

CITY OF ALBUQUERQUE



March 14, 2018

Mark Goodwin, P.E.
Mark Goodwin & Associates
PO Box 90606
Albuquerque, NM 87199

**RE: Family Dollar
1400 Gibson Blvd SE
Grading Plan
Engineers Stamp Date: 3/9/18 (L15D049)**

Dear Mr. Goodwin:

Based on the information provided in your submittal received on 3/9/18, the Grading Plan cannot be approved for Building Permit until the following are addressed:

1. Provide the current ALTA survey.
2. This site must demonstrate downstream capacity per § 14-5-2-12(G) of the Albuquerque Code of Ordinances before any increase in runoff can be approved. The plan dated 5/2/06 and approved for grading/SPBP on 6/15/06 was denied for building permit due to the lack of hydraulic calculations provided on the downstream capacity.
3. Stormwater quality ponds need to be located where they can intercept flows from the impervious areas. Delineate the area draining to each pond, size the pond for the area draining to it, and quantify the first flush volume that bypasses each pond. Payment of Fee-in-Lieu will then be required for the bypass volume at a rate of \$8/cubic foot.
4. Only show phase 1 construction on this plan. Delete or screen back anything to be built in phase 2. This division was partially defined on the previous plan but was removed in this plan.
5. Work along the southern boundary needs to be clarified. Extend the section view to show existing and proposed grades, the existing walls, property and PUE lines, horizontal and vertical dimensions, including dimensions to property/PUE lines. If a new wall straddling the property line is required, written permission from the adjoining landowners will need to be obtained. Section A-A seems to indicate a retaining wall footer encroaching on the adjacent property.
6. Provide section cuts through the western property line. It appears a new retaining wall is proposed here that will be different from A-A. This will need to demonstrate that no encroachments are being made onto the adjoining property as well. Show existing and proposed grades, the existing walls, property and PUE lines, horizontal and vertical dimensions, including dimensions to property/PUE lines.

CITY OF ALBUQUERQUE



7. What is the status of the public work order? Add a note on this plan to the effect of "No work allowed in the public right of way without an approved work order" or similar.
8. The stormwater quality ponds will need private facility drainage covenants.

Due to the illegal grading that has already begun, it is recommended that an interim grading plan for grading permit only be submitted. This will need to demonstrate temporary on-site retention and no damage to the adjoining properties and ROW.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

*~ 2012 ACEC/NM Award Winner for Engineering Excellence ~
~ 2008 ACEC/NM Award Winner for Engineering Excellence ~*

March 7, 2018

Mr. Dana Peterson
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: Family Dollar 1400 Gibson Blvd SE- Grading Plan (L15D049)

Dear Mr. Peterson;

Below is a response to the comments dated 12/21/17 for the grading plan at 1400 Gibson Blvd.

1. The property as shown is a boundary topo and shows the property lines. The Bernalillo county parcel do not show the 10' Public Utility Easement dated Jan 13, 2005 as shown by the ALTA/ACSM which is labeled on the southern boundary of the G&D.
2. Per the accepted grading plan dated June 15, 2006, the existing 54" storm drain in Gibson was sized to allow fully developed flows from this site.
3. Due to the layout storm water quality ponds could only be obtained in limited portions of the site to address runoff from partial of the roads and buildings. The owners have elected to do a pay in leu to be determined.
4. All the paving is being built with this grading plan for the project. Phase 2 will only incorporate the building pads for the future buildings 2 and 3.
5. Work along the southern property line will be maintained within our property only, the retaining wall will be within our site and will not straddle the property line.
6. Private facility drainage covenants will be completed for the stormwater quality ponds on site.

Please call me if you have any questions.

Sincerely,
MARK GOODWIN & ASSOCIATES, P.A.

Hiram L. Crook
Staff Engineer

HYDROLOGY NOTES

THE TOTAL SITE IS BOUNDED BY GIBSON BLVD LANE SW TO THE NORTH, AND EXISTING RESIDENTIAL DEVELOPMENT TO THE SOUTH. THE PROJECT SITE IS A COMMERCIAL PROPERTY WITH 3 PROPOSED BUILDINGS.

THE PROJECT SITE CONSISTS OF 1.6354 ACRES. NO OFFSITE FLOWS ENTER THIS SITE. THE SITE IS NOT IN A 100YR FLOOD ZONE.

THE DEVELOPED FLOW GENERATED FOR THIS SITE IS 6.76CFS. THE HYDROLOGY WAS CALCULATED PER COA DPM USING AHYMO. $P_w=2.61"$ FROM NOAA 14. THE RESULTS ARE SUMMARIZED IN THE HYDROLOGY TABLE ON THIS SHEET.

THE DRAINAGE BASIN FROM THE DEVELOPED AREA WILL NOT BE CHANGED. ALL RUNOFF WILL BE COLLECTED BY PROPOSED ROAD GRADES TO A TYPE "D" INLET IN A SUMP CONDITION. THE FLOW WILL THEN BE CONVEYED BY A 18" RCP AT A VELOCITY OF 3.83 FT/S TO AN EXISTING MANHOLE IN GIBSON BLVD.

BASIN DATA

BASIN ID	% D	% C	AREA	Q(100)	VOLUME
100	75	25	1.6354 AC.	6.76 cfs	.2813 AC-FT

FIRST FLUSH

THE "FIRST FLUSH" IS BEING ACCOMPLISHED THROUGH CURB OPENINGS TO 1' DEPRESSED LANDSCAPED MEDIANS ONSITE.

REQUIRED VOLUME = $0.34" \times$ IMPERVIOUS AREA
= $0.34" \times 12 \times (53418 \text{ SF})$
= 1513.53 CF

VOLUME PROVIDED = 1370 CF

DEPTH = 8" (SEE DETAILS THIS SHEET)

AREA = 2055 SF

VOLUME = 1370 CF

NOTES

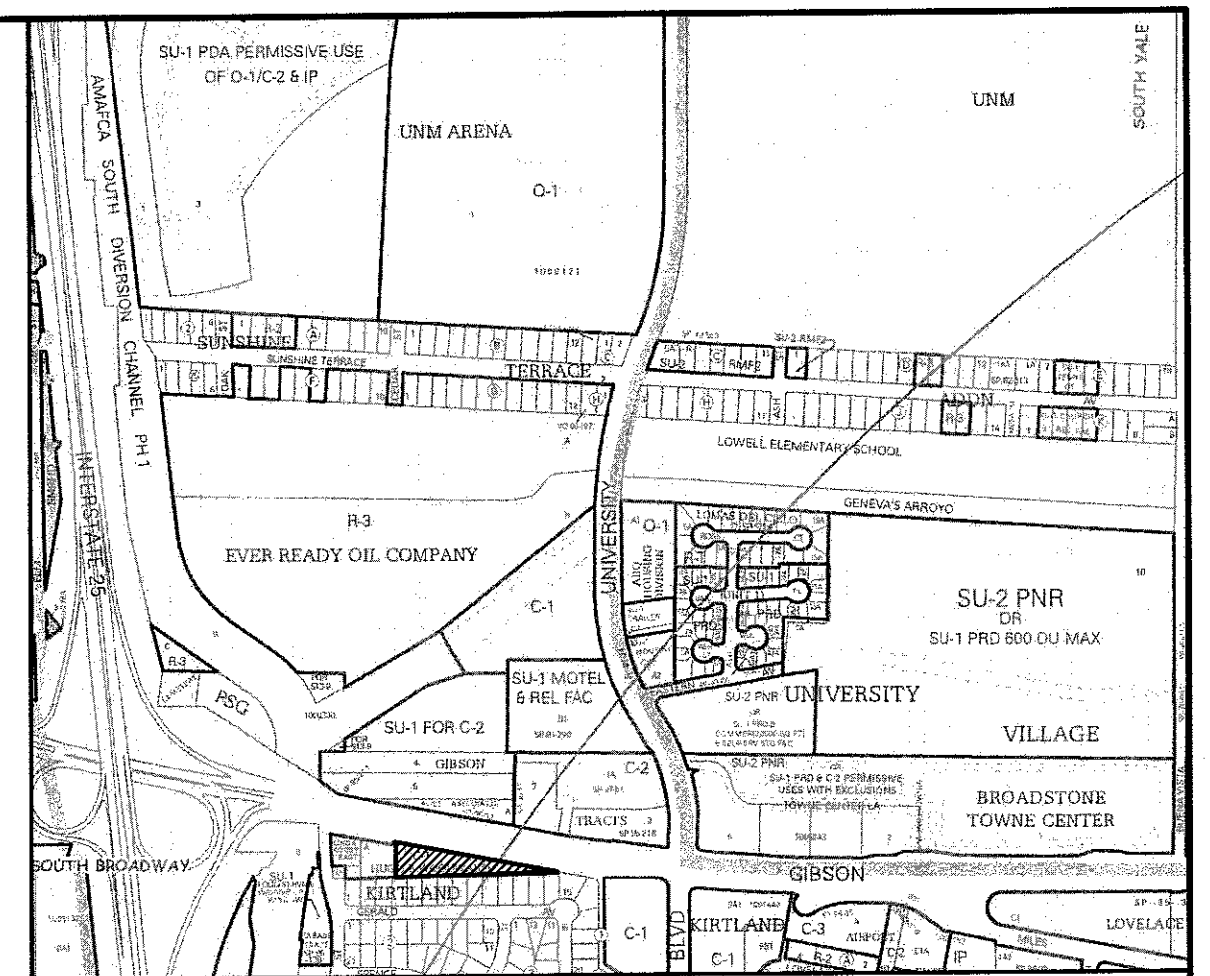
- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
- CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND METTING THE SOIL TO KEEP IT FROM BLOWING.
- THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.

LEGEND

LEGEND

- 5065- CONTOUR (MAJOR)
- - - CONTOUR (MINOR)
- == CURB AND GUTTER
- CONCRETE
- WALL
- FENCE - CHAIN LINK
- TC= FL= TOP CURB / FLOW LINE
- X 65.00 SPOT ELEVATION
- SANITARY SEWER MANHOLE
- STORM DRAIN MANHOLE
- CATCH BASIN/DROP INLET
- == CMP/PVC DRAIN PIPE
- E- OVERHEAD ELECTRIC/UTILITY LINE
- POLE

- ANCHOR
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- WATER MANHOLE
- IRRIGATION CONTROL
- TRAFFIC PULL BOX
- PULLBOX
- LIGHT POLE
- SIGN
- BOLLARD
- DEPRESSED LANDSCAPE



VICINITY MAP ZONE MAP: L-15-Z

LEGAL DESCRIPTION

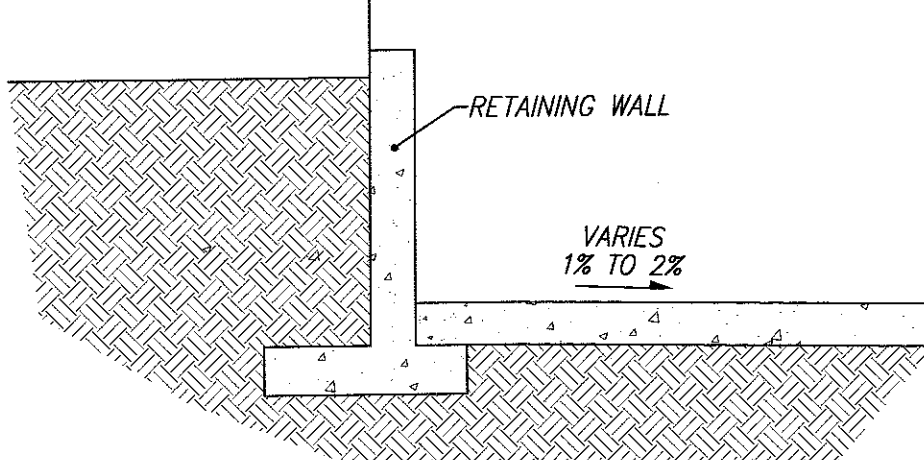
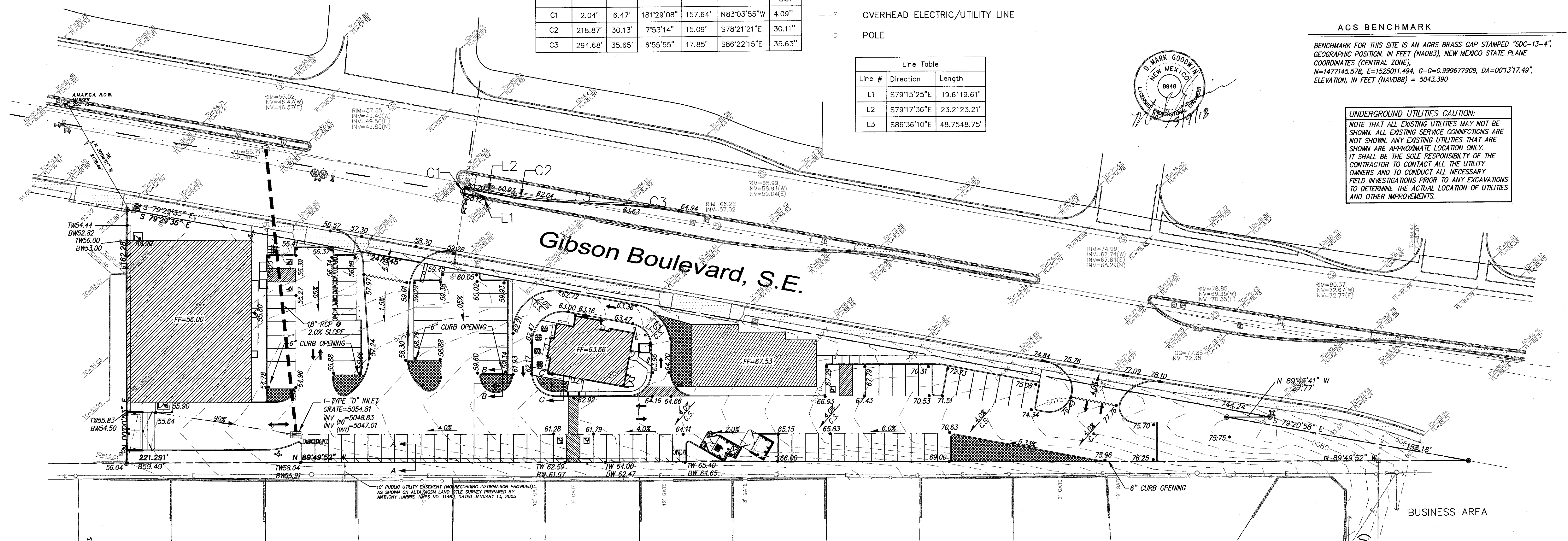
PORTION OF TRACT B, GIBSON AND MILES AREA, WITHIN THE TOWN OF ALBUQUERQUE GRANT, PROJECTED SECTION 28, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M., CITY OF ALBUQUERQUE, NEW MEXICO

ACS BENCHMARK

BENCHMARK FOR THIS SITE IS AN AGRS BRASS CAP STAMPED "SDC-13-4", GEOGRAPHIC POSITION, IN FEET (NAD83), NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE),
N=1477145.578, E=1525011.494, G-G=0.999677909, DA=00713'17.49",
ELEVATION, IN FEET (NAVD83) = 5043.390

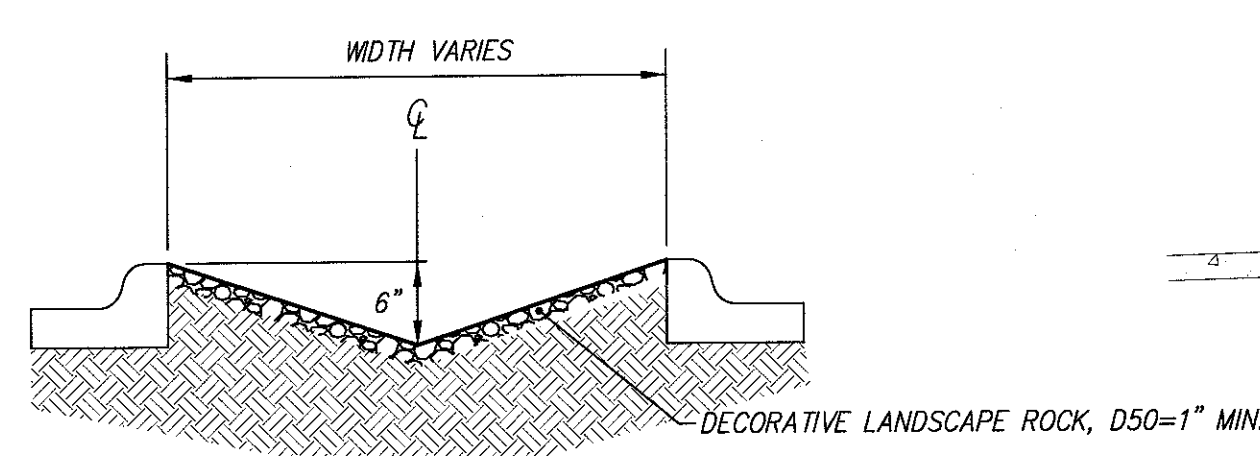
UNDERGROUND UTILITIES CAUTION:

NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.



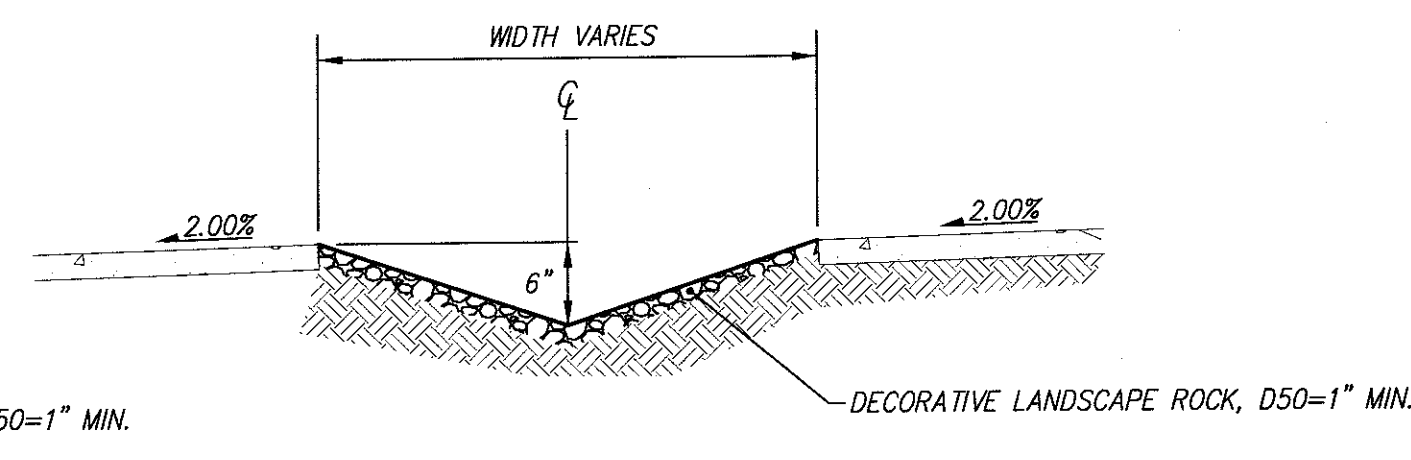
SECTION A-A

N.T.S. RETAINING WALL DETAIL (TYP.)



SECTION B-B

N.T.S. DEPRESSED LANDSCAPED DETAIL (TYP.)

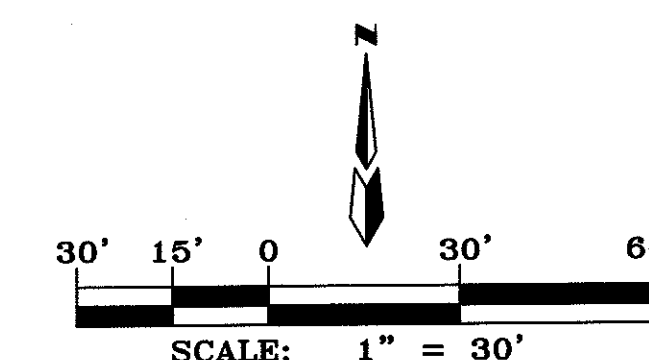


SECTION C-C

N.T.S. DEPRESSED LANDSCAPED DETAIL (TYP.)

LANDSCAPE BUFFER NOTES:

- Swale to be 6" deep when the distance between back of curb and the sidewalk is 5 feet.
- Swale to be 1" deeper than the distance in feet between the back of curb and the sidewalk for landscape buffers different than 5 feet wide.
- For wide landscape buffers, greater than 10 feet, the maximum depth is 10 inches.
- Final grade of dirt to be 1 to 2 inches below top of curb and top of sidewalk grade.
- Surface between back of curb and sidewalk to be covered with gravel mulch (minimum 1/2" cobbles or rip-rap. Do not fill entire swale).
- A check dam will be required for swales on steeper longitudinal slopes and longer sections. The engineer will determine the location.
- If landscape fabric is recommended, but not required, between the dirt and the stone. If landscape fabric is to be used it is to be permeable.
- Detail is to be built for all new construction. In the case where the sidewalk is existing and the landscape buffer is improved with landscaping and/or some form of erosion protection, this requirement does not apply.



SCALE: 1" = 30'

FAMILY DOLLAR STORE
GRADING & DRAINAGE PLAN

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: DMG Drawn: DER Checked: DMG
Scale: 1" = 30' Date: 11/10/17 Job: A16075 Sheet 1 of 1