

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

November 22, 2021

David McEachern, RA
RBA Architecture, PC
1104 Park Ave SW
Albuquerque, NM 87102

Re: **DEL TACO**
1500 Gibson Blvd SE
Traffic Circulation Layout
Architect's Stamp 10-12-2021 (L15-D049)

Dear Mr. McEachern,

Based upon the information provided in your submittal received 11-12-2021, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Provide existing and proposed sidewalk width.
2. All proposed pavement markings will need to have details provide
3. Keyed Note 2: Provide the size of proposed c&g (6") since there are several on COA std dwg 2415A.
4. Keyed Note 10 Accessible Ramp: Recommended referencing COA std dwg 2444, especially for the accessible ramps in front of the building entrance.
5. Keyed Note 27 & 36: provide signage's face details.
6. Keyed Note 16: please add not (proposed sign will need to be located on private property which includes air space.
7. Identify all existing access easements and rights of way width dimensions (If applicable).
8. ADA curb ramps must be updated to current standards and have truncated domes installed. Verify that existing Gibson Blvd. driveway entrance ramps are in compliance
9. Provide dimension for Motorcycle parking space.
10. List radii for all curves shown; for passenger vehicles (minimum radius per DPM 15 ft). Radius for delivery trucks, fire trucks, etc. is 25 ft. or larger.
11. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
12. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
13. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible. This is concerning the ADA parking stall access aisle across the main circulation drive aisle

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

14. Parking areas shall have barriers to prevent vehicles from extending over public sidewalk, public right-of-way, or landscaping.
15. ADA parking stall signage and 2 ft overhang is in conflict. Please clear up.
16. Provide details for "Do Not Enter" signage.
17. **The minimum drive through lane width is 12 feet with a 25 foot minimum radius (inside edge) for all turns. (A 15 foot radius can be used with an increase in lane width to 14 feet). Please dimension all lane widths and radii.**
18. Please provide a sight distance line (SSD) exhibit.
19. Please specify the City Standard Drawing Number when applicable.
20. Shared Site access: driveways that straddle property lines, or are entirely on one property but are to be used by another property, shall have an access easement. Please include a copy of your shared access agreement with the adjacent property owner.
21. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing (2430 & 2415A). This is the correct note and should be replaced on keyed note 22.
22. Please provide a letter of response for all comments given.
23. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: mgrush@cabq.gov**).

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

- Once corrections are complete resubmit
1. The Traffic Circulation Layout
 2. A Drainage Transportation Information Sheet (DTIS)
 3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
 4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3630.

Sincerely,

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: _____
City Address: _____

Engineering Firm: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

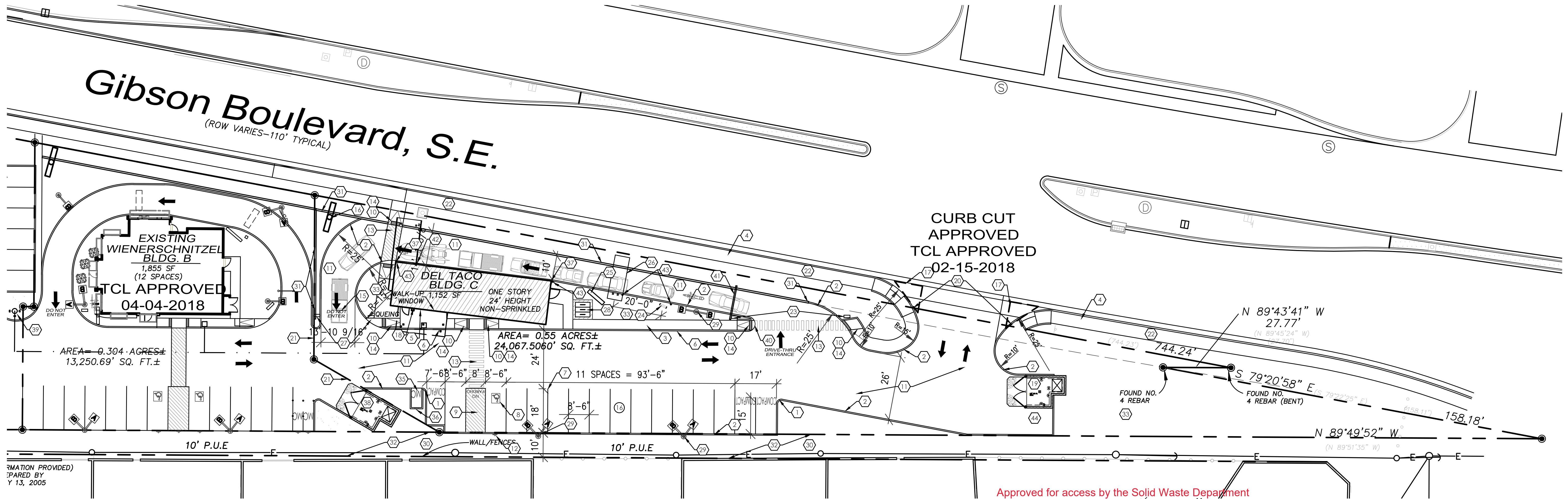
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

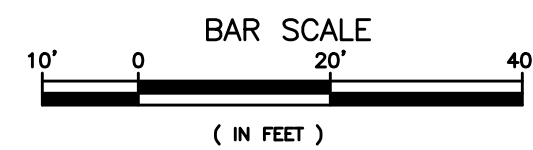
DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



INFORMATION PROVIDED)
PREPARED BY
Y 13, 2005

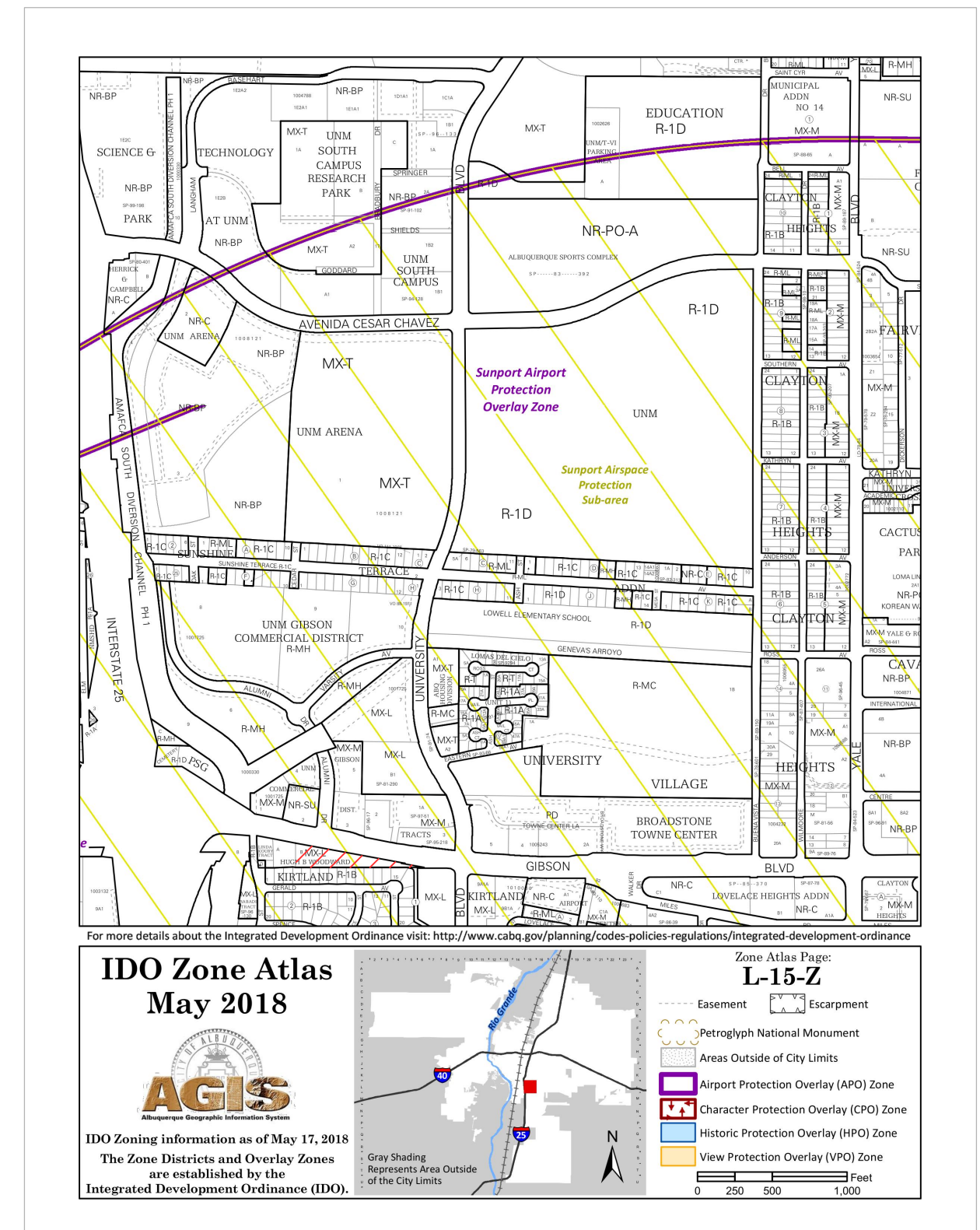
ENLARGED SITE PLAN
1"=20'-0"



KEYED NOTES

- 2'-0" RADIUS.
- CONSTRUCT NEW RAISED CONCRETE CURB AND GUTTER PER CABQ STANDARDS 2415A, REF: DET. 10/AS-2.1.
- CONSTRUCT NEW CONCRETE SIDEWALK PER CABQ STANDARD DWG. 2430, REF: 7/AS-2.1 AND 5/AS-2.0. REF: PLAN FOR SIDEWALK WIDTH. TIE INTO EXISTING SIDEWALKS AS NEEDED.
- EXISTING CONCRETE CURB WITH SIDEWALK.
- NEW CONCRETE SIDEWALK, SLOPE SIDEWALK 1/4"/FT. AWAY FROM BUILDING.
- FIRE LANE, PAINT CONC. CURB RED AND ADD SIGNAGE TO CURBS 5" HIGH WHITE LETTER "NO PARKING, FIRE LANE", TYP. EVERY 15' OVER 6" WIDE RED STRIP, REF: FIRE ORD. 50303.1.
- 4" WIDE PAINTED PARKING STRIPE PER CABQ STANDARDS.
- HANDICAP SYMBOL PER CITY OF ALBUQUERQUE STANDARDS, TYPICAL (1) PLACE, REF: DETAIL 20/AS-2.0.
- PAINTED STRIPE HANDICAP ACCESSIBLE AISLE WITH "NO PARKING" IN CAPITAL LETTERS 12" HIGHx2"WIDE, LOCATED SIGN (66-1-4.1.B NMSA 1978). REF: DETAIL 22/AS-2.0.
- ACCESSIBLE CURB RAMP PER CABQ STANDARDS 2426, REF: 8/AS-2.1 DETAIL.
- ASPHALT PAVING OVER BASE COURSE, (FIRE APPARATUS ROADS SHALL HAVE ASPHALT OR OTHER DRIVING SURFACE SUPPORTING AT LEAST 75,000 LBS).
- ACCESSIBLE SIGNAGE PER CABQ REQUIREMENTS, REF. 18/AS-2.0 FOR DETAILS.
- 6" WIDE ACCESSIBLE PEDESTRIAN PATH PAINTED PER CABQ REQUIREMENTS, TYP., REF: 27/AS-2.0.
- 24" TRUNCATED DOMES, TYP. REF: 13/AS-2.0.
- PAINTED 12" HIGH "DO NOT ENTER" - WHITE ON PAVEMENT PER CABQ STANDARDS.
- PROPOSED SIGNAGE, UNDER SEPARATE PERMIT.
- CLEAR SIGHT TRIANGLE, LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH THE CLEAR SIGHT REQUIREMENTS. ALL SIGNS, WALL, TREES AND SHRUBBERY BETWEEN 3 FEET AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- G.C. TO PROVIDE AND INSTALL RECESSED "KNOX BOX" WITH KEY FOR FIRE DEPARTMENT ACCESS.MOUNT BOX 4'-0" TO 6'-0" HIGH A.F.F. TYP.
- DUMPSTER ENCLOSURE WITH CONC. APRON PER CAB REQUIREMENTS WITH DUMPSTER GREASE INTERCEPTOR, REF: 1/AS-2.1.
- EXISTING 30' CURB CUT ENTRY PER CABQ. STANDARD DRAWING 2425 WITH HANDICAP RAMPS PER CABQ.
- LEASE LINE.
- ALL BROKEN OR CRACKED SIDEWALKS MUST BE REPLACED WITH CURB AND GUTTER PER CABQ. STANDARD DRAWINGS 2430, TYP.
- "ONE WAY" SIGN AT DRIVE-THRU ENTRANCE PER CABQ REQUIREMENTS.
- PREVIEW BOARD, REFER TO 15/AS-2.0.
- DRIVE THRU MENU MAIN BOARD, REFER TO 09/AS-2.0.
- DRIVE-THRU CANOPY W/ SPEAKER BOX, REFER TO 09/AS-2.0.
- TWO SIDED "THANK YOU" AND "DO NOT ENTER" SIGN PER CABQ STANDARDS #2802.
- BICYCLE RACK FOR (3) BICYCLES, SPACES SHALL BE 6'-0" LONG x 2'-0" WIDE FOR EACH BIKE. (REF: 24/AS-2.0)
NOTE: A 1'-0" CLEAR ZONE AROUND THE BIKE PARKING SPACE, REF. DETAIL /AS-2.0
A. 30" TALL x 18" WIDE.
B. BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMB/TOASTER RACKS ARE NOT ALLOWED.
C. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION. SEE THE IDO FOR ADDITIONAL INFORMATION.
D. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.
E. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.
F. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER VEHICLE.
G. THE RACKS SHOULD BE STURDY AND ANCHORED TO A CONC. PAD.
29. PARKING LIGHT POLE - SEE 8/AS-2.0, NOT TO EXCEED 16' OR PER CABQ STANDARDS.
- 10' LANDSCAPE BUFFER REFERENCE ZONING CODE 14-16-3-10 E-7 (LANDSCAPING APPROVED WITHIN ADJACENT PUBLIC RIGHT-OF-WAY MAYBE COUNTED TOWARD THIS REQUIREMENT IF THERE IS NO EXISTING OR PLANNED PUBLIC SIDEWALK BETWEEN SUCH LANDSCAPING AND THE PREMISES, BUT IN NO CASE SHALL THE WIDTH OF THE ON-SITE LANDSCAPE BUFFER BE LESS THAN FIVE FEET.)
- 3 FOOT HIGH CMU SCREEN WALL REF: ZONING CODE 14-16-3-18 D-5 DRIVE-UP SERVICE WINDOWS.
- 10' PUBLIC UTILITY EASEMENT.
- LANDSCAPING AREA, REF: LANDSCAPE PLAN.
- NOT USED.
- MOTOR CYCLE PARKING SPACE BY CABQ STANDARDS WITH PAINTED "MC" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE AT MOTORCYCLE PARKING SPACE - WHITE ON PAVEMENT PER CABQ STANDARDS.
- MOTOR CYCLE PARKING SIGNAGE PER CABQ STANDARDS.
- 6" HIGH CONC. CURB AT BUILDING REF: AS-2.0.
- EXISTING DUMPSTER ENCLOSURE.
- EXISTING FIRE HYDRANT.
- 3' RADIUS.
- CLEARANCE BAR, REFER TO 12/AS-2.0.
- DRIVE-THRU WINDOW, REFER TO 10/AS-2.0.
- CONCRETE FILLED PIPE BOLLARD, WITH PLASTIC SLEEVE, REFER TO 1/AS-2.0.
- OWNER WILL HANDLE THEIR OWN RECYCLING.

Approved for access by the Solid Waste Department
Herman Gallegos 10-19-21 *Herman Gallegos*
Hazard RouteNot approved for location of grease container**



LEGEND

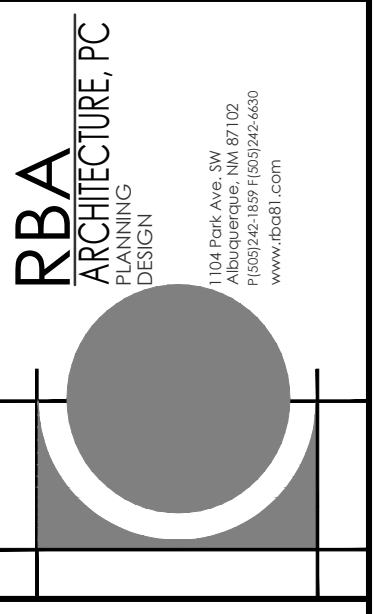
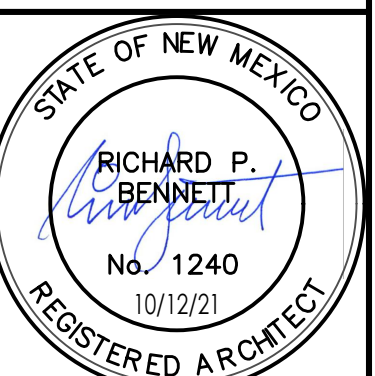
- PROPERTY LINE
- PROPOSED 6" CURB
- EASEMENT

VICINITY MAP L-15-Z

GENERAL CONTRACTOR TO
FIELD VERIFY ALL EXIST.
CONSTRUCTION AND
DIMENSIONS PRIOR TO
CONSTRUCTION

DEL TACO STORE
ENLARGED SITE PLAN
1500 GIBSON BLVD
ALBUQUERQUE, NM
PROJECT #2107

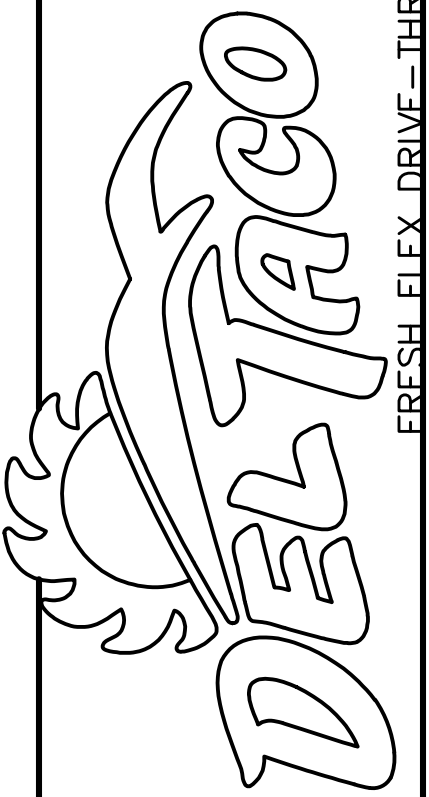
REVISION DATE



DATE
10-12-2021

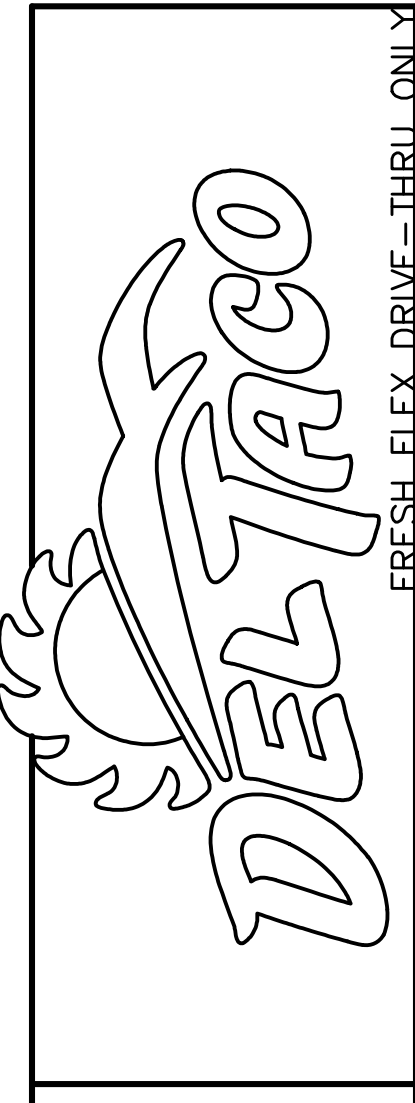
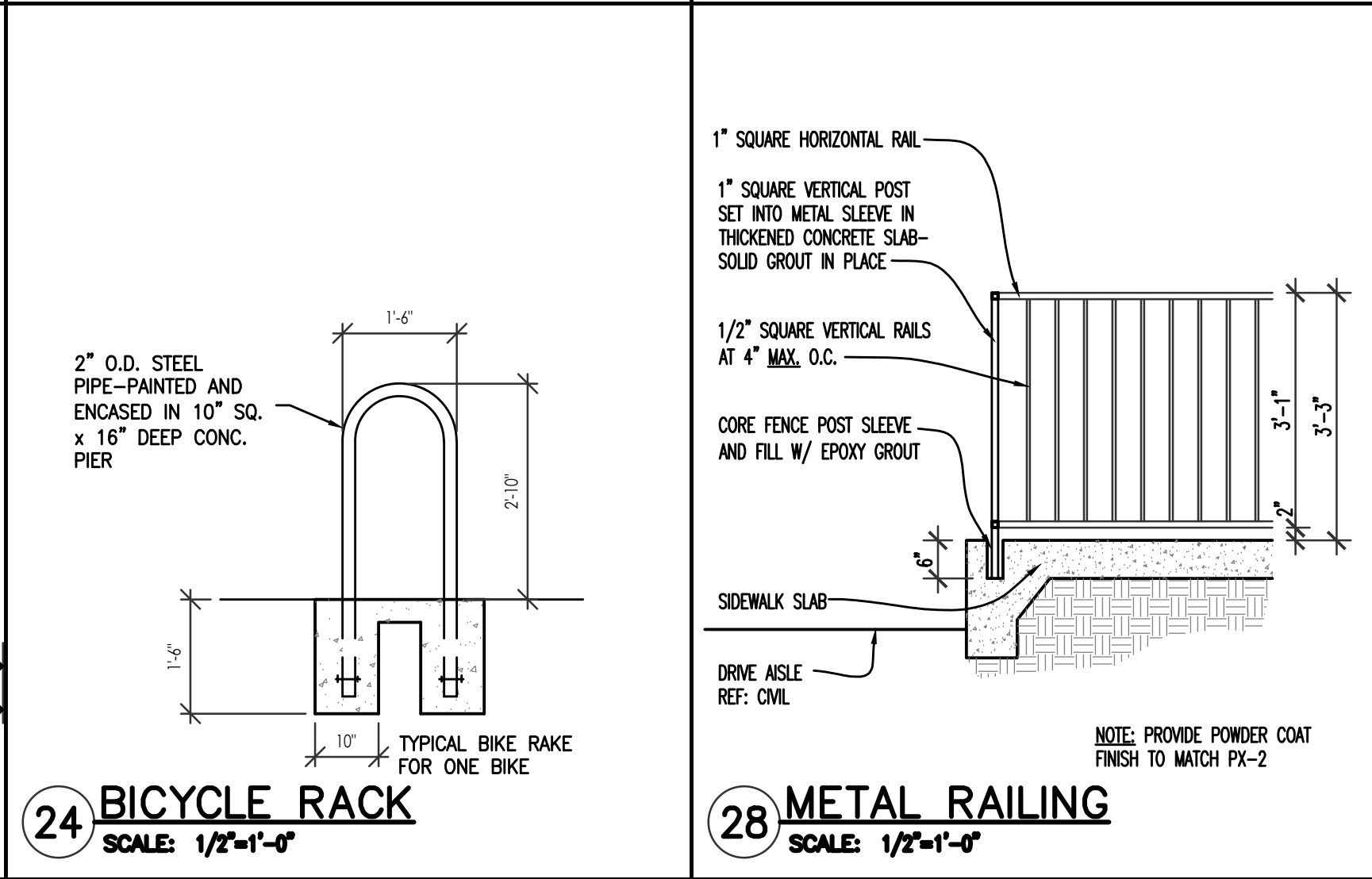
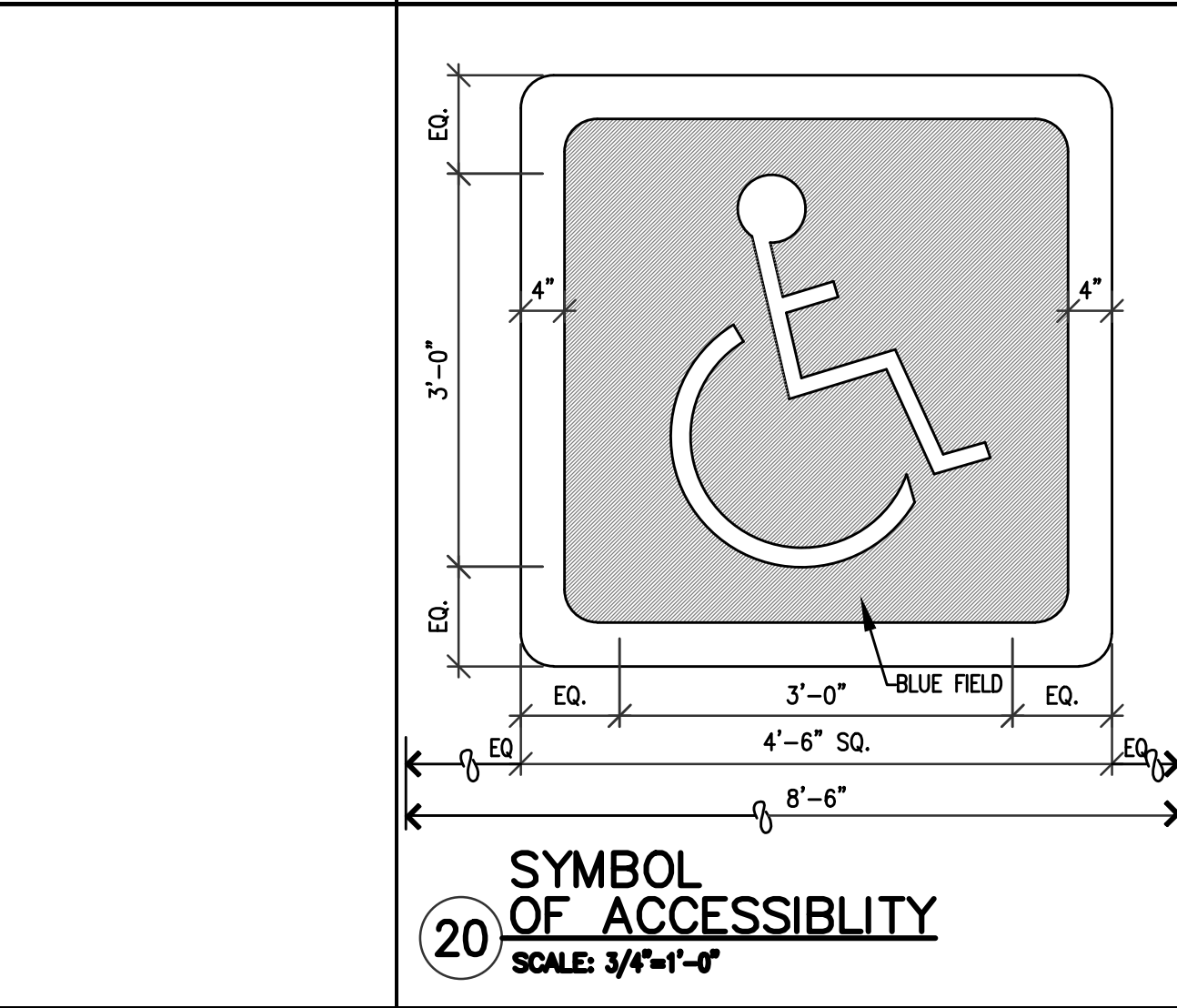
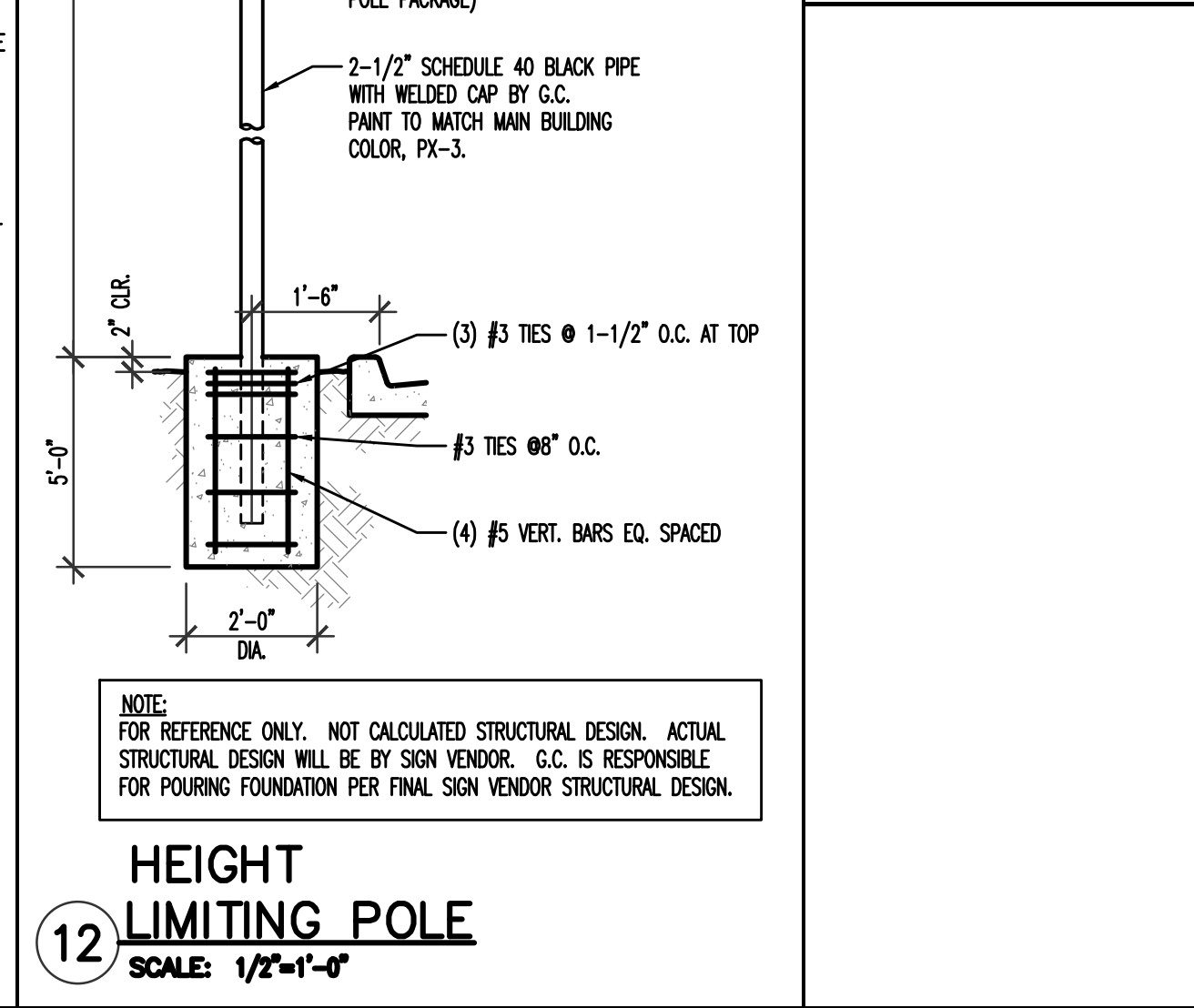
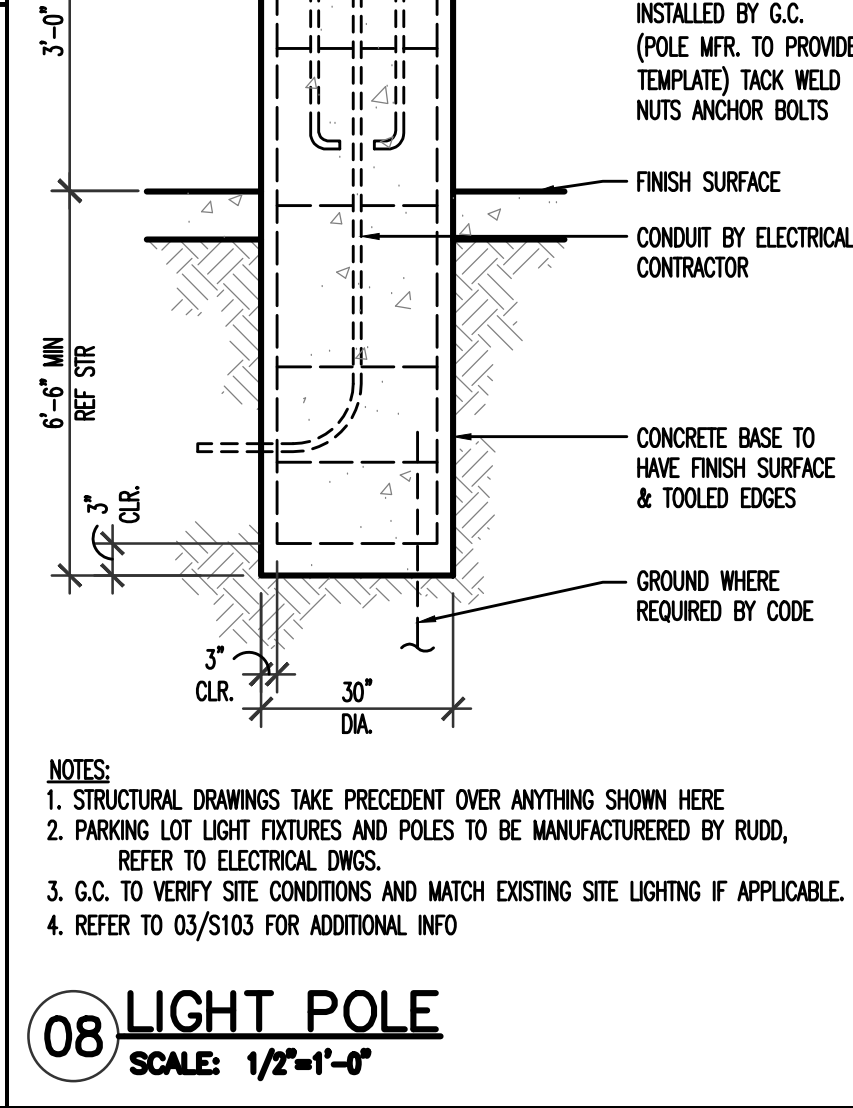
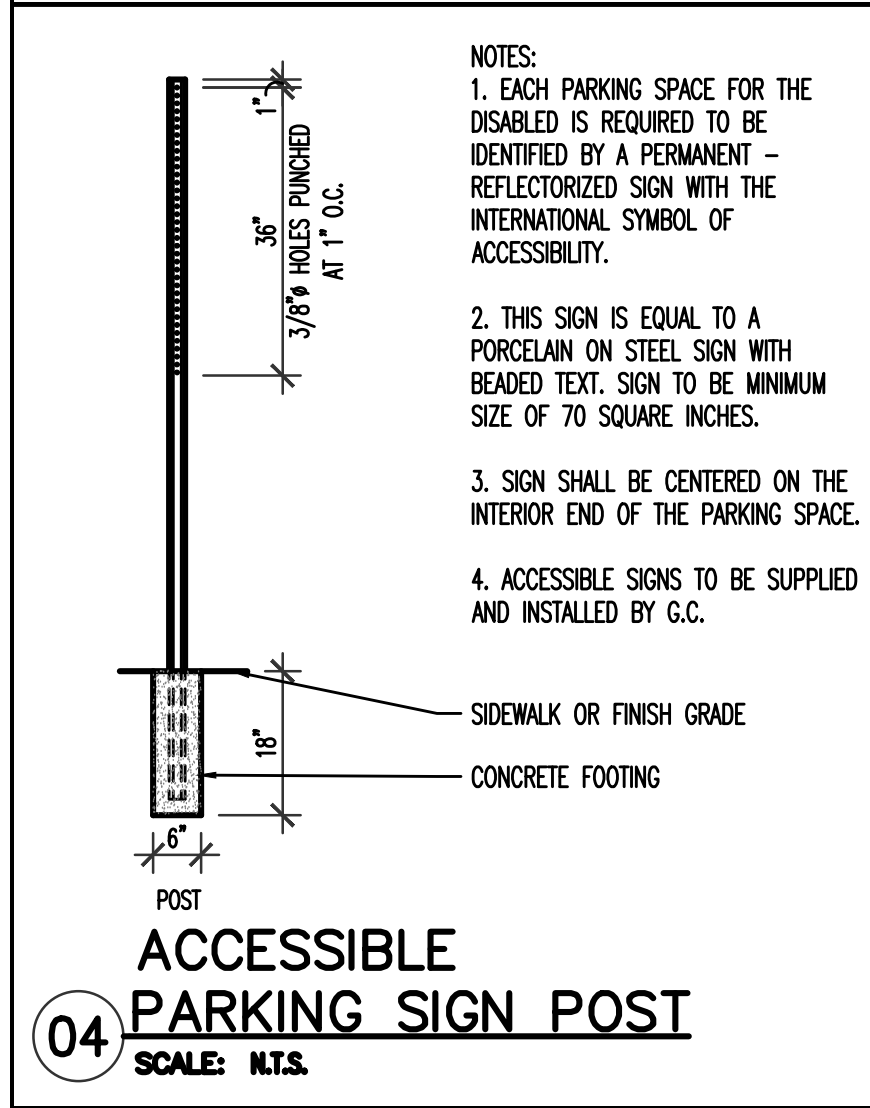
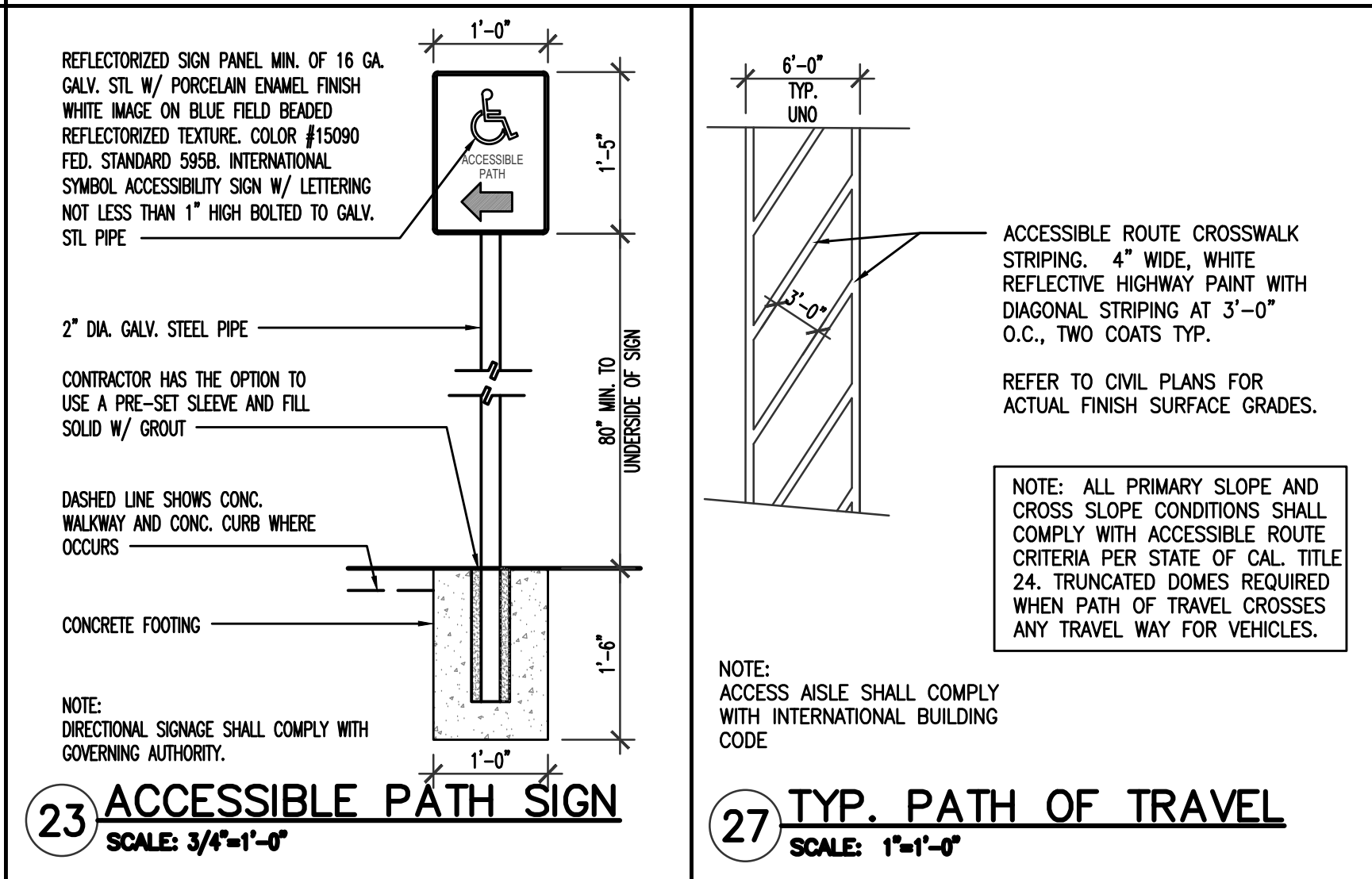
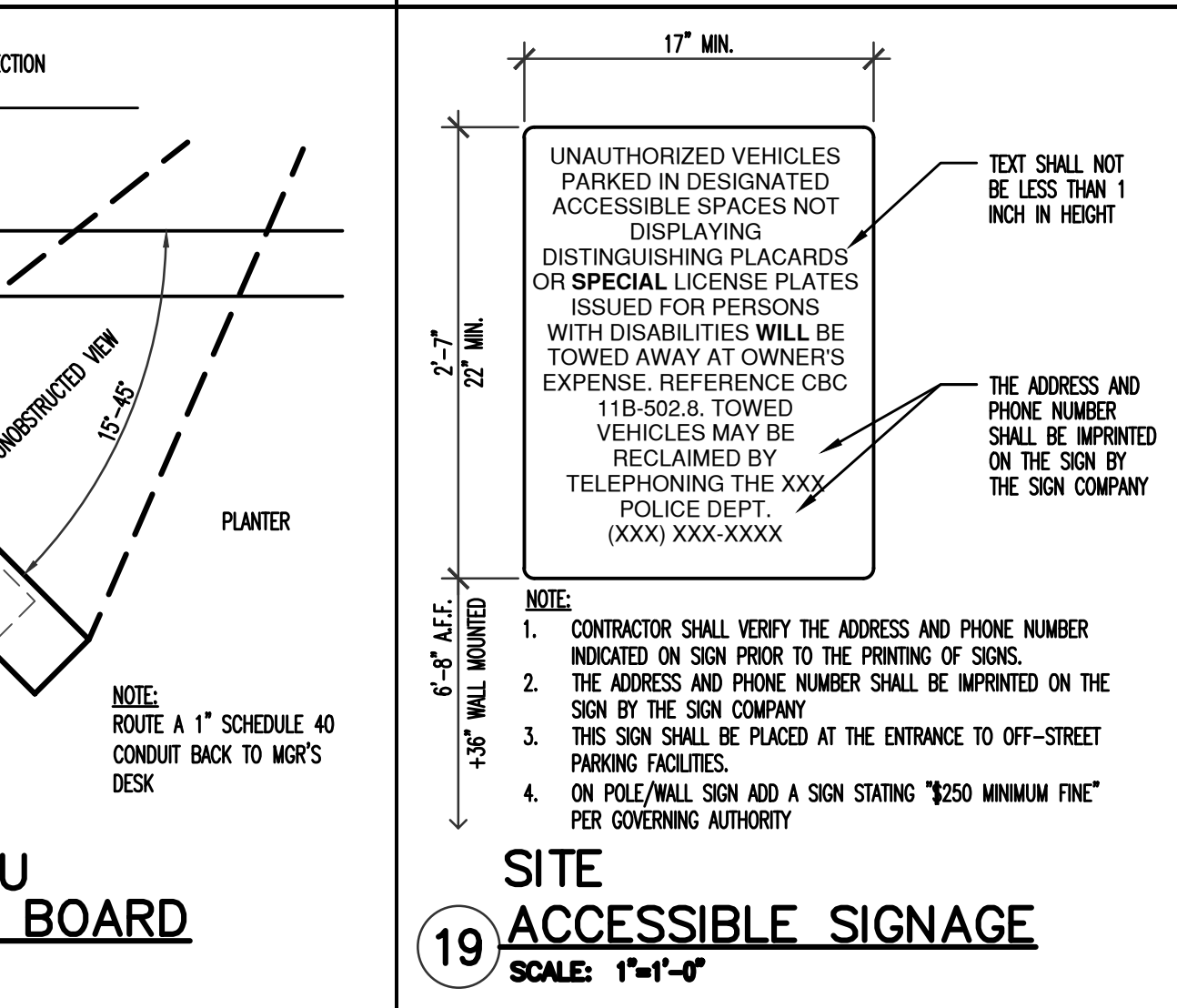
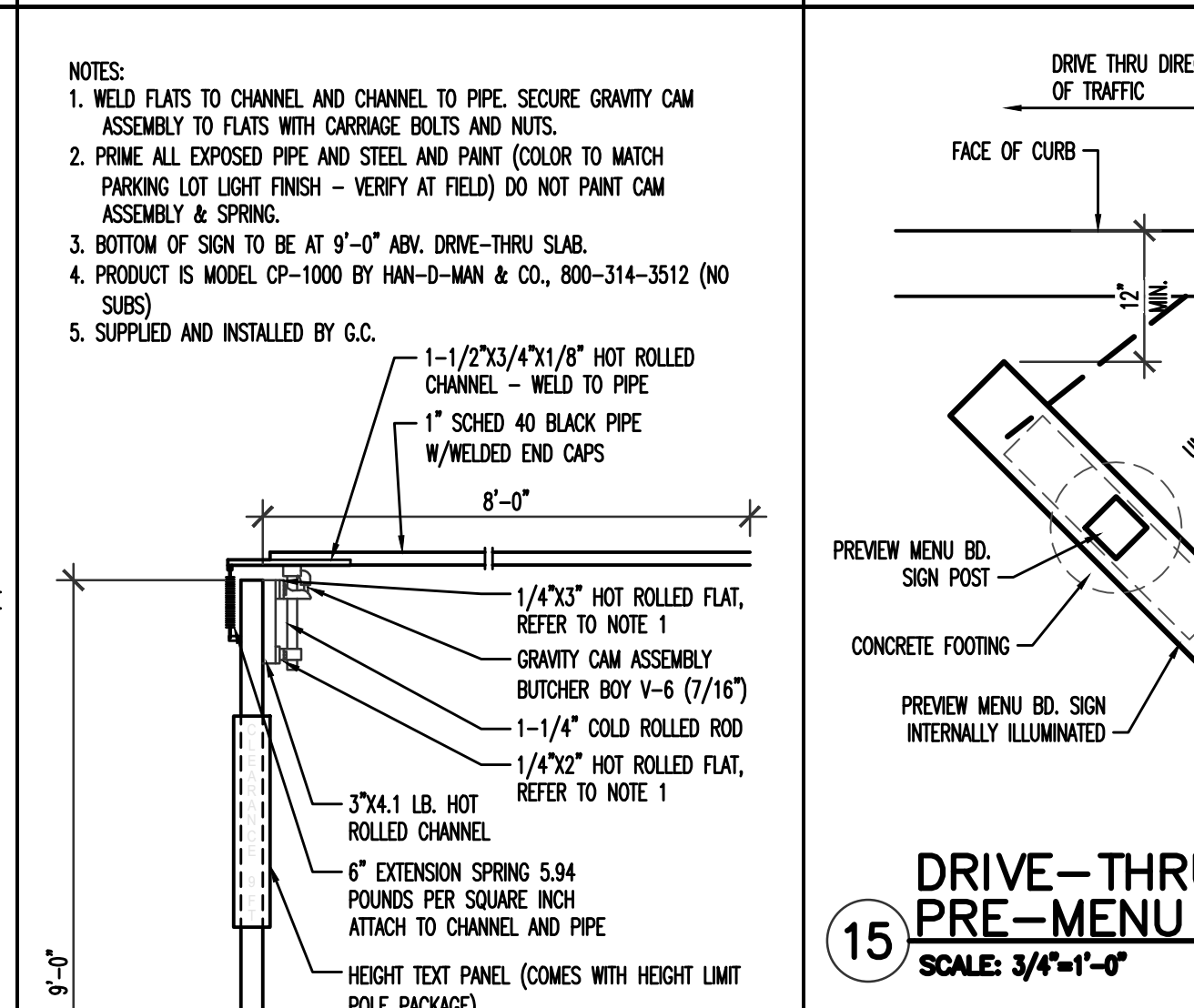
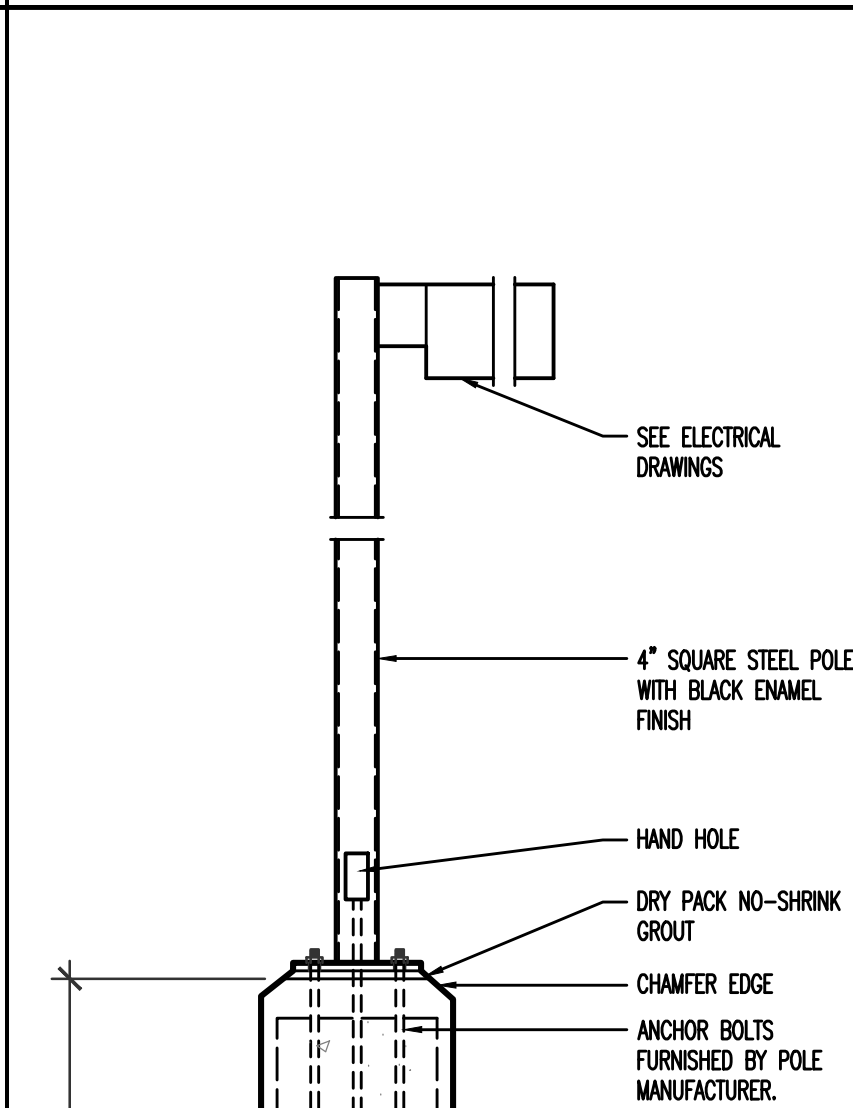
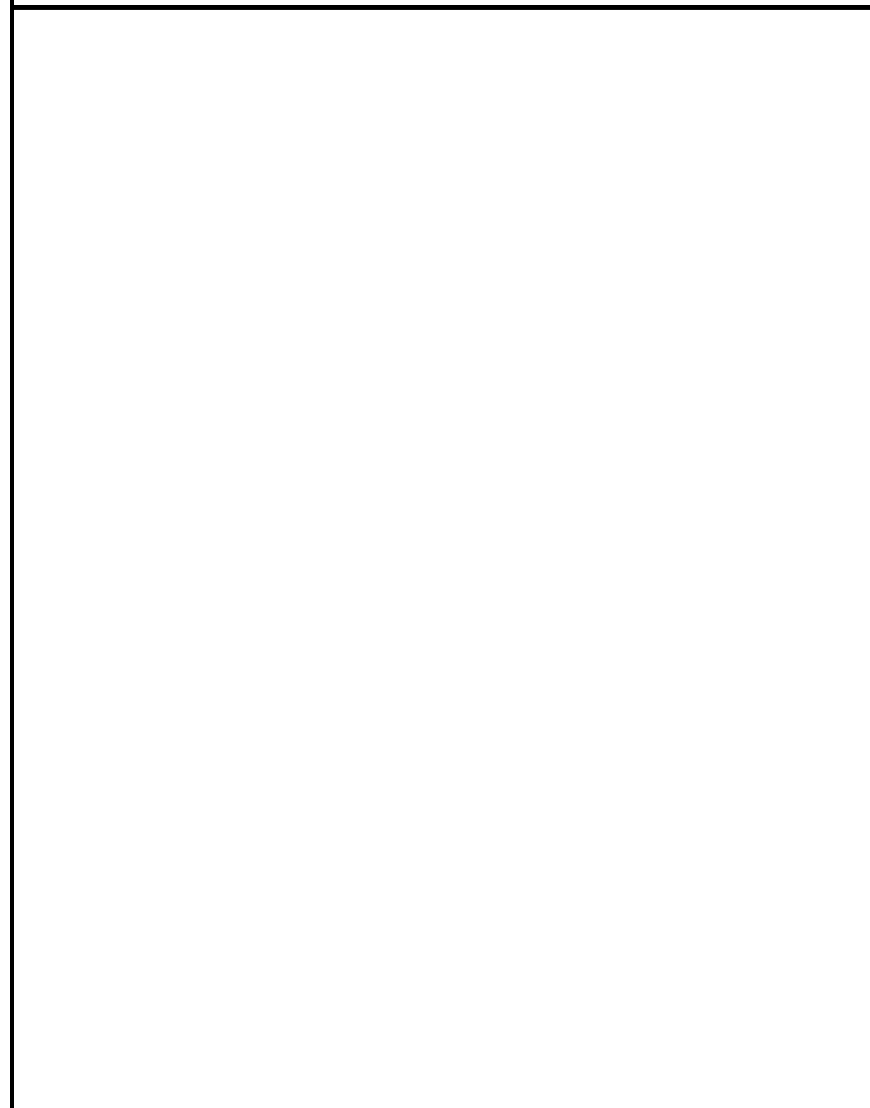
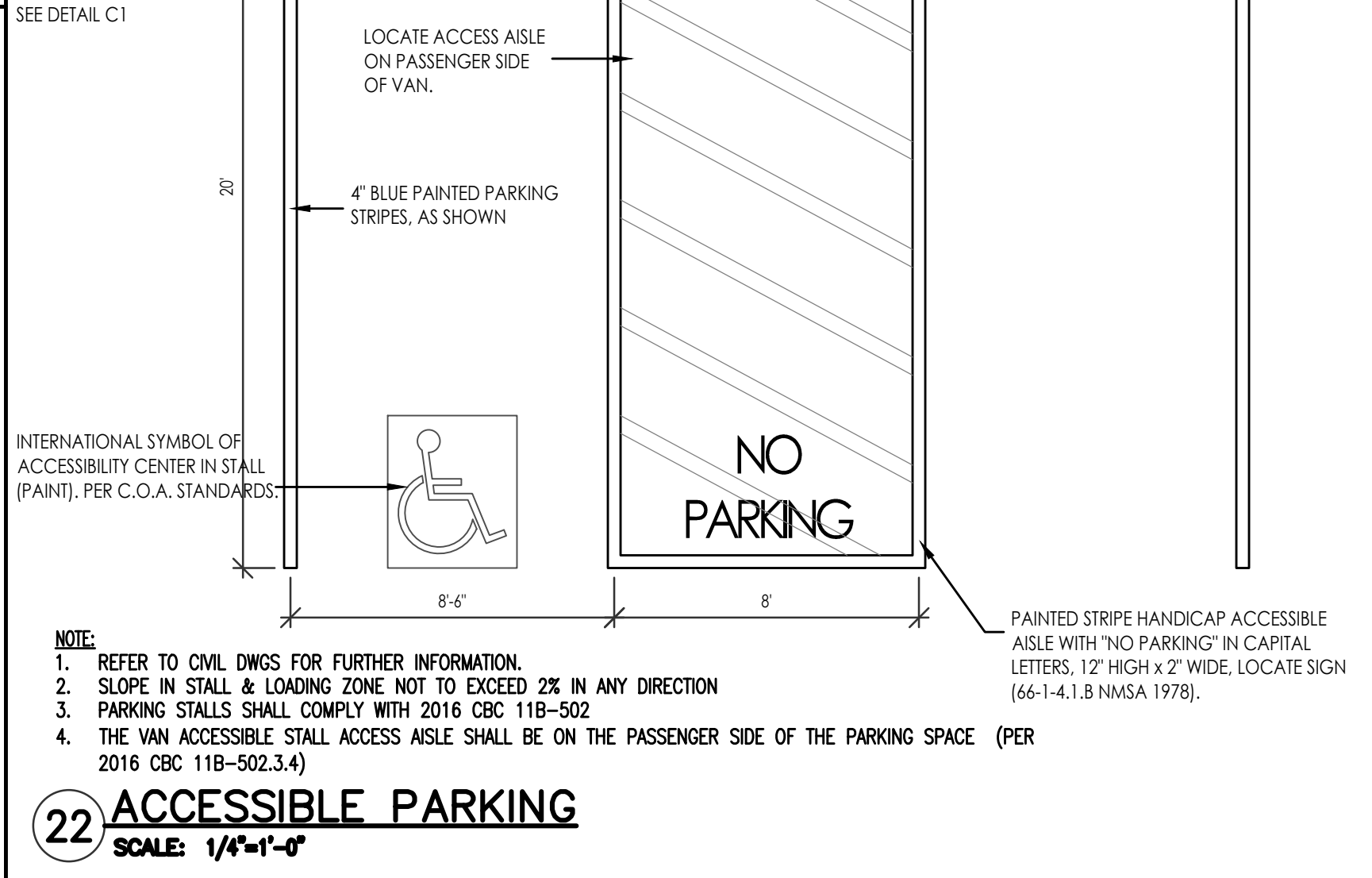
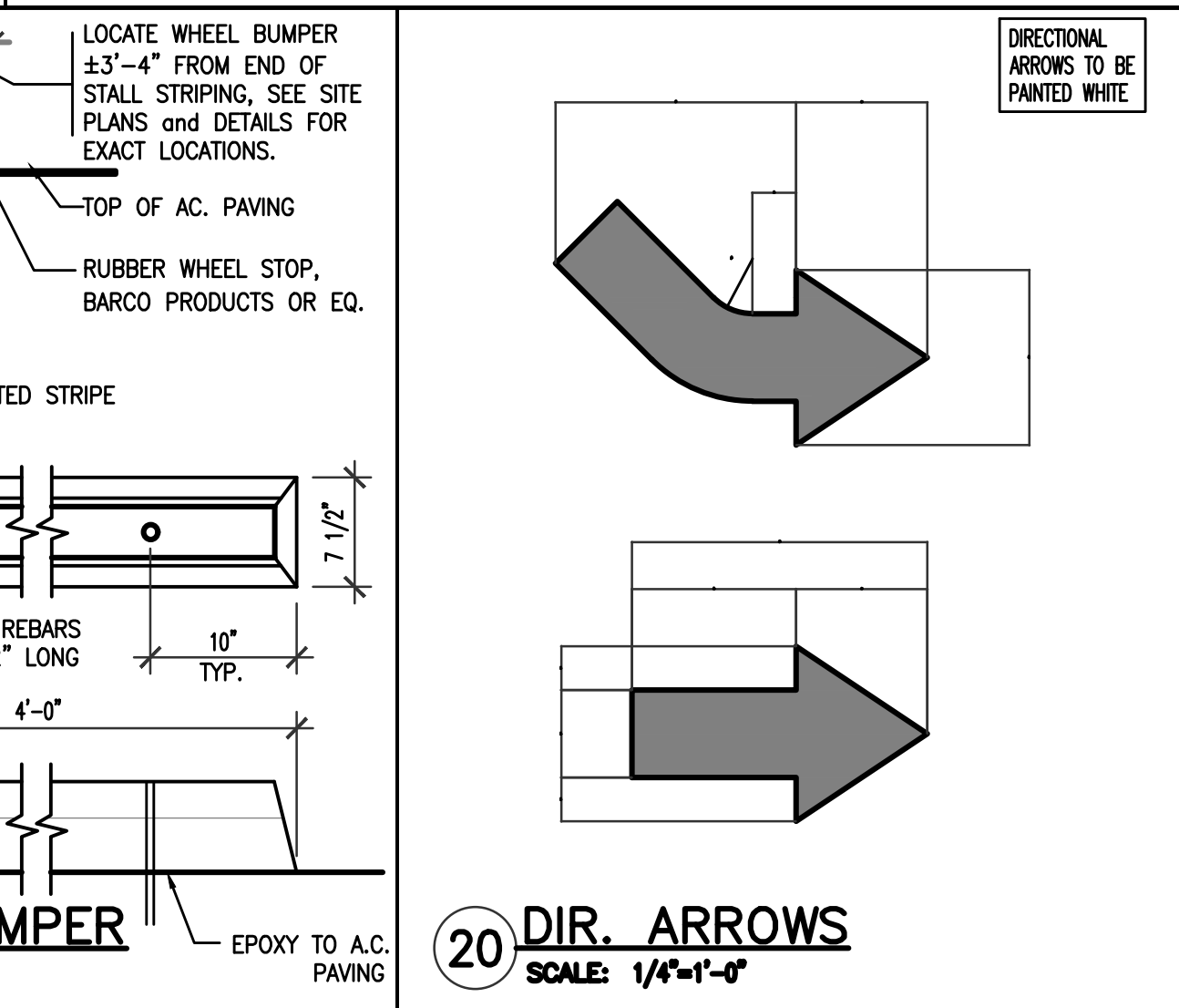
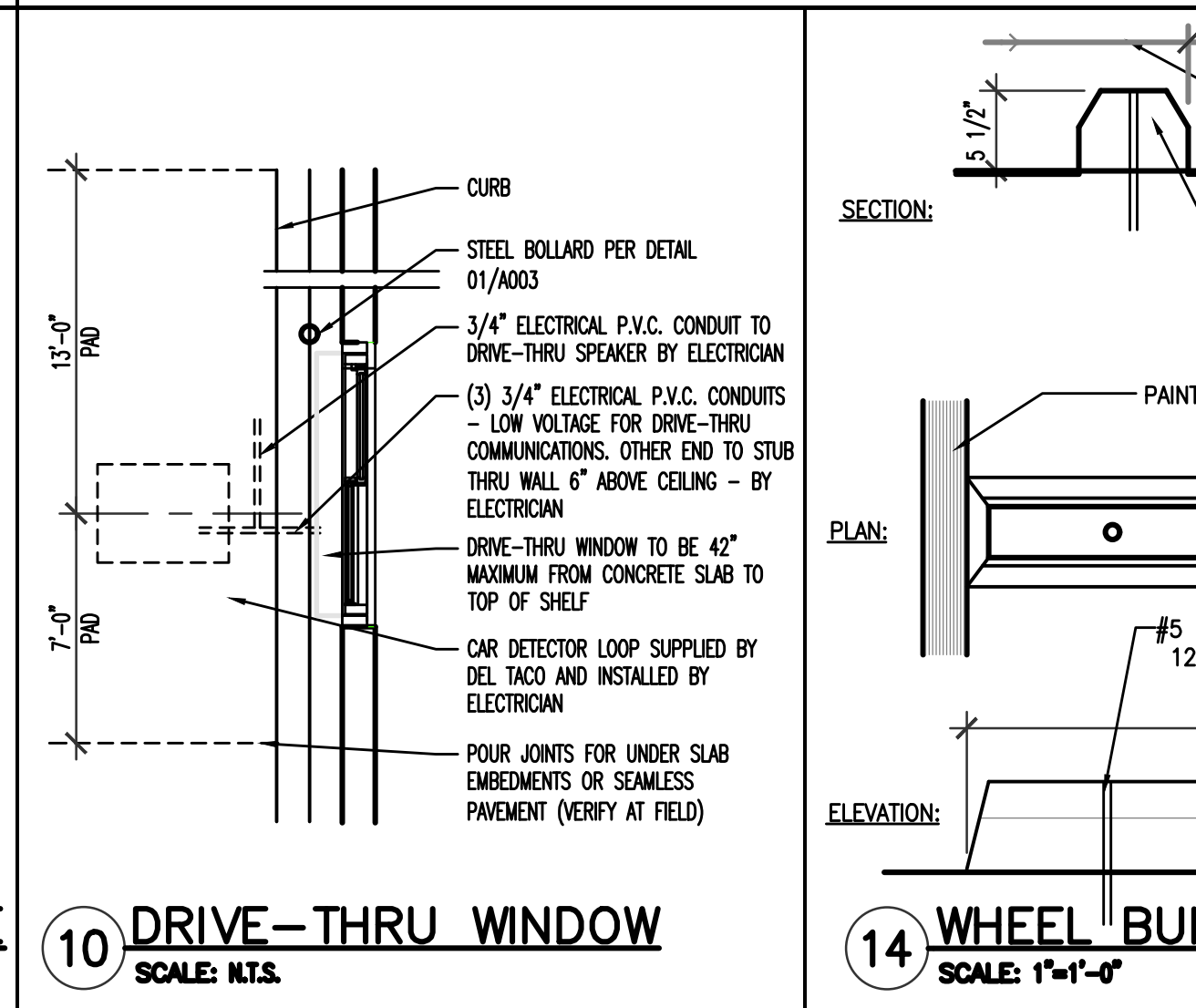
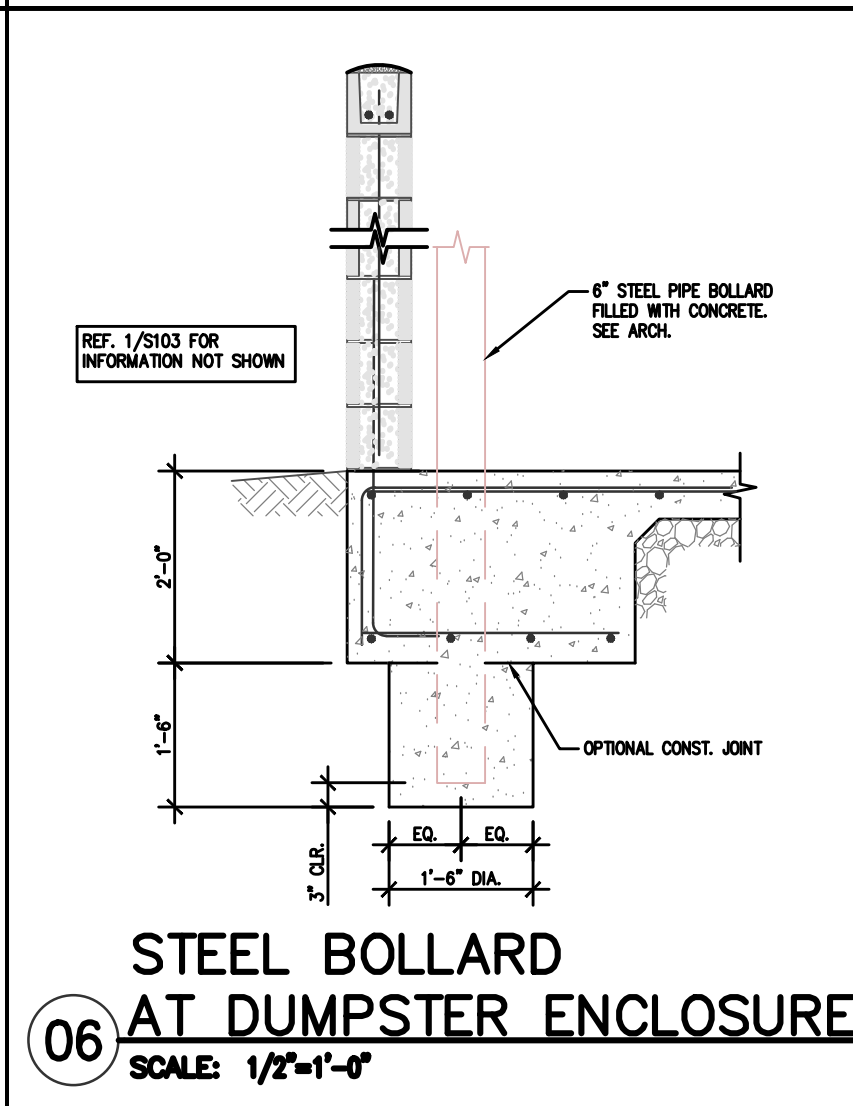
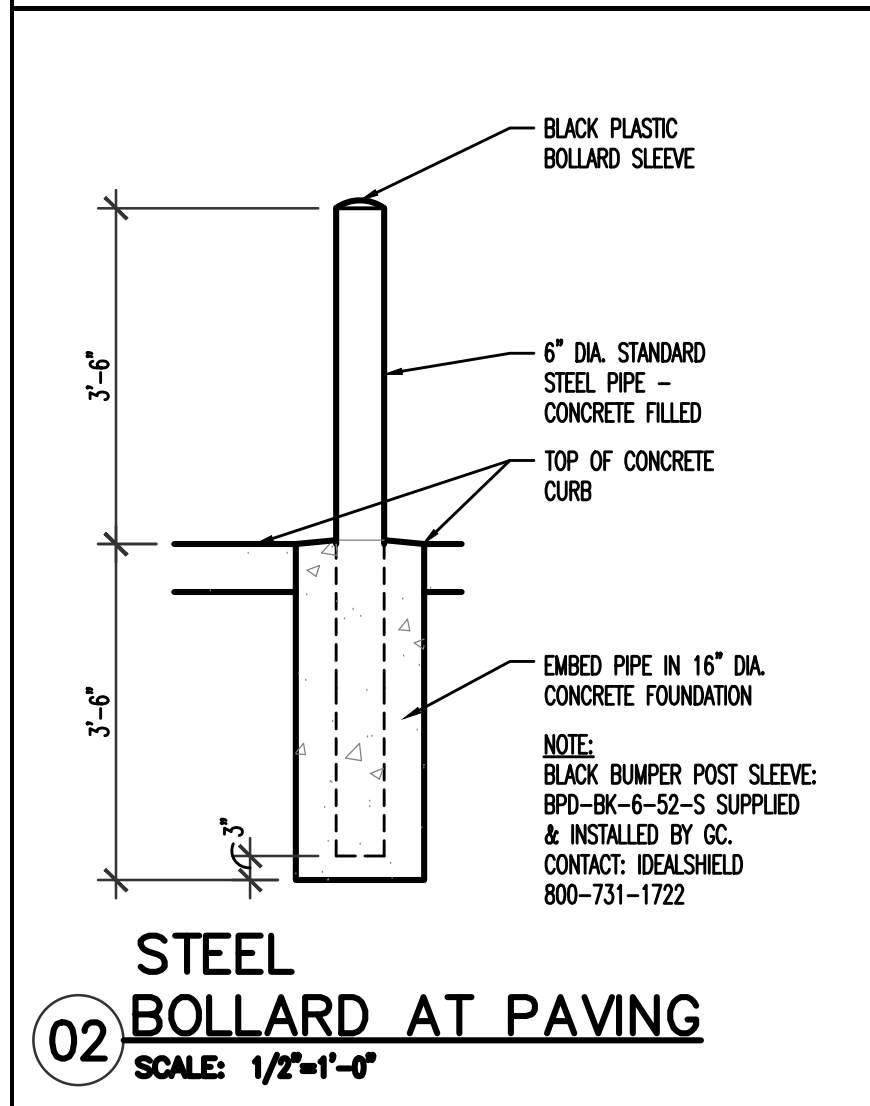
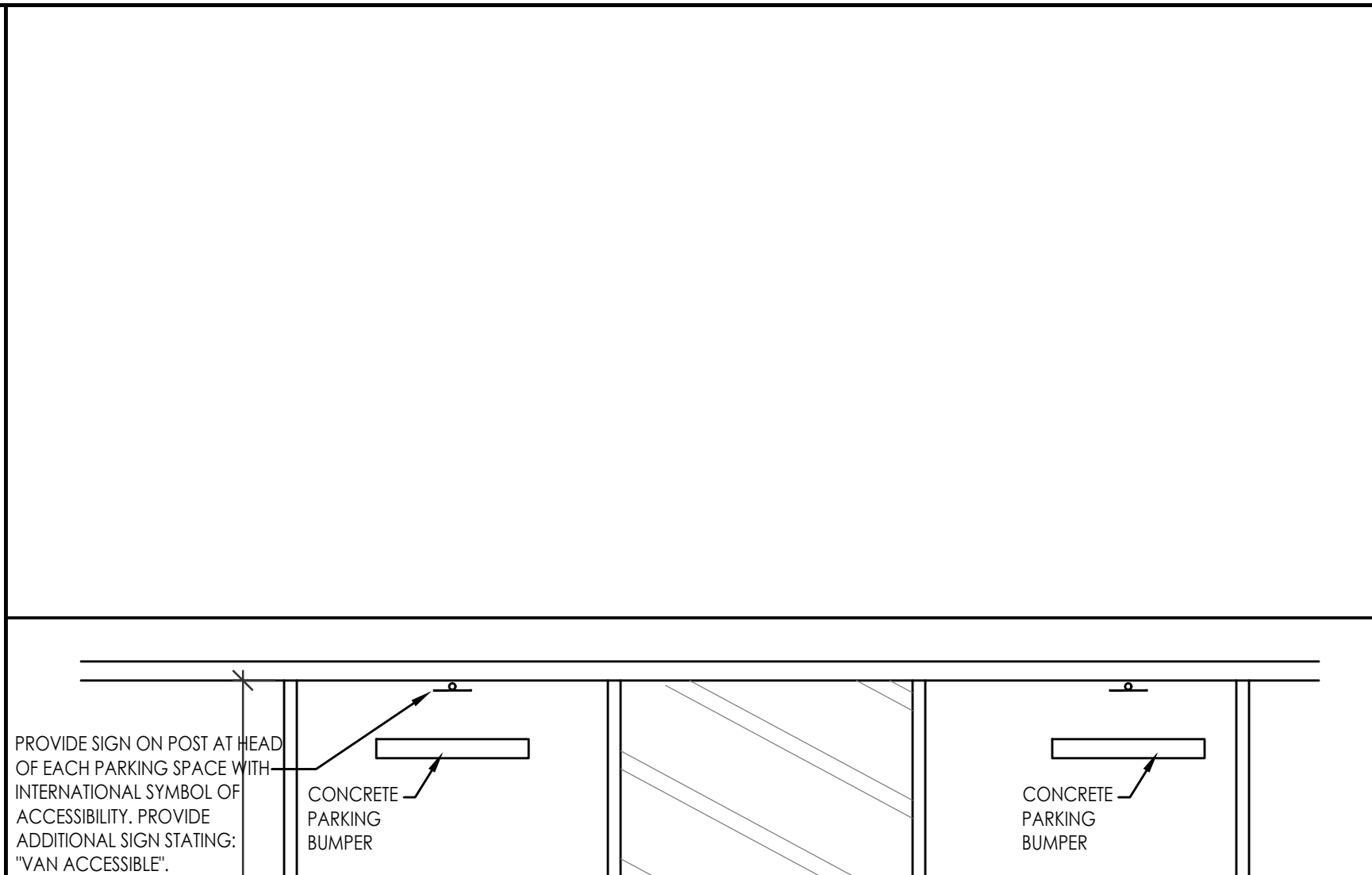
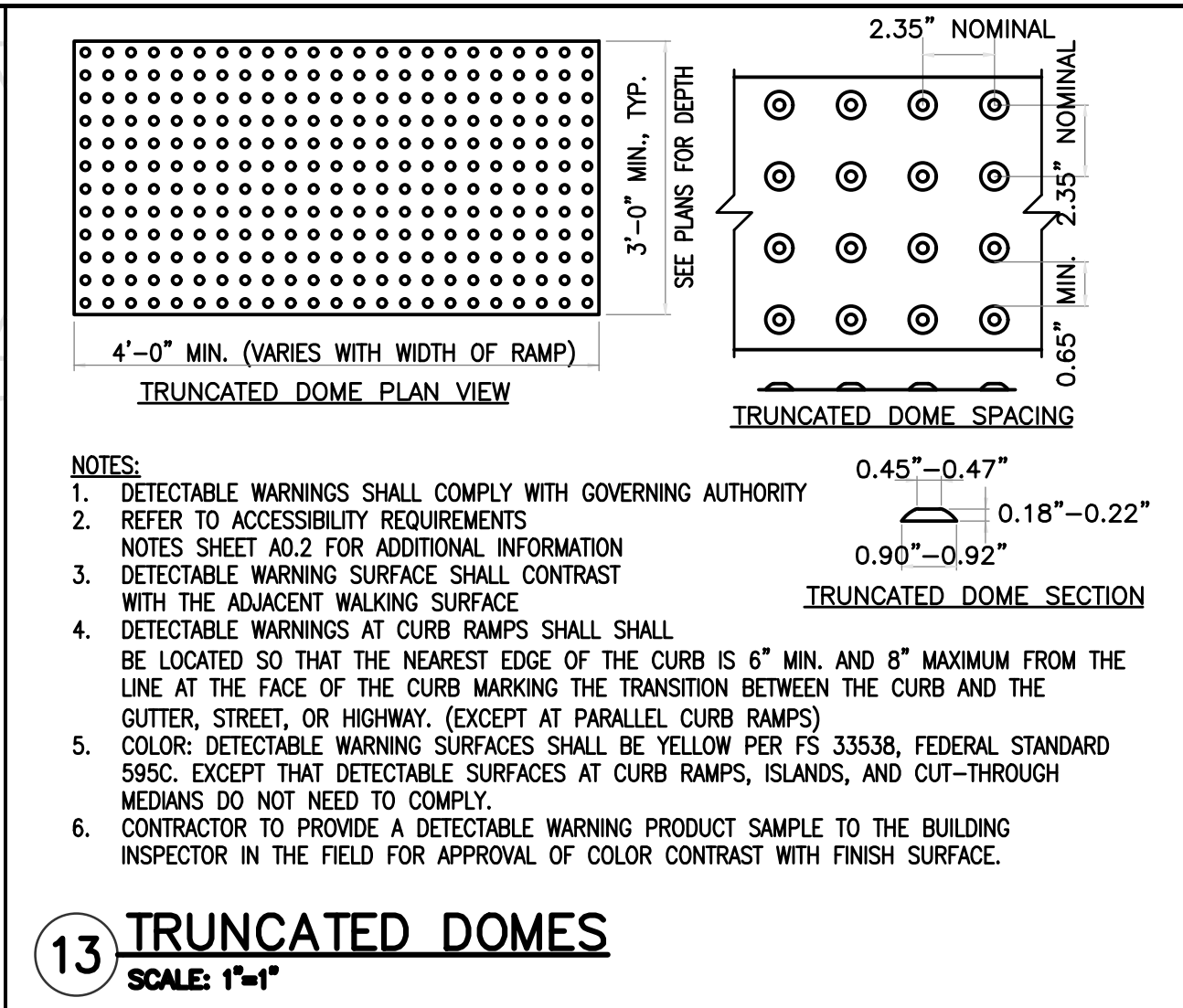
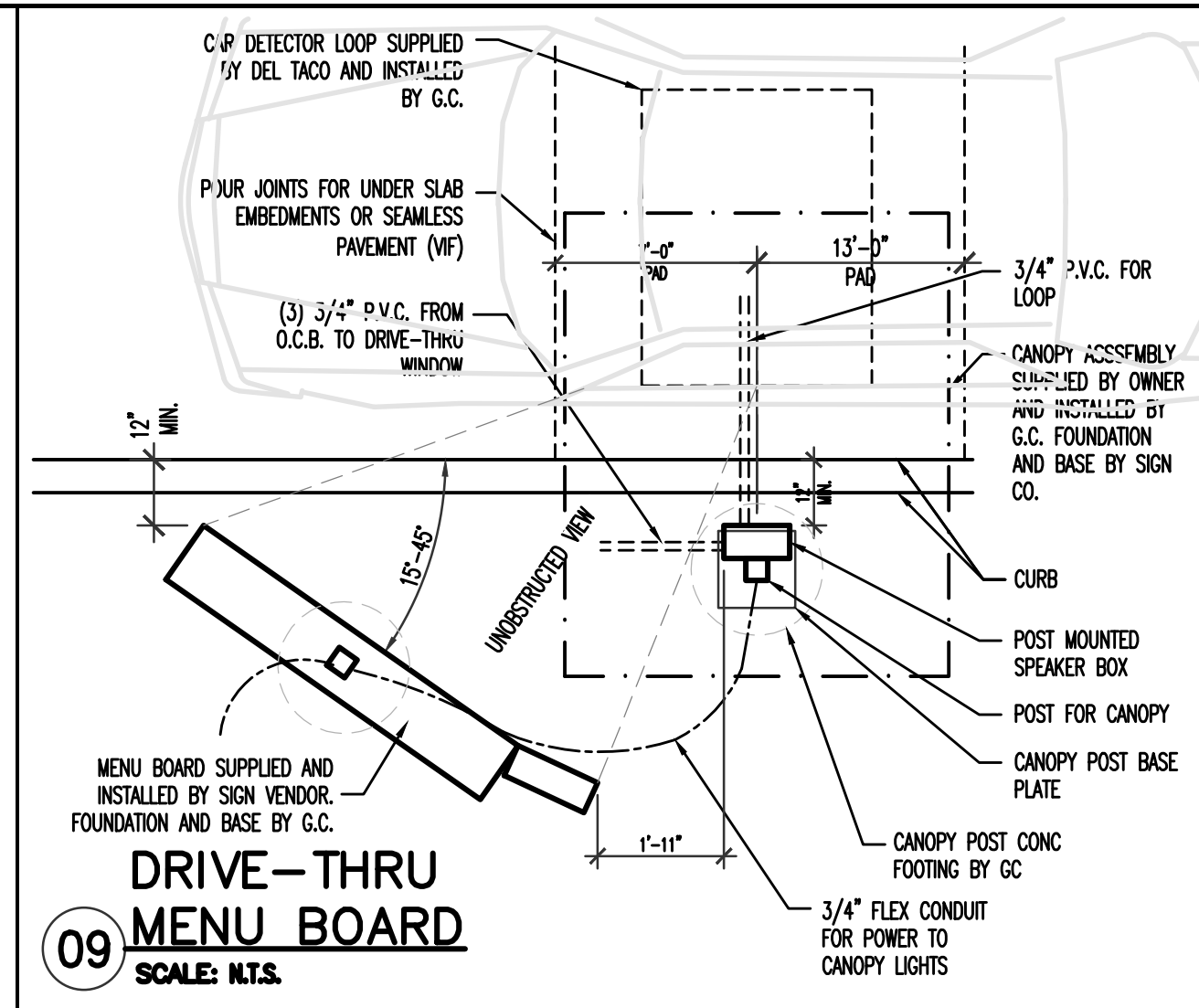
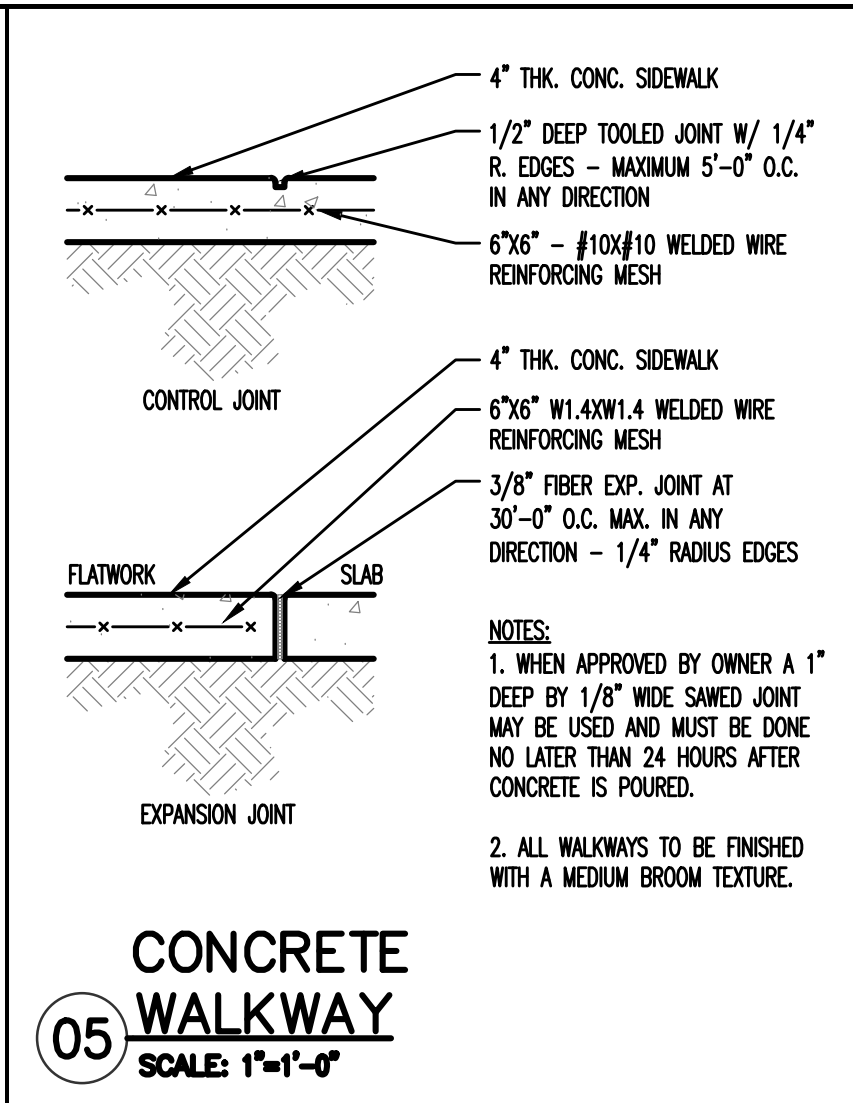
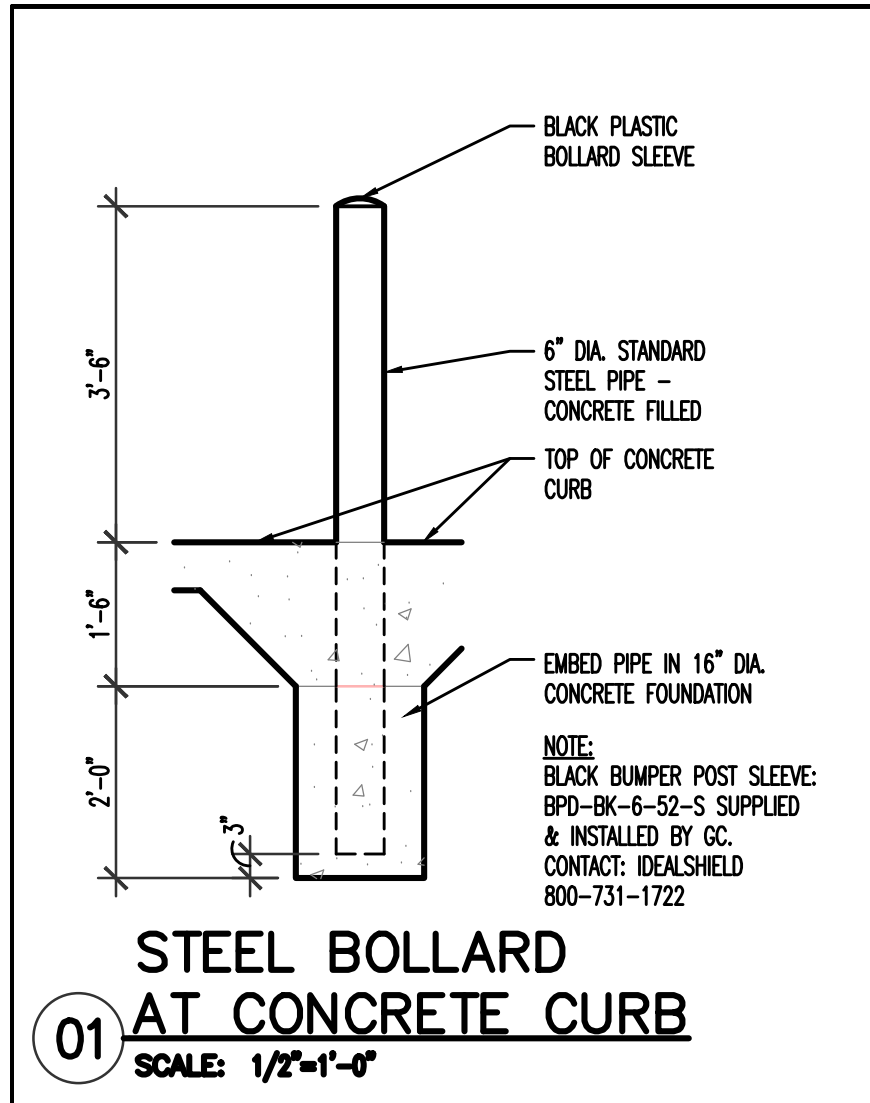
SHEET NUMBER

AS-1.1



DO NOT SCALE DRAWINGS
CONTRACTOR TO VERIFY
ALL EXISTING CONDITIONS AND
DIMENSIONS-NOTIFY ARCHITECT
OF ANY DISCREPANCIES PRIOR
TO BEGINNING CONSTRUCTION

FRESH FLEX PROTO
2021-Q1.0



DO NOT SCALE DRAWINGS
CONTRACTOR TO VERIFY
ALL EXISTING CONDITIONS AND
DIMENSIONS-NOTIFY ARCHITECT
OF ANY DISCREPANCIES PRIOR
TO BEGINNING CONSTRUCTION

FRESH FLEX PROTO
2021-Q1.0

DEL TACO STORE
SITE DETAIL SHEET
1500 GIBSON BLVD
ALBUQUERQUE, NM
PROJECT #2107

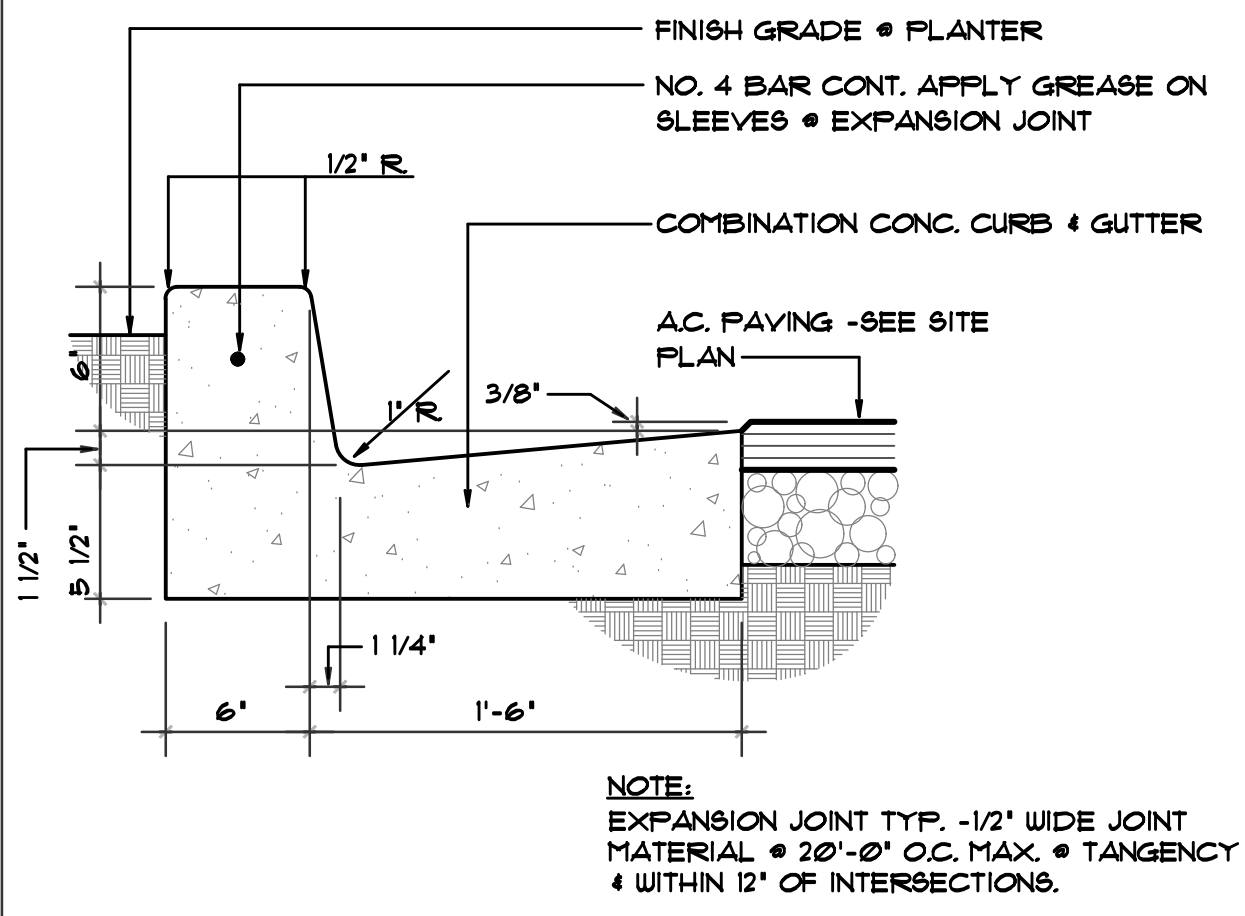
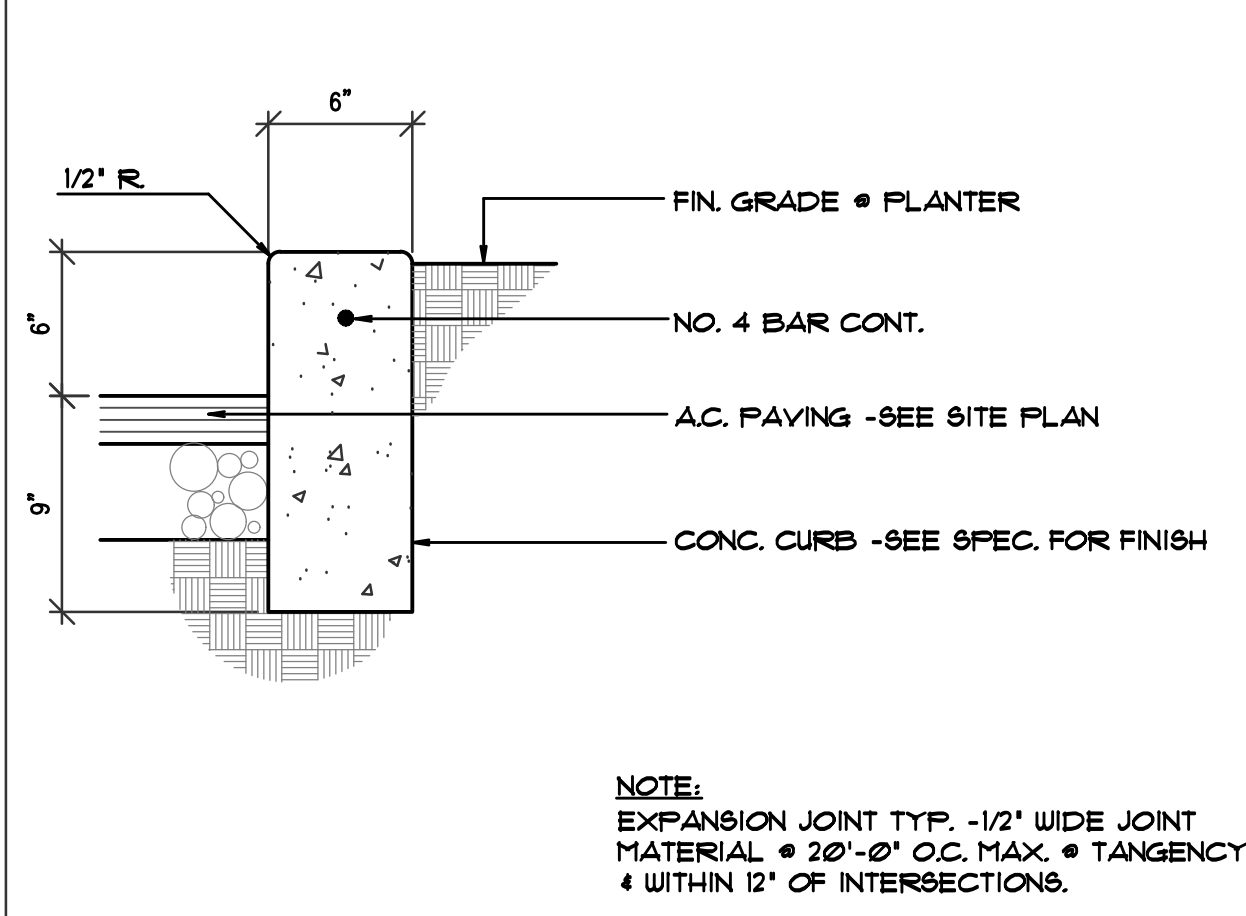
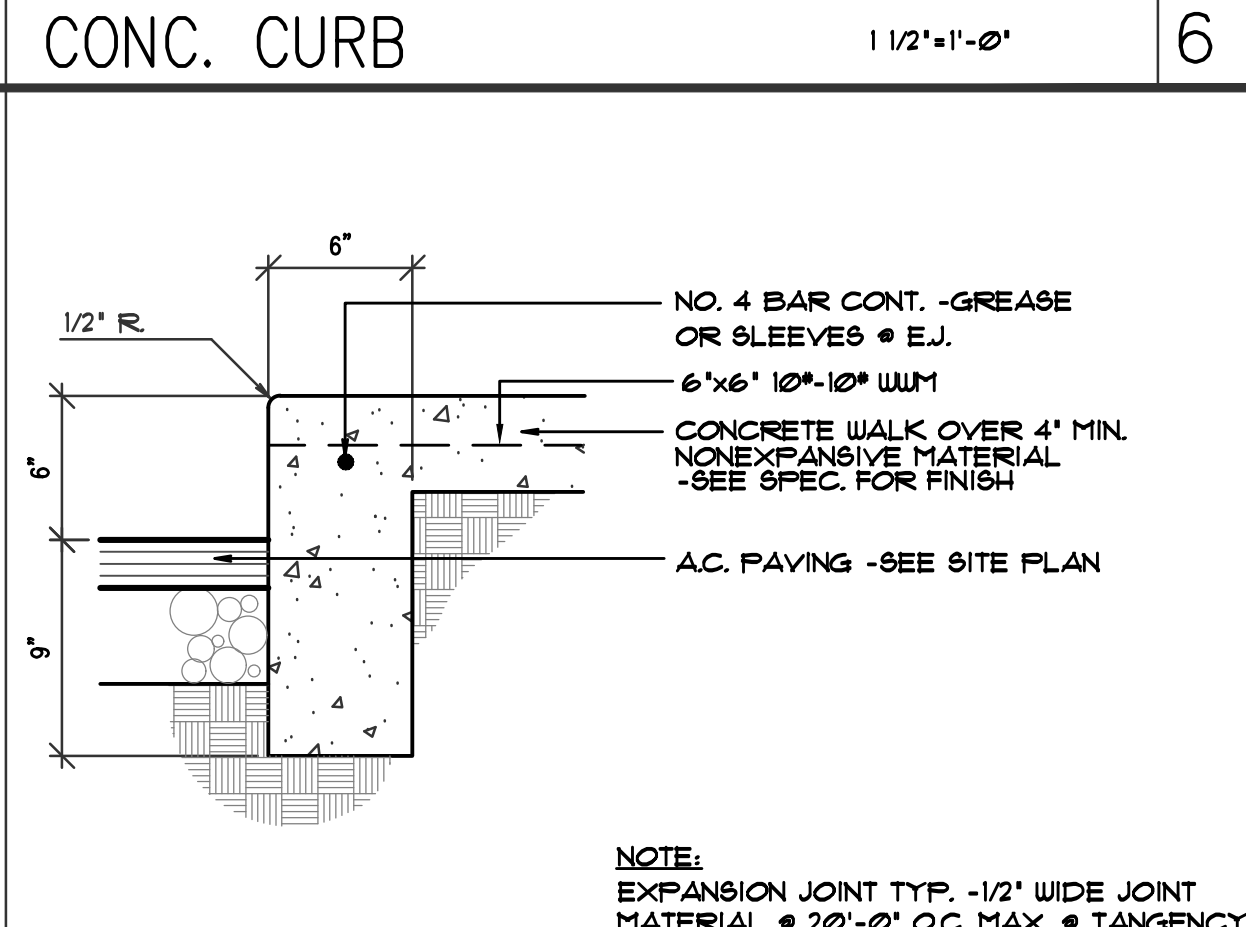
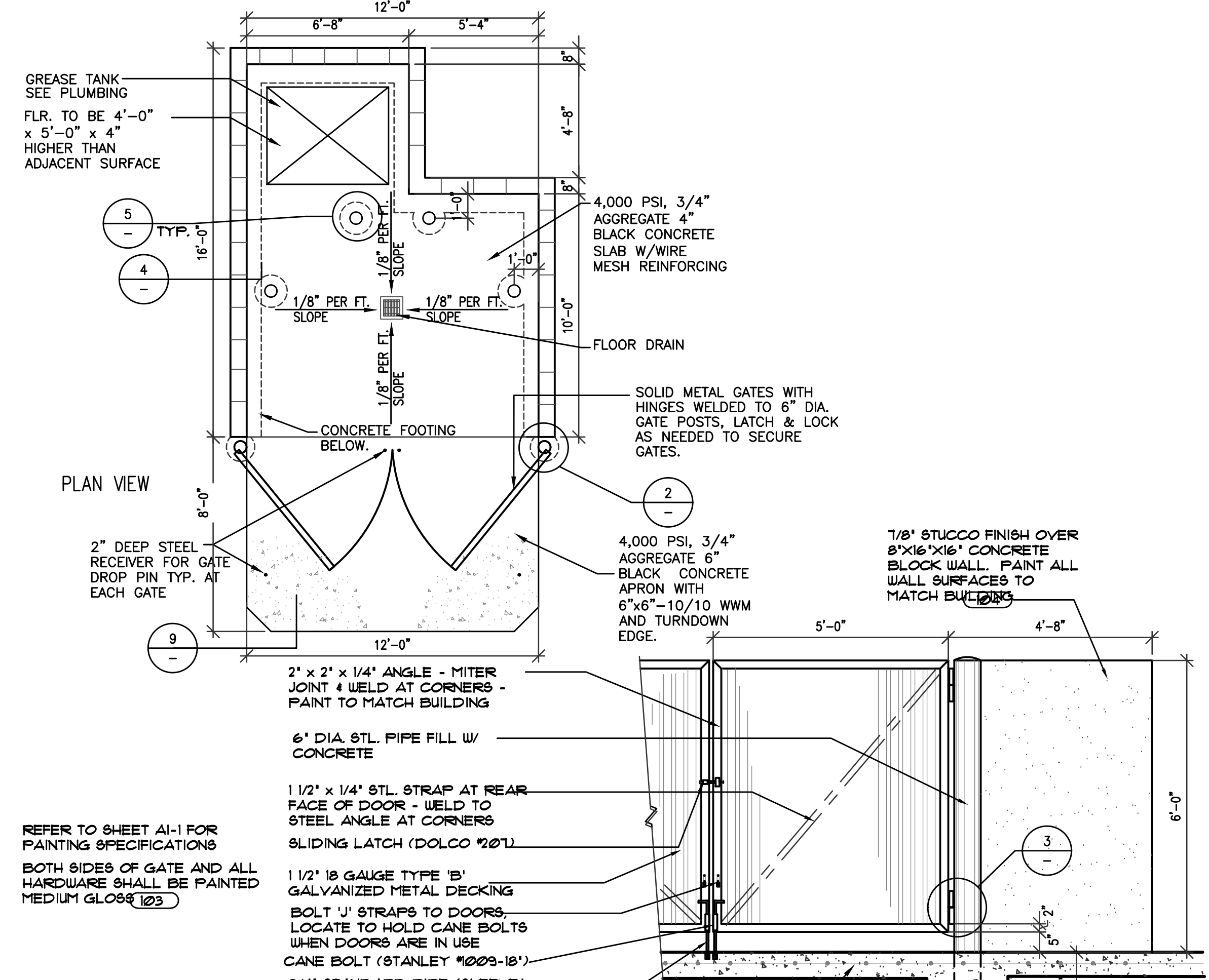
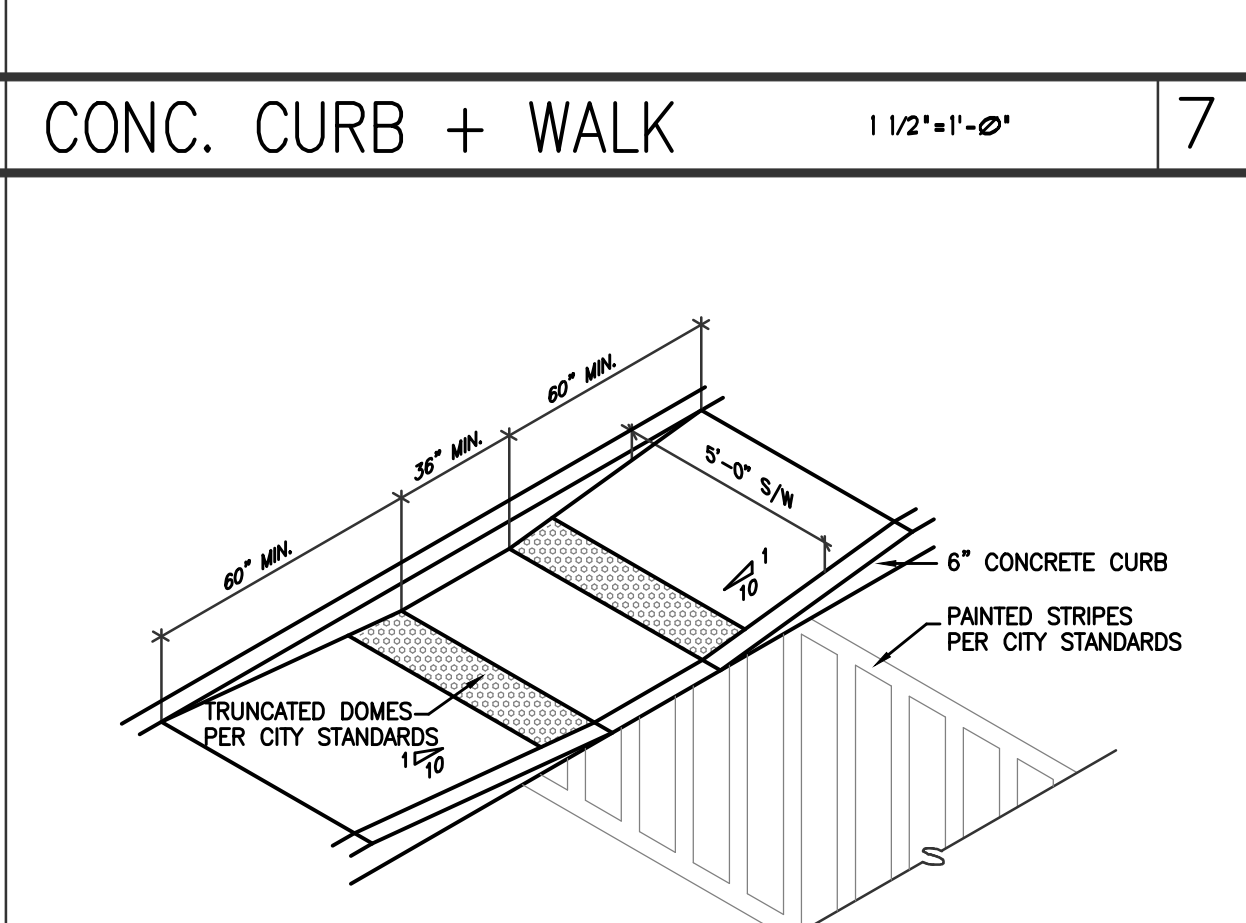
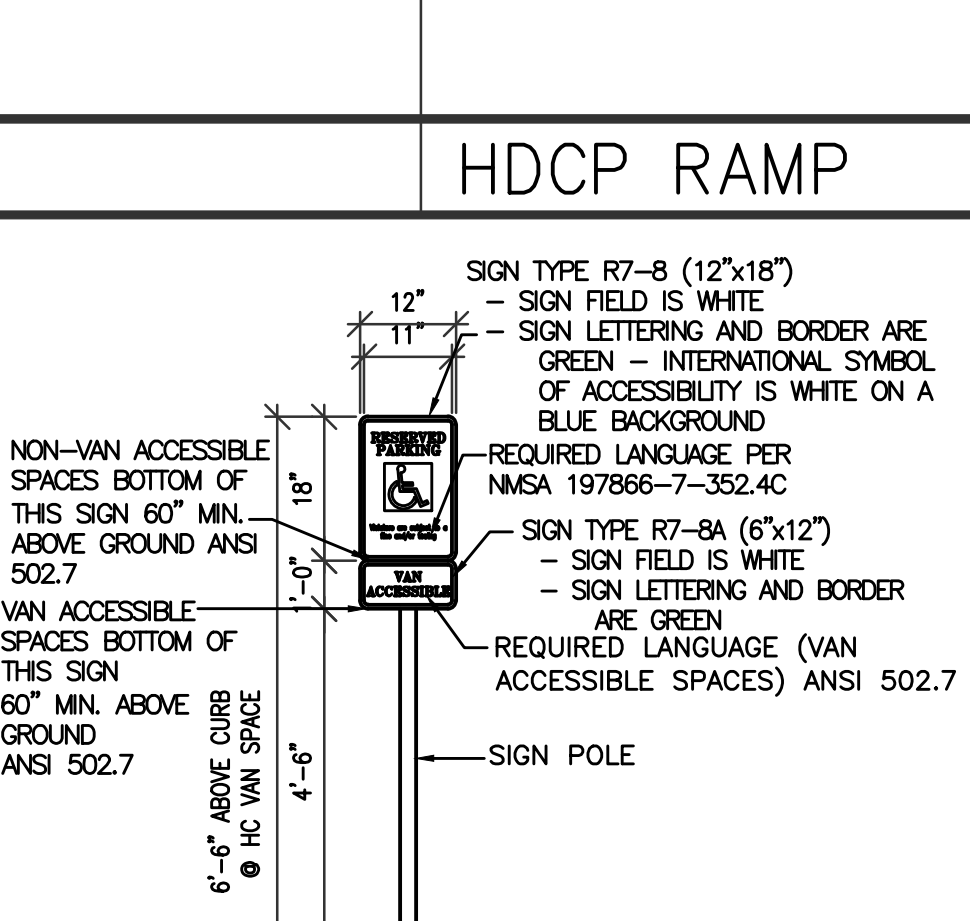
REVISION DATE

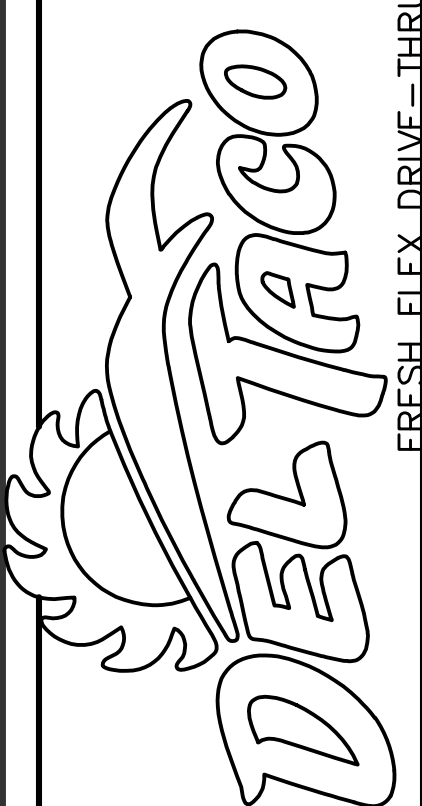
STATE OF NEW MEXICO
RICHARD P. BENNETT
No. 1240
10/12/21
REGISTERED ARCHITECT

RBA
ARCHITECTURE, PC
PLANNING
DESIGN
1500 GIBSON BLVD
ALBUQUERQUE, NM 87102
(505) 262-1000
www.rbaarch.com

DATE
10-12-2021

SHEET NUMBER
AS-2.0

	 FINISH GRADE • PLANTER NO. 4 BAR CONT. APPLY GREASE ON SLEEVES • EXPANSION JOINT COMBINATION CONC. CURB & GUTTER A.C. PAVING -SEE SITE PLAN NOTE: EXPANSION JOINT TYP. -1/2" WIDE JOINT MATERIAL • 20'-0" O.C. MAX. • TANGENCY & WITHIN 12' OF INTERSECTIONS.	1 1/2"=1'-0"	10	 FIN. GRADE • PLANTER NO. 4 BAR CONT. A.C. PAVING -SEE SITE PLAN CONC. CURB -SEE SPEC. FOR FINISH NOTE: EXPANSION JOINT TYP. -1/2" WIDE JOINT MATERIAL • 20'-0" O.C. MAX. • TANGENCY & WITHIN 12' OF INTERSECTIONS.	1 1/2"=1'-0"	6		
		CONC. GUTTER						
				 NO. 4 BAR CONT. -GREASE OR SLEEVES • E.J. 6"x6" 10"-10" WWM CONCRETE WALK OVER 4" MIN. NONEXPANSIVE MATERIAL -SEE SPEC. FOR FINISH A.C. PAVING -SEE SITE PLAN NOTE: EXPANSION JOINT TYP. -1/2" WIDE JOINT MATERIAL • 20'-0" O.C. MAX. • TANGENCY & WITHIN 12' OF INTERSECTIONS. SCORE MARKS • 5'-0" O.C. TYP.	1 1/2"=1'-0"	7	 GREASE TANK SEE PLUMBING FLR. TO BE 4'-0" x 5'-0" x 4" HIGHER THAN ADJACENT SURFACE PLAN VIEW 2" DEEP STEEL RECEIVER FOR GATE DROP PIN TYP. AT EACH GATE ELEVATIONS 4,000 PSI, 3/4" AGGREGATE 6" BLACK CONCRETE SLAB W/WIRE MESH REINFORCING FLOOR DRAIN SOLID METAL GATES WITH HINGES WELDED TO 6" DIA. GATE POSTS, LATCH & LOCK AS NEEDED TO SECURE GATES. 4,000 PSI, 3/4" AGGREGATE 6" BLACK CONCRETE APRON WITH 6"x6"-10/10 WWM AND TURNDOWN EDGE. 7/8" STUCCO FINISH OVER 8"x16"x16" CONCRETE BLOCK WALL. PAINT ALL WALL SURFACES TO MATCH BUILDING 2" x 2' x 1/4" ANGLE - MITER JOINT & WELD AT CORNERS - PAINT TO MATCH BUILDING 6" DIA. STL. PIPE FILL W/ CONCRETE 1 1/2" x 1/4" STL. STRAP AT REAR FACE OF DOOR - WELD TO STEEL ANGLE AT CORNERS SLIDING LATCH (DOLCO 1201) 1 1/2" 18 GAUGE TYPE 'B' GALVANIZED METAL DECKING BOLT 1/2" STRAPS TO DOORS, LOCATE TO HOLD CANE BOLTS WHEN DOORS ARE IN USE CANE BOLT (STANLEY 1009-18') 3/4" STANDARD PIPE (SLEEVE) 6' IN LENGTH WELDED AT BOTTOM CORNER OF EA. DOOR CONCRETE ENVELOPE AT GATE POST 6" BLACK CONC. SLAB W/ 6"x6" WWM AT MID-DEPTH 1'-8" DIA. 1/4"=1'-0"	1
				CONC. CURB + WALK	1 1/2"=1'-0"	7	TRASH ENCLOSURE	
				 6" CONCRETE CURB PAINTED STRIPES PER CITY STANDARDS TRUNCATED DOMES PER CITY STANDARDS				
				HDCP RAMP	1/2"=1'-0"	8	TRASH WALL + FOOTING	1/4"=1'-0"
								4
							JAMB AT TRASH ENCLOSURE-PLAN	1 1/2"=1'-0"
								2
				 SIGN TYPE R7-8 (12"x18") SIGN FIELD IS WHITE SIGN LETTERING AND BORDER ARE GREEN - INTERNATIONAL SYMBOL OF ACCESSIBILITY IS WHITE ON A BLUE BACKGROUND REQUIRED LANGUAGE PER NMSA 197866-7-352.4C SIGN TYPE R7-8A (6"x12") SIGN FIELD IS WHITE SIGN LETTERING AND BORDER ARE GREEN REQUIRED LANGUAGE (VAN ACCESSIBLE SPACES) ANSI 502.7 SIGN POLE NON-VAN ACCESSIBLE SPACES BOTTOM OF THIS SIGN 60" MIN. ABOVE GROUND ANSI 502.7 VAN ACCESSIBLE SPACES BOTTOM OF THIS SIGN 60" MIN. ABOVE GROUND ANSI 502.7 6'-6" ABOVE CURB • HC VAN SPACE 4'-6" 2'-4" 2'-1"				
				HANDICAP SIGNAGE	N.T.S.	18	CONC. APRON.	1 1/2"=1'-0"
								9
							GUARD POST	1/4"=1'-0"
								5
							JAMB AT TRASH ENCLOSURE-ELE.	1 1/2"=1'-0"
								3



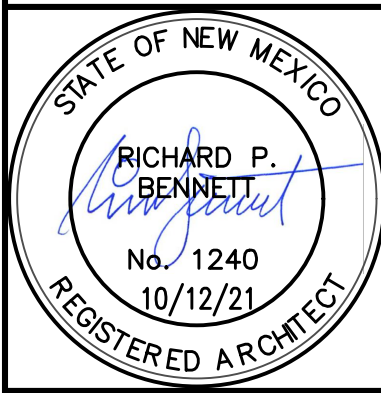
FRESH FLEX DRIVE-THRU ONLY

DO NOT SCALE DRAWINGS
CONTRACTOR TO VERIFY
ALL EXISTING CONDITIONS AND
DIMENSIONS-NOTIFY ARCHITECT
OF ANY DISCREPANCIES PRIOR
TO BEGINNING CONSTRUCTION

FRESH FLEX PROTO
2021-Q1.0

DEL TACO STORE
SITE DETAIL SHEET
1500 GIBSON BLVD
ALBUQUERQUE, NM
PROJECT #2107

REVISION DATE



RBA
ARCHITECTURE, PC
PLANNING
DESIGN

1000 1st Ave. SW
Albuquerque, NM 87102
505.243.4444
www.rba.com

DATE
10-12-2021

SHEET NUMBER
AS-2.1



ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION
PERMIT
PERMIT NUMBER: FP 21-008205
APPROVED DATE: 11/02/21
APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND
APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN
ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL
FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180
DAYS. FINAL INSPECTION IS REQUIRED.

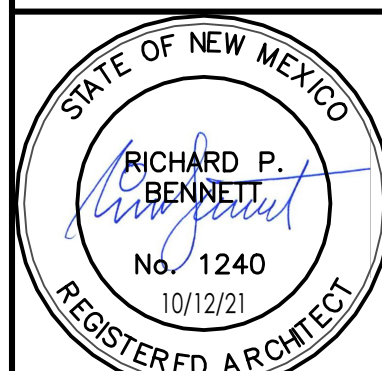


DO NOT SCALE. DRAWINGS
CONTRACTOR TO VERIFY
ALL EXISTING CONDITIONS AND
DIMENSIONS-NOTIFY ARCHITECT
OF ANY DISCREPANCIES PRIOR
TO BEGINNING CONSTRUCTION

FRESH FLEX PROTO
2021-Q1.0

DEL TACO STORE
FIRE 1 SITE PLAN
1500 GIBSON BLVD
ALBUQUERQUE, NM 87106
PROJECT #2107

REVISION DATE



RBA
ARCHITECTURE, PC
PLANNING
DESIGN

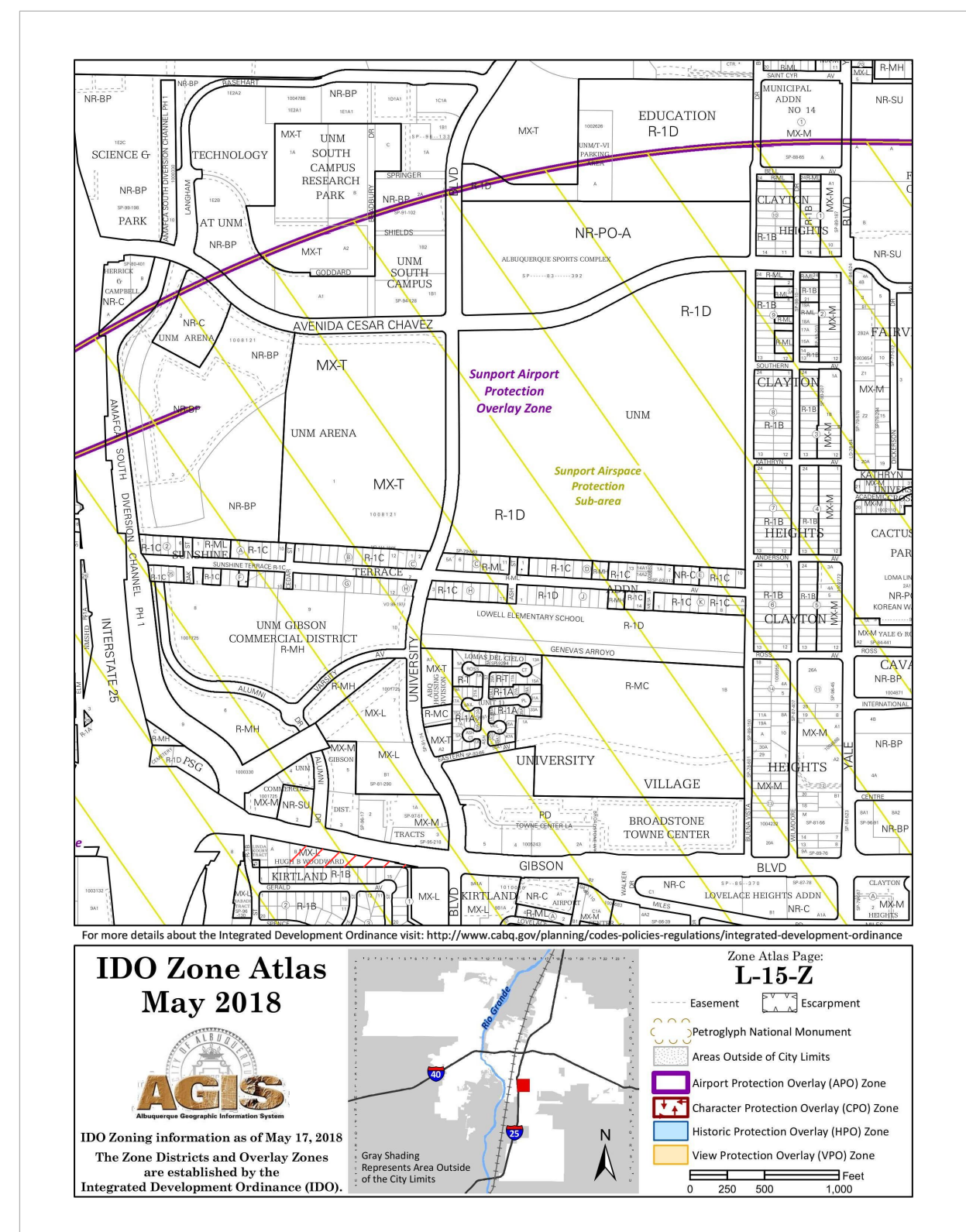
DATE
10-12-2021

SHEET NUMBER

FIRE 1

GENERAL CONTRACTOR TO
FIELD VERIFY ALL EXIST.
CONSTRUCTION AND
DIMENSIONS PRIOR TO
CONSTRUCTION

VICINITY MAP L-15-Z

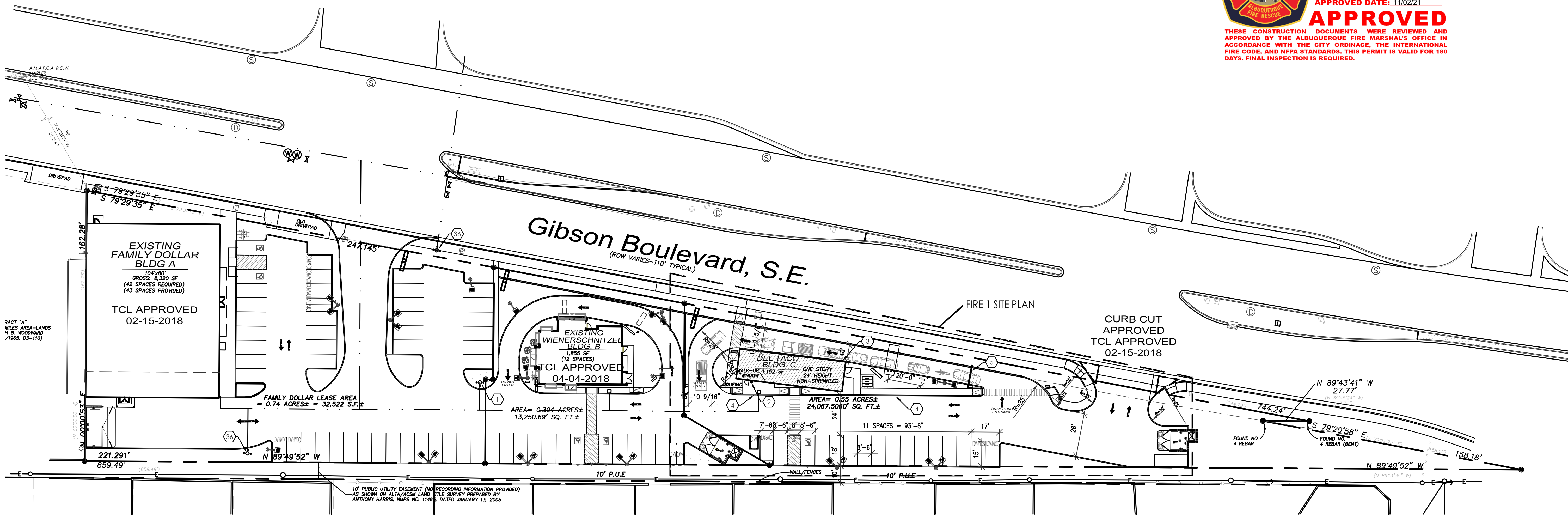
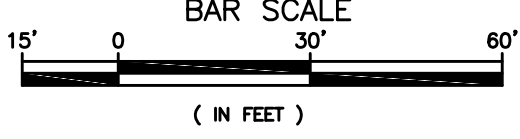


- KEYED NOTES**
- EXISTING FIRE HYDRANT LOCATION.
 - KNOX BOX LOCATION BETWEEN 4' AND 6' A.F.F. ILLUMINATED AND IMMEDIATELY VISIBLE.
 - PREMIS ID LOCATION COORDINATE WITH FIRE MARSHAL.
 - FIRE LANE. PAINT CONC. CURB RED AND ADD SIGNAGE TO CURBS 5" HIGH WHITE LETTER "NO PARKING, FIRE LANE", TYP. EVERY 15' OVER 6" WIDE RED STRIPE, REF: FIRE ORD. 503.3.1.
 - CLEARANCE BAR, REFER TO 12/.

FIRE FLOW REQUIREMENTS
TYPE SB 1,152 S.F.
0-3,600 S.F. = 1,500 G.P.M. = 2 HOUR FLOW DURATIONS
1,500 G.P.M. = 1 HYDRANT = 500 FEET SPACING = 250 FEET MAX DISTANCE

PARKING CALCULATIONS			
BLDG A	8,320 S.F./200		
	REQUIRED	= 42 SPACES	
	PROVIDED	= 41 SPACES	
		= 2 ACCESSIBLE	
	TOTAL PROVIDED	= 43 SPACES	
		= 2 MOTORCYCLE	
BLDG B	1,855 S.F./200		
	REQUIRED	= 12 SPACES	
	PROVIDED	= 11 SPACES	
		= 2 ACCESSIBLE	
		= 5 DRIVE-THRU	
	TOTAL PROVIDED	= 18 SPACES	
		= 2 MOTORCYCLE	
BLDG C	1,152 S.F./200		
	REQUIRED	= 6 SPACES	
	PROVIDED	= 15 SPACES	
		= 1 ACCESSIBLE	
		= 5 DRIVE-THRU	
	TOTAL PROVIDED	= 21 SPACES	
		= 2 MOTORCYCLE	
TOTAL SPACES REQUIRED		= 66 SPACES	
TOTAL H.C. SPACES REQ'D		= 5 SPACES	
TOTAL SPACES PROVIDED		= 82 SPACES	
TOTAL H.C. SPACES PROV.		= 5 SPACES	
TOTAL DRIVE-THRU PROV.		= 10 SPACES	
TOTAL MC SPACE PROV.		= 6 SPACES	
BLDG. A			
TOTAL BIKE PARKING REQ'D	= 5 SPACES		
TOTAL BIKE PARKING PROV.	= 5 SPACES		
BLDG. B			
TOTAL BIKE PARKING REQ'D	= 3 SPACES		
TOTAL BIKE PARKING PROV.	= 3 SPACES		
BLDG. C			
TOTAL BIKE PARKING REQ'D	= 2 SPACES		
TOTAL BIKE PARKING PROV.	= 2 SPACES		
TOTAL BIKE PARKING TOTAL	= 10 SPACES		

OVERALL SITE PLAN
1"=60'-0"



BUILDING CODE INFORMATION

2015 New Mexico Mechanical Code;	
2015 New Mexico Plumbing Code;	
2015 New Mexico Swimming Pool Code;	
2018 New Mexico Energy Conservation Code;	
2015 New Mexico Commercial Building Code;	
2015 New Mexico Residential Building Code;	
2015 New Mexico Earthen Building Code;	
The Mexico Historic Earthen Building Code;	
2015 New Mexico Existing Building Code;	
2015 New Mexico International Code Council Performance Code for Building and Facilities;	
2017 New Mexico Electrical Code;	
2015 New Mexico Electrical Safety Code;	
2015 International Building Code (IBC);	
2015 International Residential Code (IRC);	
2015 International Fire Code (IFC);	
2015 International Existing Building Code (IEBC);	
2015 Uniform Mechanical Code (UMC);	
2015 National Electric Code (NEC);	
CHAPTER 3 OCCUPANCY AND USE CLASSIFICATION:	A-2 RESTAURANT (1,125 S.F.)
GROUP R-2:	V-B, WITHOUT FIRE PROTECTION SYSTEM
TABLE 504.3, ALLOWABLE HEIGHT:	40'
TABLE 504.4 ALLOWABLE STORIES:	1 STORY
TABLE 506.2 ALLOWABLE AREA:	6,000 S.F.
TABLE 601 FIRE-RESISTANCE RATING REQUIREMENTS:	TYPE V-B, EXTERIOR-INTERIOR BEARING WALLS, NO FIRE-RESISTANCE RATING REQUIRED.
TABLE 602 FIRE-RESISTANCE FOR FIRE SEPARATION:	10<X<30 - 0 FIRE RATING
SECTION 903 AUTOMATIC SPRINKLER SYSTEM:	903.2.1.2 GROUP A2, NON SPRINKLED, LESS THAN 5,000 S.F., LESS THAN 100 OCC.
SECTION 1004.1.2 OCCUPANT LOAD TABLE	
BUILDING A OCCUPANT LOAD:	9 OCC. (EMPLOYEE ONLY)
TABLE 1006.3.1 MINIMUM NUMBER OF EXITS PER STORY:	OCCUPANT LOAD PER STORY 1-500
MIN. NUMBER OF EXITS OR ACCESS TO EXITS FROM STORY:	TOTAL OCCUPANTS = 9
EXITS PROVIDED:	2 EXITS REQUIRED AT EACH STORY 2 EXITS PROVIDED AT EACH STORY (REF: BUILDING FIRE-2 PLAN)
TABLE 1017.2 EXIT ACCESS TRAVEL DISTANCE	OCCUPANCY: GROUP A2 WITHOUT SPRINKLER SYSTEM: 200 FEET

DEFERRED SUBMITTALS:

HOOD AND DUCT EXTINGUISHING SYSTEM
BUILDING SIGNAGE UNDER SEPARATE PERMIT AND SUBMITTAL
FIRE ALARM SYSTEMS - BY GC PRIOR TO INSTALLATION

LIFE SAFETY GENERAL NOTES

- PREMISE IDENTIFICATION - SHALL BE MINIMUM 12 INCHES HIGH x 1 INCH WIDE STROKE AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY
- G.C. TO PROVIDE FIRE EXTINGUISHERS 2A-10-BC, 1 PER EACH 3,000 S.F., REF: FLOOR PLANS FOR QUANTITY, LOCATIONS AND TYPE.
- ALL PENETRATIONS THROUGH A FIRE RATED WALL ASSEMBLY TO BE FIRESTOPPED WITH THERMAFIBER AS MANUFACTURED BY THERMAFIBER, LLC, WABASH, 46992 OR OTHER APPROVED EQUAL.
- ALL EXIT SIGNS AND EMERGENCY LIGHTING SHALL HAVE BATTERY BACK-UP, REF: ELECTRICAL.