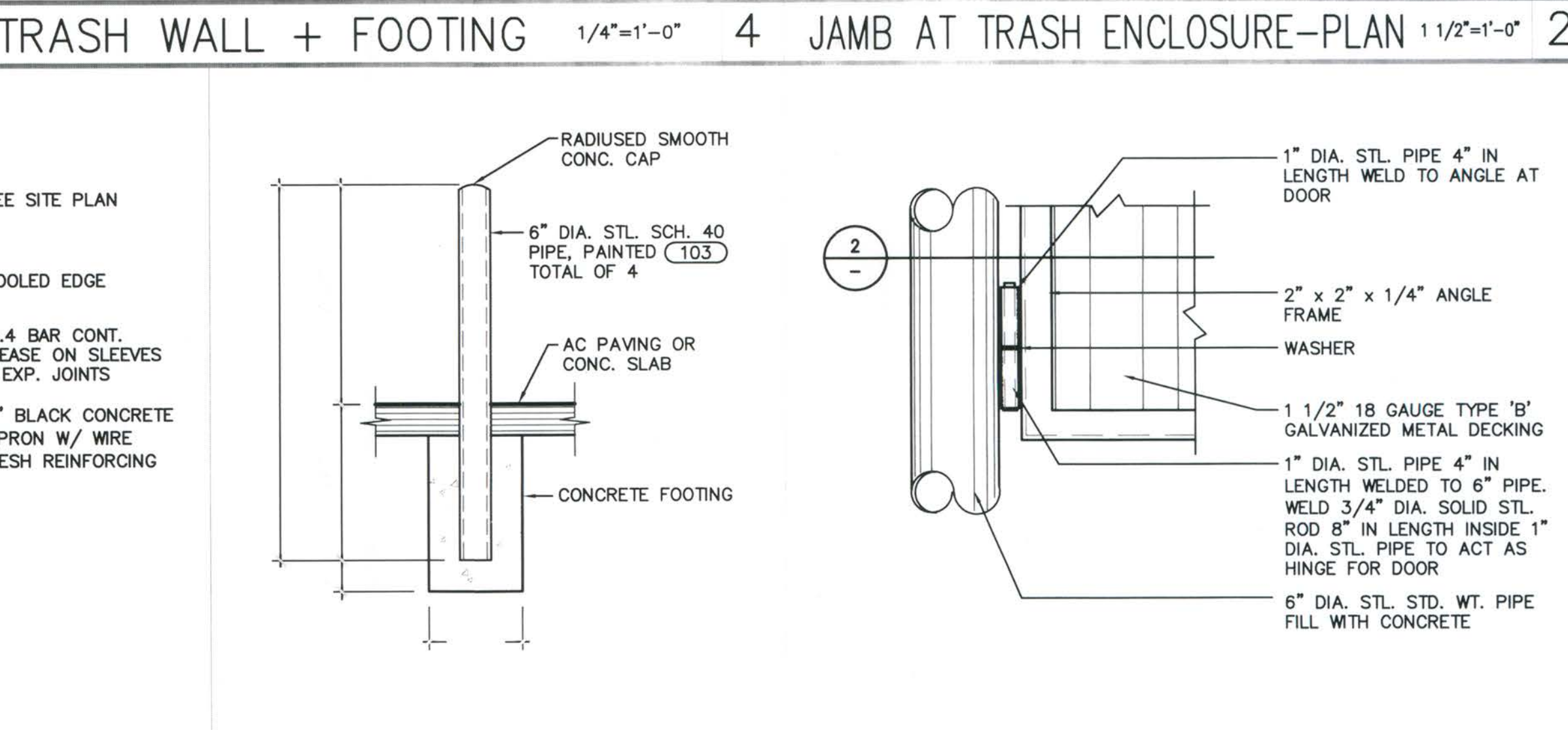
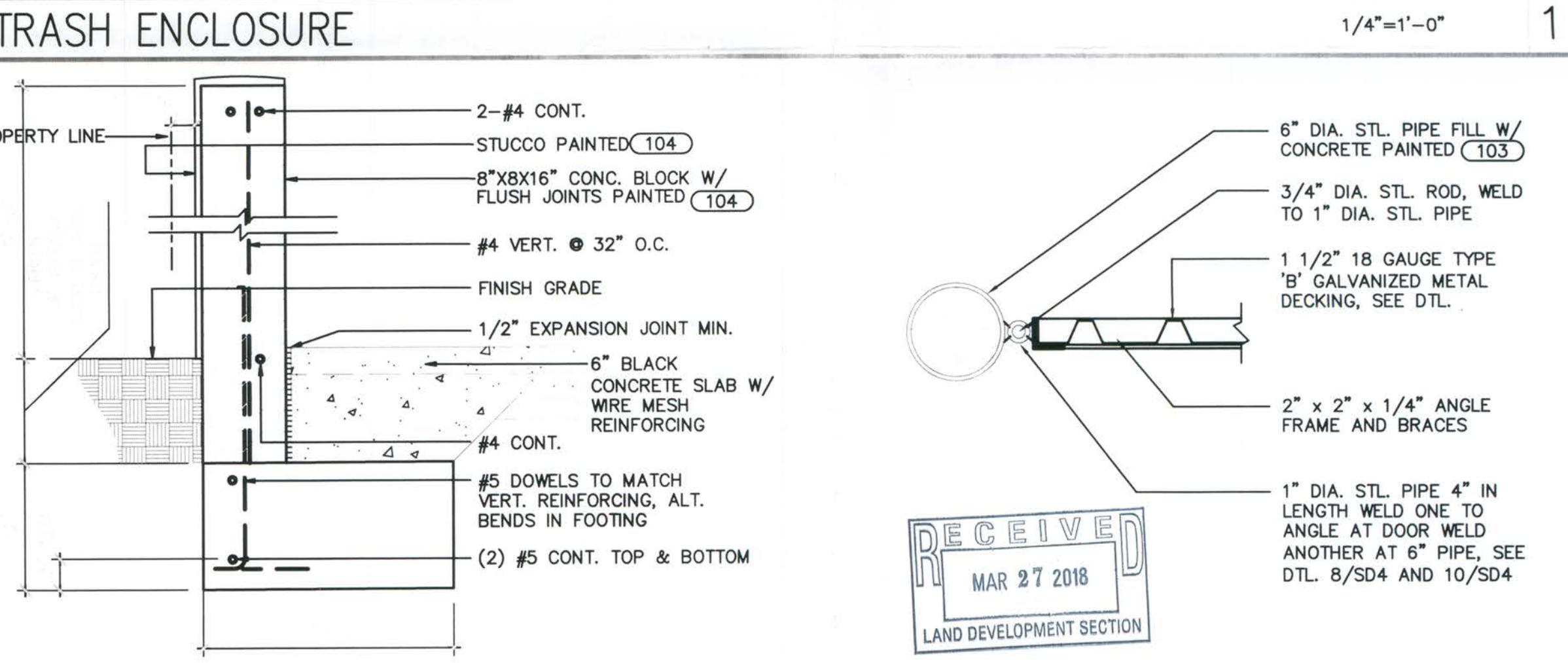
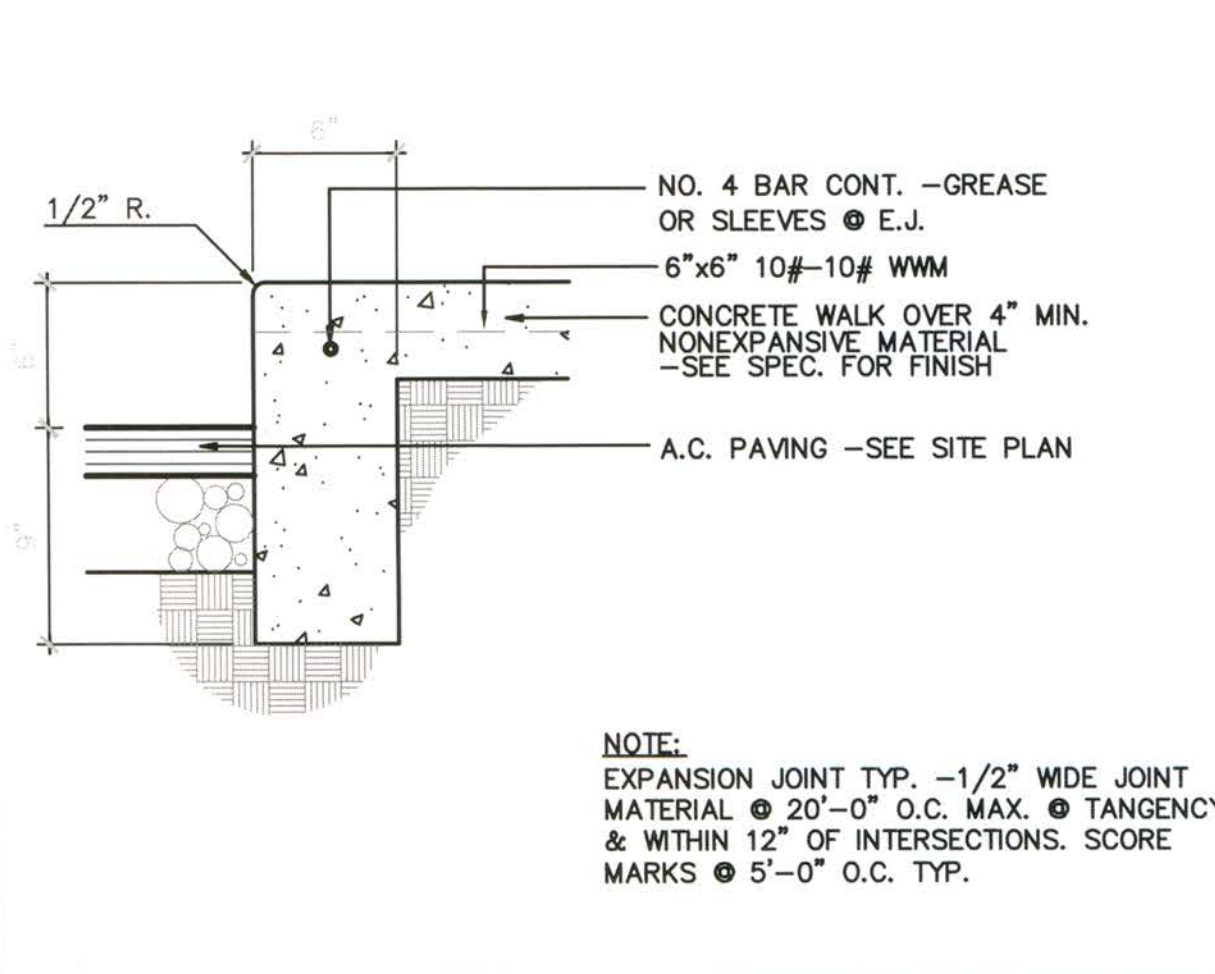
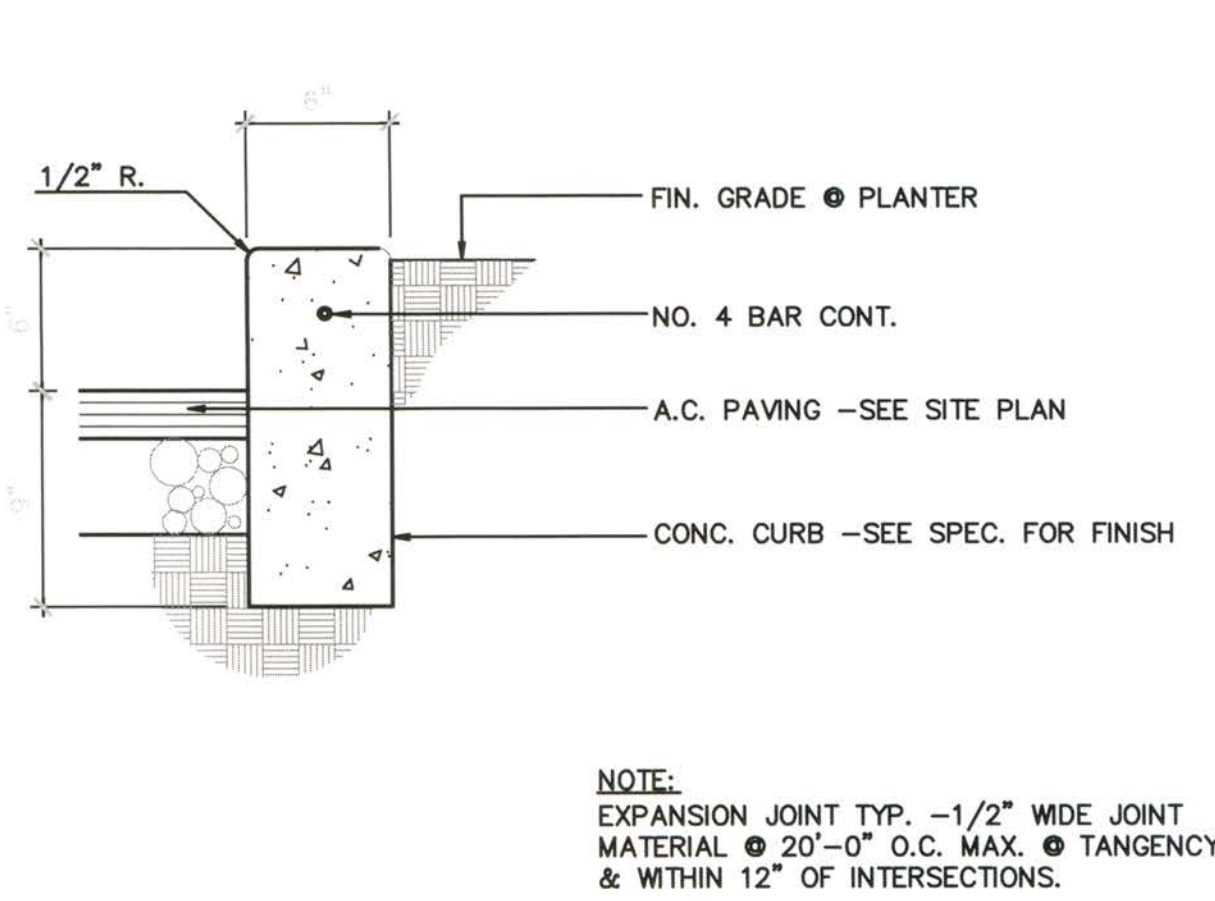
REVISION DATE	05/01/18
TCL REVIEW COMMENTS	
CITY COMMENTS	

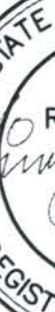

STATE OF NEW MEXICO
RICHARD P. BENNETT
No. 1240
3/27/18
REGISTERED ARCHITECT

RBA ARCHITECTURE, PC
ARCHITECT
PLANNING
DESIGN
1400 Gibson Blvd, Ste 200
Albuquerque, NM 87102
www.rbaarch.com

DATE
03-14-2018

SHEET NUMBER
TCL-1.0



REVISION DATE	
	
RBA ARCHITECTURE, PC PLANNING DESIGN	141 West Ave. SW Suite 100 Madison, MN 55102-1004 www.rbaill.com
	
DATE <div style="font-size: 1.5em; font-weight: bold;">3-14-2018</div>	
SHEET NUMBER <div style="font-size: 2em; font-weight: bold;">AS-2.0</div>	