

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

December 28, 2022

Lauren Nuffer, P.E.  
Kimley-Horn  
13455 Noel Road, Two Galleria Office Tower, Suite 700  
Dallas, TX 75240

**RE: Rasining Cane's #972**  
**Tract 3, UNM Gibson Commercial District 2011C-138**  
**NEC Gibson & Alumni SE, Albuquerque, NM**  
**Grading Plan and Drainage Report**  
**Engineers Stamp Date: 12/01/2022**  
**Hydrology File: L15D051A**

Dear Ms. Nuffer,

Based upon the information provided in your submittal received 12/08/2022, the Grading & Drainage Plan is **not** approved for Grading Permit. The following comments need to be addressed for approval of the above referenced project:

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

1. Please define Areas 1, 2 & 3 in Hydrograph for Small Watersheds on the drainage report and show their locations on the plan.
2. Provide the detail sheet referred by SF, IP1 & IP2 on sheet C3.1.
3. Provide the underground detention pond details including volume calculations. Where are the 36" pipes that the build notes referred on sheet C6.3? Add station number and FL elevations for SD line C to the detention pond.
4. Add erosion protection between SD line A daylighting outfall and the proposed sidewalk culvert on sheet C6.3.
5. Add SO-19 notes (attached) on the plan.
6. Drainage covenant will be required.

If you have any questions, please contact me at 505-924-3695 or [tchen@cabq.gov](mailto:tchen@cabq.gov).

Sincerely,

Tiequan Chen, P.E.  
Principal Engineer, Hydrology  
Planning Department, Development Review Services



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

**Project Title:** Raising Cane's #972 **Building Permit #** TBD **Hydrology File #** TBD  
**DRB#** TBD **EPC#** N/A  
**Legal Description:** Tract 3, UNM Gibson Commercial District **City Address OR Parcel** ABQ213745  
2011C-138 UPC- 101505619803730903

**Applicant/Agent:** Kimley-Horn & Modulus Architects **Contact:** Lauren Nuffer, P.E./ Regina Okoye  
**Address:** 100 Sun Avenue NE, Suite 600 **Phone:** 214-387-3847  
**Email:** lauren.nuffer@kimley-horn.com 505.338.1499 (Ext. 1003)  
rokoye@modulusarchitects.com

**Applicant/Owner:** Raising Cane's #972 **Contact:** Lauren Montgomery  
**Address:** 6800 Bishop Road, Plano TX 75024 **Phone:** 214-478-5414  
**Email:** lauren@jghconsultants.com

**TYPE OF DEVELOPMENT:** PLAT (#of lots) RESIDENCE DRB SITE TBD ADMIN SITE: TBD  
**RE-SUBMITTAL:** YES X NO

**DEPARTMENT:** TRANSPORTATION X HYDROLOGY/DRAINAGE  
Check all that apply:

### TYPE OF SUBMITTAL:

ENGINEER/ARCHITECT CERTIFICATION  
PAD CERTIFICATION  
CONCEPTUAL G&D PLAN  
X GRADING PLAN  
X DRAINAGE REPORT  
DRAINAGE MASTER PLAN  
FLOOD PLAN DEVELOPMENT PERMIT APP.  
ELEVATION CERTIFICATE  
CLOMR/LOMR  
TRAFFIC CIRCULATION LAYOUT (TCL)  
ADMINISTRATIVE  
TRAFFIC CIRCULATION LAYOUT FOR DRB  
APPROVAL  
TRAFFIC IMPACT STUDY (TIS)  
STREET LIGHT LAYOUT  
OTHER (SPECIFY)  
PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

X BUILDING PERMIT APPROVAL  
CERTIFICATE OF OCCUPANCY  
CONCEPTUAL TCL DRB APPROVAL  
PRELIMINARY PLAT APPROVAL  
SITE PLAN FOR SUB'D APPROVAL  
SITE PLAN FOR BLDG PERMIT APPROVAL  
FINAL PLAT APPROVAL  
SIA/RELEASE OF FINANCIAL GUARANTEE  
FOUNDATION PERMIT APPROVAL  
X GRADING PERMIT APPROVAL  
SO-19 APPROVAL  
PAVING PERMIT APPROVAL  
GRADING PAD CERTIFICATION  
WORK ORDER APPROVAL  
CLOMR/LOMR  
FLOOD PLAN DEVELOPMENT PERMIT  
OTHER (SPECIFY)

**DATE SUBMITTED:** 12/01/2022

## LEGAL DESCRIPTION

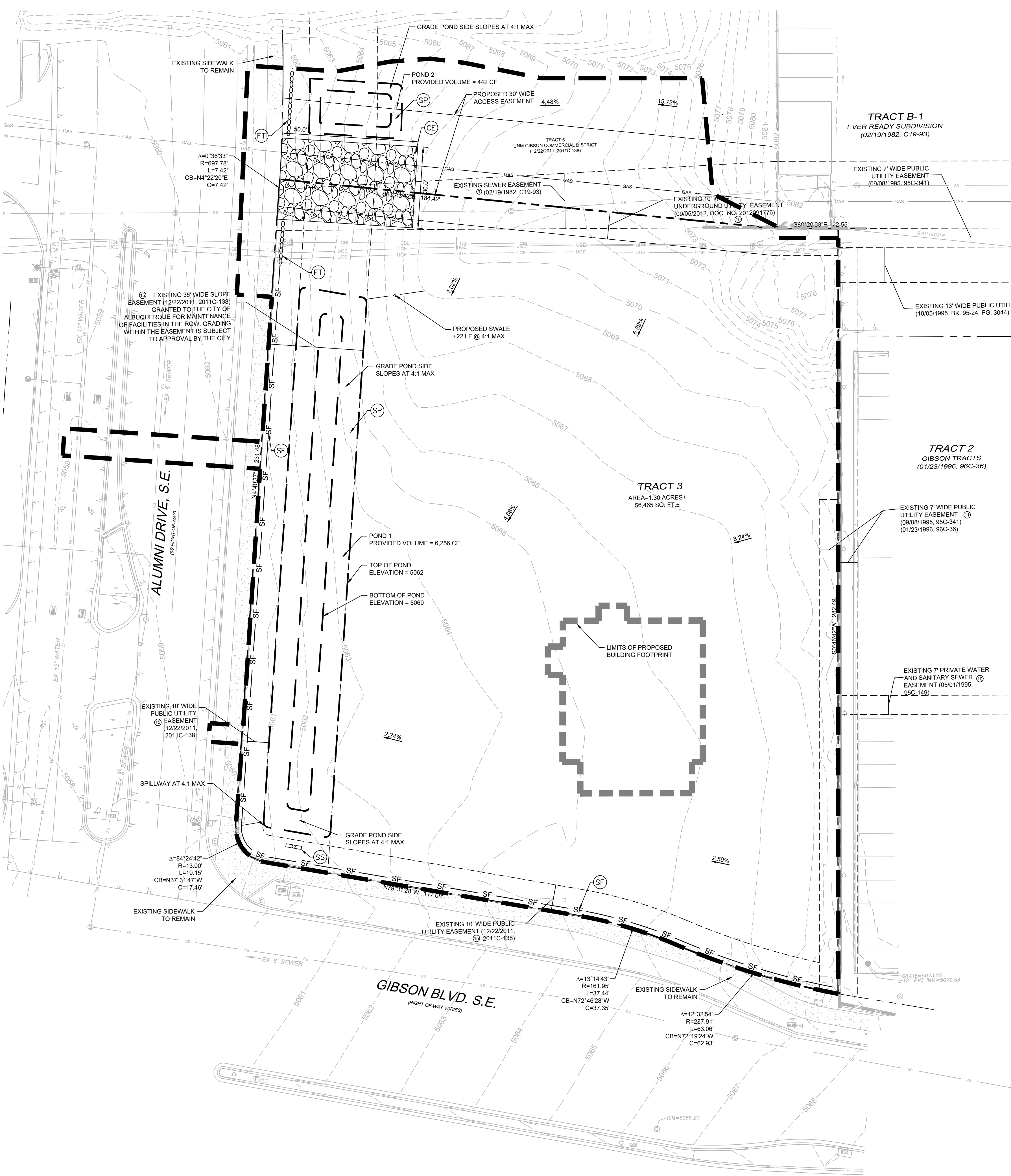
The legal description of the property is:

Tract numbered Three (3) of UNM Gibson Commercial District, (A Replat of Tracts A & B, Ever Ready Subdivision, Tracts 4 & 5, Gibson Tracts and Tract A, 40/25 Associates Subdivision) and Unplatted Land in Section 28, T10N, R3E, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on December 22, 2011 in Plat Book 2011C, Page 138 as Document No. 2011119138 Tract 3 Plat of UNM Gibson Commercial District, 1.296 acres.

The Owner of the Property is The Regents of the University of New Mexico.



This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kinley-Horn and Associates, Inc. shall be without liability to Kinley-Horn and Associates, Inc.



VICINITY MAP  
NOT TO SCALE

### EROSION CONTROL NOTES

- CONTRACTOR IS SOLELY RESPONSIBLE FOR SELECTION, IMPLEMENTATION, MAINTENANCE, AND EFFECTIVENESS OF ALL SWPPP CONTROLS - CONTROLS SHOWN ON THIS SITE MAP ARE SUGGESTED CONTROLS ONLY.
- CONTRACTOR SHALL RECORD INSTALLATION, MAINTENANCE OR MODIFICATION, AND REMOVAL DATES FOR EACH BMP EMPLOYED (WHETHER CALLED OUT ON ORIGINAL SWPPP OR NOT) DIRECTLY ON THE SITE MAP.
- DRAINAGE PATTERNS ARE SHOWN ON THIS PLAN BY PROPOSED AND EXISTING CONTOURS.
- TEMPORARY AND PERMANENT STABILIZATION PRACTICES AND BMP'S SHALL BE INSTALLED AT THE EARLIEST POSSIBLE TIME DURING THE CONSTRUCTION SEQUENCE. AS AN EXAMPLE, PERIMETER SILT FENCE SHALL BE INSTALLED BEFORE COMMENCEMENT OF ANY GRADING ACTIVITIES. OTHER BMP'S SHALL BE INSTALLED AS SOON AS PRACTICABLE AND SHALL BE MAINTAINED UNTIL FINAL SITE STABILIZATION IS ATTAINED. SEE PHASING SCHEDULE THIS SHEET.
- BMP'S HAVE BEEN LOCATED AS INDICATED ON THIS PLAN IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES IN ORDER TO MINIMIZE SEDIMENT TRANSFER. FOR EXAMPLE, SILT FENCES LOCATED AT TOE OF SLOPE AND INLET PROTECTION FOR INLETS RECEIVING SEDIMENT FROM SITE RUN-OFF.
- CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED SO AS TO PROVIDE THE LEAST AMOUNT OF DISTURBANCE TO THE FLOW OF TRAFFIC IN AND OUT OF THE SITE. ADDITIONALLY, THE CONSTRUCTION ENTRANCE SHALL BE LOCATED TO COINCIDE WITH THE PHASING OF THE PARKING LOT CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE INLET PROTECTION FOR ANY AFFECTED INLETS DOWNSTREAM OF THE PROPOSED IMPROVEMENTS, IF NEEDED.
- CONTRACTOR IS RESPONSIBLE FOR MODIFYING THE SWPPP/SITE MAP TO INCLUDE BMP'S FOR ANY OFF-SITE MATERIAL WASTE, BORROW OR EQUIPMENT STORAGE AREAS.
- CONTRACTOR IS RESPONSIBLE FOR SUBMITTAL OF NOI, NOT, POSTING OF SITE NOTICES, AND ANY ADDITIONAL INFORMATION OR SUBMITTALS REQUIRED BY NMED, EPA, OR LOCAL JURISDICTION.
- COORDINATE EXISTING TREES TO REMAIN WITH LANDSCAPE PLANS. ALL EXISTING TREES TO REMAIN ARE TO RECEIVE TREE PROTECTION AROUND THE CRITICAL ROOT ZONE IN ORDER TO PREVENT DAMAGE DURING CONSTRUCTION. TREE PROTECTION SHOULD BE INSTALLED PRIOR TO ANY DEMOLITION OR EARTH DISTURBING ACTIVITIES.

### CITY OF ALBUQUERQUE EROSION CONTROL NOTES

- ALL EROSION AND SEDIMENT CONTROL (ESC) WORK ON THESE PLANS, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON SHALL BE PERMITTED, CONSTRUCTED, INSPECTED, AND MAINTAINED IN ACCORDANCE WITH:  
A. THE CITY ORDINANCE § 14-5-2-11, THE ESC ORDINANCE.  
B. THE EPAS 2017 CONSTRUCTION GENERAL PERMIT (CGP) AND  
C. THE CITY OF ALBUQUERQUE CONSTRUCTION BMP MANUAL.
- ALL BMP'S MUST BE INSTALLED PRIOR TO BEGINNING ANY EARTH MOVING ACTIVITIES EXCEPT AS SPECIFIED HEREON IN THE PHASING PLAN. CONSTRUCTION OF EARTHEN BMP'S SUCH AS SEDIMENT TRAPS, SEDIMENT BASINS, AND DIVERSION BERMS SHALL BE COMPLETED AND INSPECTED PRIOR TO ANY OTHER CONSTRUCTION OR EARTHWORK. SELF-INSPECTION IS REQUIRED AFTER INSTALLATION OF THE BMP'S AND PRIOR TO BEGINNING CONSTRUCTION.
- SELF-INSPECTIONS - AT A MINIMUM A ROUTINE COMPLIANCE SELF-INSPECTION IS REQUIRED TO REVIEW THE PROJECT FOR COMPLIANCE WITH THE CONSTRUCTION GENERAL PERMIT ONCE EVERY 14 DAYS AND AFTER ANY PRECIPITATION EVENT OF 1/4 INCH OR GREATER UNTIL THE SITE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST. REPORTS SHOULD INCLUDE RECORDS OF WEED REMOVAL PER CITY ORDINANCE (§ 9-8-1), STERILIZATION, SOIL TEST RESULTS AND RECOMMENDATION, MATERIALS AND MANUFACTURER'S SPECIFICATIONS FOR APPLICATION RATES, ESTIMATED FUNCTIONAL LONGEVITY, METHODS OF APPLICATION, INSPECTION AND MAINTENANCE. THE REDUCED SELF-INSPECTION SCHEDULE IN CGP 4.4.1 APPLIES TO STABILIZED AREA AND ANY DAMAGED OR WORN STABILIZATION MUST BE IDENTIFIED IN THE REPORTS ALONG WITH WEED PROBLEMS. CORRECTIVE ACTIONS FOR STABILIZATION SHALL BE DOCUMENTED IN A STABILIZATION REPORT INCLUDING ACTUAL RATES AND DATES OF STABILIZATION, AND THE MATERIALS AND MANUFACTURER'S SPECIFICATIONS USED.
- BMP'S SHALL BE INSPECTED AND MAINTAINED UNTIL ALL DISTURBED AREAS ARE STABILIZED IN ACCORDANCE WITH THE FINAL STABILIZATION CRITERIA (CGP 2.2.14.8). GENERALLY, ALL DISTURBED AREAS, OTHER THAN STRUCTURES AND IMPERVIOUS SURFACES, MUST HAVE UNIFORM PERENNIAL VEGETATION THAT PROVIDES 70 PERCENT OR MORE OF THE COVER PROVIDED BY NATIVE VEGETATION OR SEED THE DISTURBED AREA AND PROVIDE NON-VEGETATIVE MULCH THAT PROVIDES COVER FOR AT LEAST THREE YEARS WITHOUT ACTIVE MAINTENANCE. FINAL STABILIZATION MUST BE APPROVED BY THE CITY OF ALBUQUERQUE PRIOR TO REMOVAL OF BMP'S AND DISCONTINUATION OF INSPECTIONS.

### SITE DATA

LOT AREA	1.30± AC
TOTAL ONSITE DISTURBED AREA	1.30± AC
TOTAL OFFSITE DISTURBED AREA	0.22± AC
TOTAL DISTURBED AREA	1.52± AC

### TEMPORARY SEDIMENTATION POND SIZING CALCULATIONS

$Q_p$  (RUNOFF VOLUME FROM WATERSHED) =  $(Q^A)/12$   
 $Q$  (DIRECT RUNOFF) = 1.22 INCHES  
 $A$  (DRAINAGE AREA) = 1.51 ACRES  
 $Q_p$  (REQUIRED) = 6,687 CF  
POND 1 VOLUME = 6,256 CF  
POND 2 VOLUME = 442 CF  
TOTAL  $Q_p$  PROVIDED = 6,698 CF

### LEGEND

---	PROPERTY LINE
---	EXISTING CONTOUR
---	PROPOSED LIMITS OF DISTURBANCE
SF	SILT FENCE, TYPE I - SEE DETAIL SHEET C3.2
FT	FILTREX SILT SOXX OR EQUAL
---	PROPOSED SWALE
---	PROPOSED FLOW ARROW WITH SLOPE
CE	CONSTRUCTION EXIT/ OFF-SITE TRACKING PREVENTION
SP	TEMPORARY SEDIMENTATION POND
SS	SWPPP SIGN

### EROSION CONTROL SCHEDULE AND PHASING

THE PROJECT SHALL GENERALLY CONFORM TO THE FOLLOWING PHASING SCHEDULE. REFERENCE THE SWPPP BOOK AND TPDES GENERAL PERMIT FOR DETAILED REQUIREMENTS.

#### PHASE 1 - DEMOLITION

- INSTALL PERIMETER BMP'S INCLUDING THE CONSTRUCTION ENTRANCE/EXIT, SWPPP SIGNAGE, SILT FENCE, AND ALL OTHER NECESSARY BMP'S ACCORDING TO THE LOCATION SHOWN ON THE EROSION CONTROL PLAN. CLEAR ONLY THE MINIMUM AREA REQUIRED TO INSTALL BMP'S.
- SET THE PROJECT OFFICE TRAILER AND PREPARE TEMPORARY PARKING AND STORAGE AREAS.
- REMOVE DATES OF BMP INSTALLATION AND MAINTENANCE ON SITE MAPS.
- BEGIN DEMOLITION AND CLEARING OF THE SITE.
- STABILIZATION OF DISTURBED AREAS MUST BE INITIATED WHENEVER CLEARING, GRADING, OR EARTH DISTURBING ACTIVITIES HAVE CEASED ON ANY PORTION OF THE SITE, OR TEMPORARILY CEASED AND WILL NOT RESUME WITHIN 14 DAYS PER GENERAL PERMIT REQUIREMENTS.

#### PHASE 2 - GRADING

- ENSURE APPROPRIATE BMP'S ARE IN PLACE DOWNSTREAM OF SITE WORK OR WHERE RUNOFF MAY EXIT THE SITE.
- BEGIN GRADING THE SITE.
- SEED AND RE-VEGETATE SLOPES AS AREAS ARE BROUGHT TO GRADE OR STOCKPILES THAT WILL REMAIN INACTIVE FOR 14 DAYS PER GENERAL PERMIT REQUIREMENTS.

#### PHASE 3 - UTILITIES

- KEEP ALL STORM WATER POLLUTION PREVENTION MEASURES IN PLACE.
- INSTALL UTILITIES, STORM DRAINS, CURB AND GUTTERS.
- INSTALL INLET PROTECTION AS SPECIFIED ON PLAN SHEETS AS STORM STRUCTURES ARE INSTALLED.
- TEMPORARILY STABILIZE, THROUGHOUT CONSTRUCTION, ANY DISTURBED AREAS THAT ARE LIKELY TO REMAIN INACTIVE FOR 14 DAYS.

#### PHASE 4 - PAVING

- KEEP ALL STORM WATER POLLUTION PREVENTION MEASURES IN PLACE.
- STABILIZE SUBGRADE.
- PAVE PARKING LOT AND SIDEWALKS AS SPECIFIED ON PLAN SHEETS.

#### PHASE 5 - LANDSCAPING AND DEVELOPMENT

- INSTALL LANDSCAPING PER THE LANDSCAPE PLANS AND DETAILS.
- REMOVE EROSION CONTROL DEVICES WHEN FINAL STABILIZATION IS ACHIEVED PER THE TPDES GENERAL PERMIT.
- STABILIZE ANY AREAS DISTURBED BY REMOVAL OF BMP'S.

### BENCHMARKS

- BM 1 - A.G.R.S. MONUMENT "24 L16" STANDARD C.O.A. METALLIC DISC  
NEW MEXICO STATE PLAIN COORDINATES (CENTRAL ZONE-N.A.D. 1983)  
N = 1,476,889.02 AND E = 1,529,133.22  
ELEV. = 5191.306
- CP 1 - SET CP - NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993"  
N = 1,476,978.77 AND E = 1,525,820.52  
ELEV. = 5073.26



Store:  
**Gibson & Alumni**  
**Albuquerque, NM**  
**Restaurant #RC972**  
**P6-V-AV**

Professional of Record: KEN MCCracken

Ken McCracken,  
Architect

Architecture • Program Management • Permitting

1101 Central Expressway South  
Suite 100  
Allen, TX 75013  
CONTACT: BARRY GUTTRIDGE  
(214) 227-2633  
BGUTTRIDGE@PMDGNC.COM



Prototype : P6-V-AV 2022-1.0 RELEASE

Prototype Issue Date: 09.22.2022

Kitchen Issue Date: --

Design Bulletin Updates: --

Date Issued: Bulletin Number: --

#### REVISIONS:

	09/12/2022	SOLID WASTE REVIEW
1	11/30/2022	UNMA SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		

Sheet Title:

### EROSION CONTROL PLAN PHASE I

Date: 12/01/2022

Project Number: KH #069313462

Drawn By: JCG/LHD

Sheet Number:

C3.0



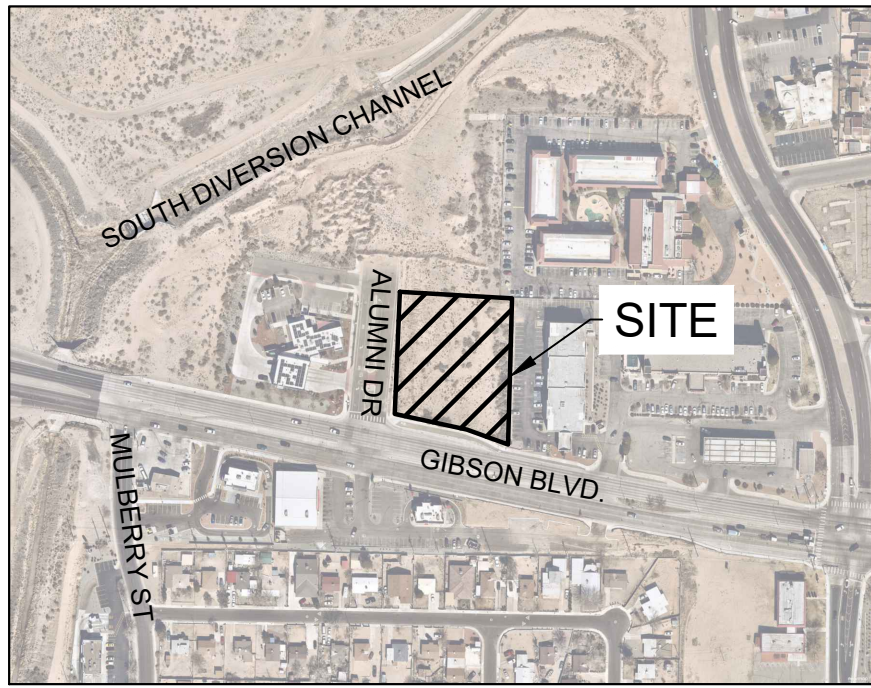
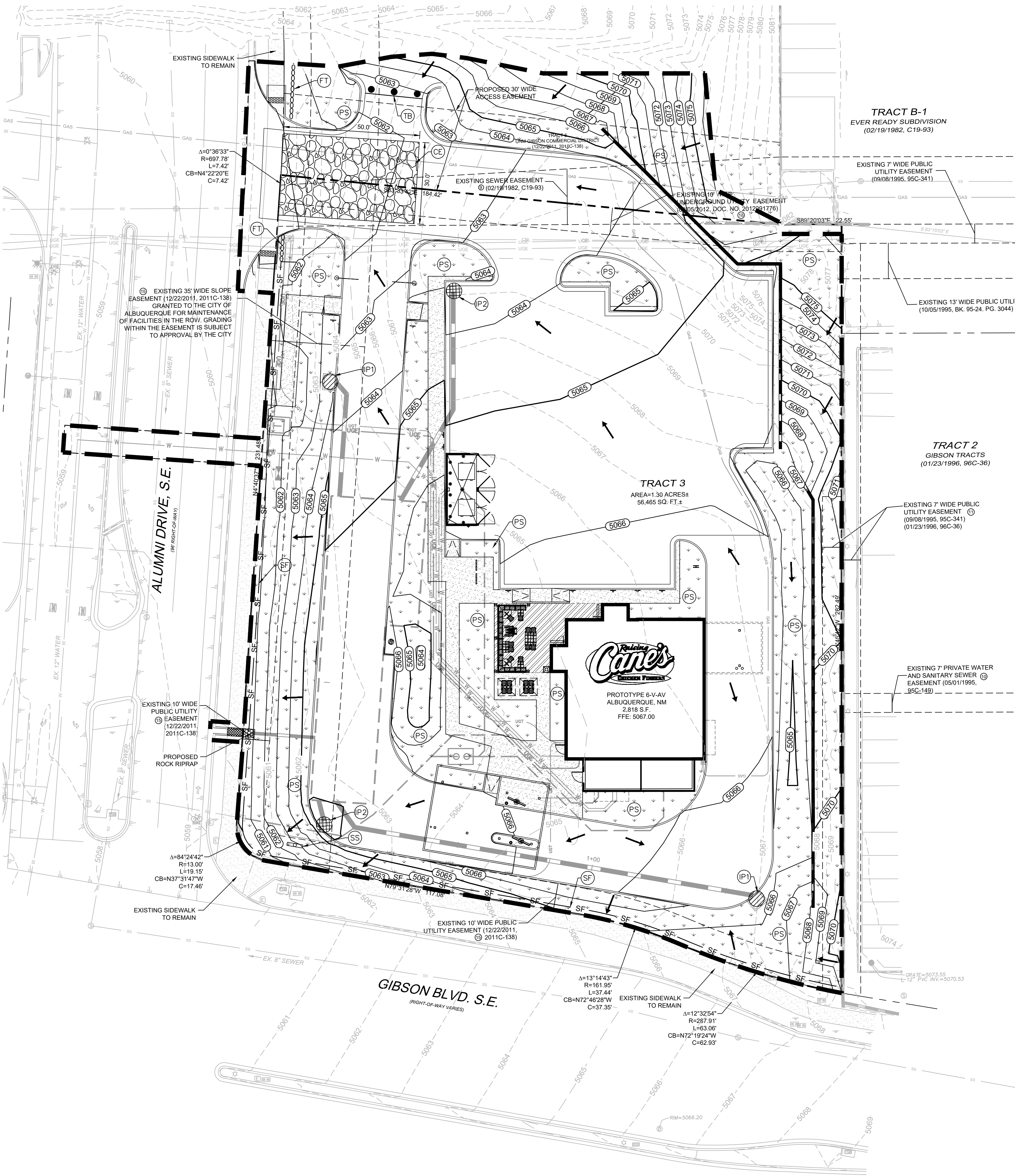
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A

B

C

D



VICINITY MAP

NOT TO SCALE

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- CORRECTIVE ACTION REPORTS MUST BE KEPT BY THE PERSON OR ENTITY AUTHORIZED TO DIRECT THE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST.
- STABILIZATION REPORTS MUST BE KEPT BY THE PERSON OR ENTITY AUTHORIZED TO DIRECT THE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST. REPORTS SHOULD INCLUDE RECORDS OF WEED REMOVAL PER CITY ORDINANCE (§ 9-8-1), STERILIZATION, SOIL TEST RESULTS AND RECOMMENDATION, MATERIALS AND MANUFACTURER'S SPECIFICATIONS FOR APPLICATION RATES, ESTIMATED FUNCTIONAL LONGEVITY, METHODS OF APPLICATION, INSPECTION AND MAINTENANCE. THE REDUCED SELF-INSPECTION SCHEDULE IN CGP 4.4.1 APPLIES TO STABILIZED AREA AND ANY DAMAGED OR WORN STABILIZATION MUST BE IDENTIFIED IN THE REPORTS ALONG WITH WEED PROBLEMS. CORRECTIVE ACTIONS FOR STABILIZATION SHALL BE DOCUMENTED IN A STABILIZATION REPORT INCLUDING ACTUAL RATES AND DATES OF STABILIZATION, AND THE MATERIALS AND MANUFACTURER'S SPECIFICATIONS USED.
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### LEGEND

---	PROPERTY LINE
- - - -	EXISTING CONTOUR
---	PROPOSED CONTOUR
→	DIRECTION OF OVERLAND FLOW
---	PROPOSED LIMITS OF DISTURBANCE
SF	SILT FENCE, TYPE I - SEE DETAIL SHEET C3.2
FT	FILTREXX SILT SOXX OR EQUAL
CE	CONSTRUCTION EXIT/ OFF-SITE TRACKING PREVENTION
PS	PERMANENT STABILIZATION REFER TO LANDSCAPE PLANS
---	PROPOSED CONCRETE SIDEWALK
TB	TEMPORARY BARRICADE
IP1	PROPOSED CURB INLET PROTECTION. SEE DETAIL SHEET.
IP2	PROPOSED GRATE INLET PROTECTION. SEE DETAIL SHEET.

### EROSION CONTROL SCHEDULE AND PHASING

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- PHASE 1 - DEMOLITION
- INSTALL PERIMETER BMP'S INCLUDING THE CONSTRUCTION ENTRANCE/EXIT, SWPPP SIGNAGE, SILT FENCE, AND ALL OTHER NECESSARY BMP'S ACCORDING TO THE LOCATION SHOWN ON THE EROSION CONTROL PLAN. CLEAR ONLY THE MINIMUM AREA REQUIRED TO INSTALL BMP'S.
  - SET THE PROJECT OFFICE TRAILER AND PREPARE TEMPORARY PARKING AND STORAGE AREAS.
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- PHASE 2 - GRADING
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- INSTALL LANDSCAPING PER THE LANDSCAPE PLANS AND DETAILS.
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### BENCHMARKS

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N = 1,476,889.02 AND E = 1,529,133.22  
ELEV. = 5191.306

CP 1 - SET CP - NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993"  
N = 1,476,978.77 AND E = 1,525,820.52  
ELEV. = 5073.26



### CAUTION!!

CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.



Store:

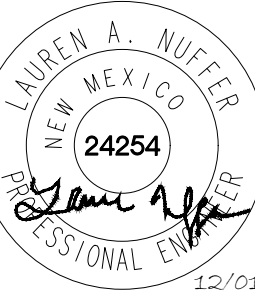
**Gibson & Alumni**  
**Albuquerque, NM**  
**Restaurant #RC972**  
**P6-V-AV**

Professional of Record: KEN MCCrackEN

**Ken McCracken,**  
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Prototype : P6-V-AV 2022-1.0 RELEASE

Prototype Issue Date: 09.22.2022

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	09/12/2022	SOLID WASTE REVIEW
1	11/30/2022	UNMA SUBMITTAL

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Sheet Title:

### EROSION CONTROL PLAN PHASE II

Date: 12/01/2022

Project Number: KH #069313462

Drawn By: JCG/LHD

Sheet Number:

C3.1



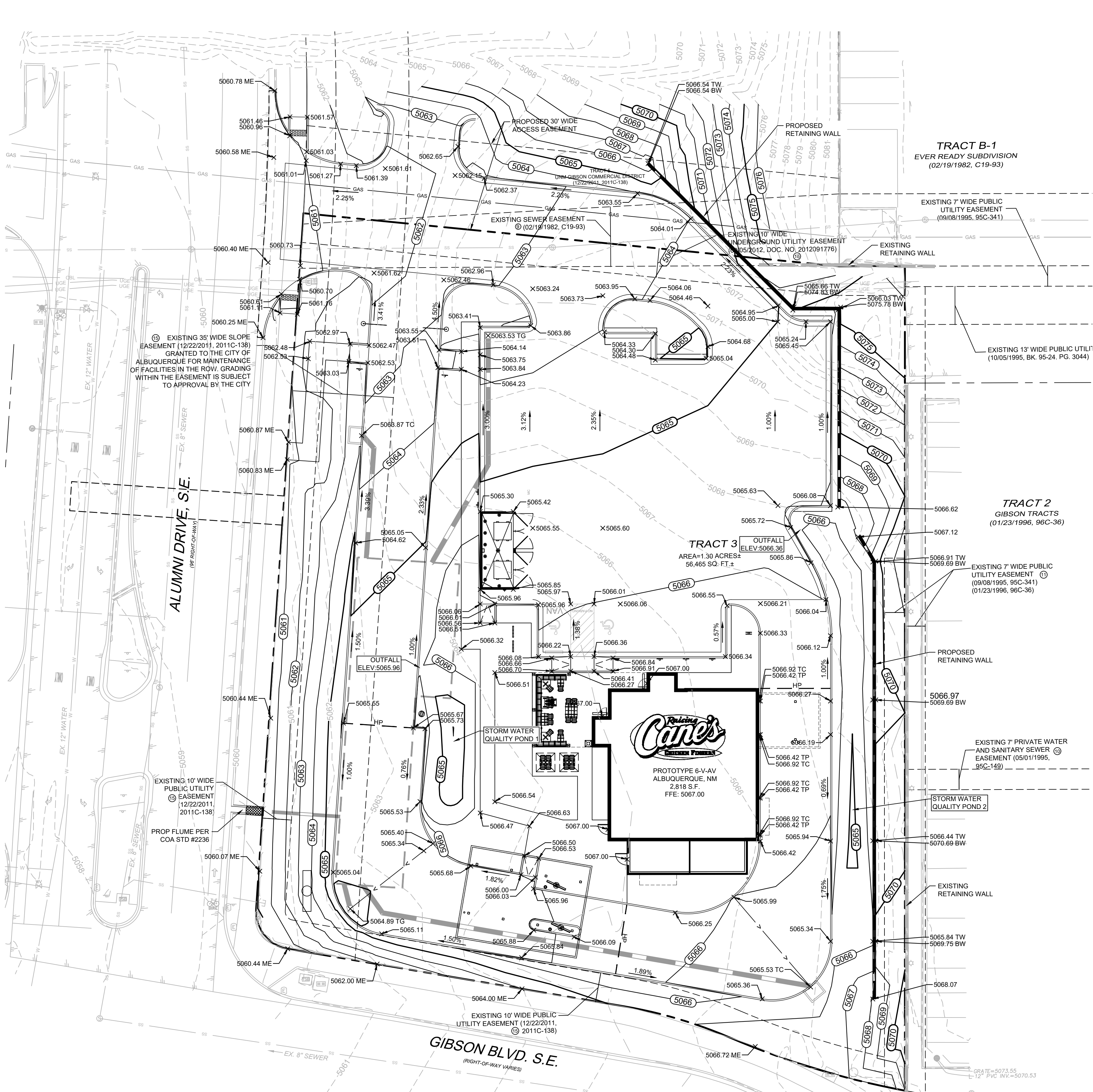
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A

B

C

D



WEIGHTED E CALCULATIONS (EXISTING CONDITION)										
		100- Year				10- Year				
Basin	Area (SF)	Area (AC)	Acres	%	Acres	%	Acres	%	Acres	%
EX	61,947	1.42	1.22	86%	0.20	14%	0	0%	0	0%
WEIGHTED E CALCULATIONS (DEVELOPED CONDITION)										
		100- Year				10- Year				
Basin	Area (SF)	Area (AC)	Acres	%	Acres	%	Acres	%	Acres	%
PROP	61,947	1.42	0	0%	0	0%	0.54	38%	0.89	62%

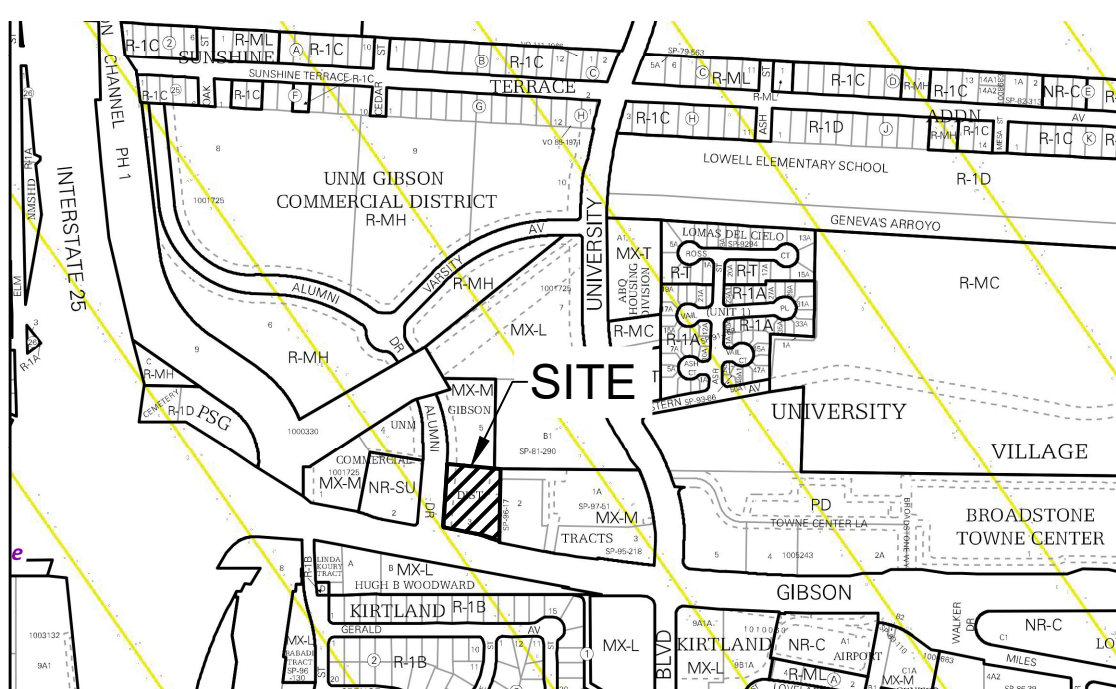
Excess Precipitation E (in)			
Zone 2	100-Year	10-Year	
Ea	0.62	0.15	
Eb	0.80	0.30	
Ec	1.03	0.48	
Ed	2.33	1.51	

Peak Discharge (cfs/acre)			
Zone 2	100-Year	10-Year	
Qa	1.71	0.41	
Qb	2.36	0.95	
Qc	3.05	1.59	
Qd	4.34	2.71	

SWQ VOL		
Site Area (sf)	56,465	
Offsite Developed Area (sf)	5,482	
Total Area (sf)	61,947	
Impervious Area (sf)	38,621	
SWQ VOL Required (CF)*	1,351	
SWQ VOL Provided (CF)	1,805	
*0.42 in per impervious SF		

SWQ POND 1		
Top Elev	5065.96	
Bottom Elev	5063.96	
Vol (CF)	647	

SWQ POND 2		
Top Elev	5066.36	
Bottom Elev	5064.69	
Vol (CF)	1158	



**FEMA FLOOD INSURANCE RATE MAP**  
PER MAP NUMBER 35001C0342G FOR BERNALILLO COUNTY, NM AND INCORPORATED AREAS DATED SEPTEMBER 26, 2008, THE SITE IS IN ZONE X.

#### INTRODUCTION AND PROJECT DESCRIPTION:

THE PROJECT SITE IS TRACT 3, UNM COMMERCIAL DISTRICT (2011C-138), AND IS LOCATED AT THE NORTHEAST CORNER OF GIBSON BLVD SE AND ALUMNI DRIVE IN THE CITY OF ALBUQUERQUE, NM. THE SITE IS ZONED AND PLANNED FOR COMMERCIAL DEVELOPMENT, AND THE USE PROPOSED IS A RESTAURANT WITH DRIVE-THROUGH. AS SHOWN BY MAP #35001C0342G OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS PUBLISHED BY FEMA FOR BERNALILLO COUNTY, NEW MEXICO DATED SEPTEMBER 26, 2008, THE SITE IS LOCATED IN ZONE X AND IS NOT WITHIN A FLOOD HAZARD AREA.

#### METHODOLOGY:

CHAPTER 6 OF THE COA DPM WAS UTILIZED TO CALCULATE THE PEAK FLOW AND RUNOFF VOLUME FOR 10-YEAR AND 100-YEAR, 24-HOUR STORM EVENTS. THE SITE IS LOCATED IN PRECIPITATION ZONE 2. EXISTING BASIN INFORMATION WAS OBTAINED BY SITE AERIALS AND TOPOGRAPHIC SURVEY.

#### EXISTING CONDITIONS:

THE CANE'S TRACT IS 1.30 ACRES AND THE OVERALL PROJECT AREA IS 1.42 ACRES. THE SITE IS CURRENTLY UNDEVELOPED, WITH SOME VEGETATION AND MODERATE SLOPES. THE SITE SLOPES FROM EAST TO WEST, TOWARDS ALUMNI DRIVE AND GIBSON BLVD. THE PROJECT SITE GENERATES A PEAK FLOW OF 2.56 CFS AND RUNOFF OF 1.24 AC-FT IN THE 100-YEAR, 6-HOUR STORM EVENT. DETENTION IS PROPOSED TO REDUCE PROPOSED RUNOFF TO EXISTING CONDITIONS. THERE IS A SMALL AMOUNT OF OFF-SITE RUNOFF FROM THE ADJACENT PROPERTY TO THE NORTH THAT FLOWS ONTO AND ACROSS THIS SITE BEFORE FLOWING TO ALUMNI DRIVE. THIS AREA IS NOT INCLUDED IN THE PROJECT'S RUNOFF VOLUMES AS IT IS ASSUMED THAT THIS IS ONLY OCCURRING IN THE INTERIM CONDITION AND THE SITE WILL BE GRADED TO CAPTURE THEIR OWN RUNOFF ONCE DEVELOPED.

#### PROPOSED CONDITIONS:

THE PROJECT IMPROVEMENTS WILL INCLUDE INSTALLATION OF A RESTAURANT WITH DRIVE-THROUGH, CUSTOMER PARKING, SITE DRIVEWAYS, AND LANDSCAPE AREAS. THE PROJECT SITE GENERATES A PEAK FLOW OF 5.48 CFS AND RUNOFF OF 2.85 AC-FT IN THE 100-YEAR, 6-HOUR STORM EVENT. DETENTION IS PROPOSED TO REDUCE PROPOSED RUNOFF TO EXISTING CONDITIONS. THERE IS A SMALL AMOUNT OF OFF-SITE RUNOFF FROM THE ADJACENT PROPERTY TO THE NORTH THAT FLOWS ONTO AND ACROSS THIS SITE BEFORE FLOWING TO ALUMNI DRIVE. THIS AREA IS NOT INCLUDED IN THE PROJECT'S RUNOFF VOLUMES AS IT IS ASSUMED THAT THIS IS ONLY OCCURRING IN THE INTERIM CONDITION AND THE SITE WILL BE GRADED TO CAPTURE THEIR OWN RUNOFF ONCE DEVELOPED. THE REQUIRED SWQ VOLUME IS 0.42 INCHES PER SF OF IMPERVIOUS AREA= 0.42"(1 FT) 12"= 38,621 SF= 1,351 CF. THE SITE HAS PROVIDED 1,805 CY OF SWQV IN DEPRESSED LANDSCAPE AREAS ON THE SITE.

#### CONCLUSIONS:

THE PROPOSED DEVELOPMENT WILL NOT INCREASE RUNOFF FROM THE SITE NOR WILL IT CHANGE EXISTING DRAINAGE PATTERNS. THE SITE WILL DISCHARGE TO ALUMNI DRIVE.

#### SO-19 NOTES

- PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY
- NOTICE TO CONTRACTOR
- (SPECIAL ORDER 19 ~ "SO-19")
- BUILD SIDEWALK CURB/VERT PER COA STD DWG 2236. WORK IS PERMITTED AND INSPECTED BY DMD CONSTRUCTION SERVICES DIVISION
- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL #111 (OR 800) 280-1980 FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE 95%.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
- FOR EXCAVATION AND BARRICADING INSPECTIONS, CONTACT DMD CONSTRUCTION SERVICES DIVISION.

#### BENCHMARKS

BM 1 - A.G.R.S. MONUMENT "24, L16" STANDARD C.O.A. METALLIC DISC  
NEW MEXICO STATE PLAN COORDINATES (CENTRAL ZONE-N.A.D. 1983)  
N = 1,476,869.02 and E = 1,529,133.22  
ELEV. = 5191.306  
CP 1 - SET CP - NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993"  
N = 1,476,978.77 and E = 1,525,820.52  
ELEV. = 5073.26



#### CAUTION!!

CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.



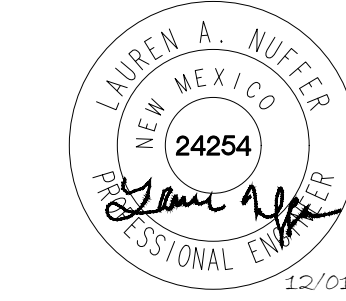
Store:  
**Gibson & Alumni**  
**Albuquerque, NM**  
**Restaurant #RC972**  
**P6-V-AV**

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Sheet Title:

## GRADING AND DRAINAGE PLAN

Date: 12/01/2022

Project Number: KH #069313462

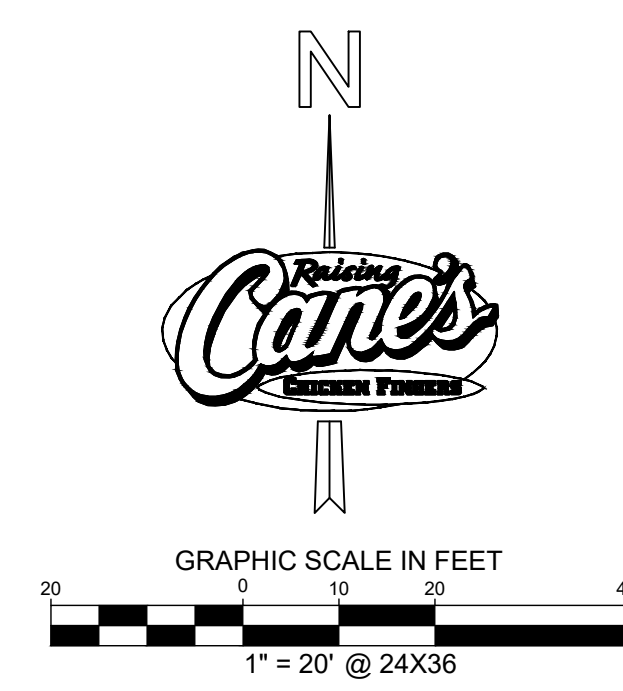
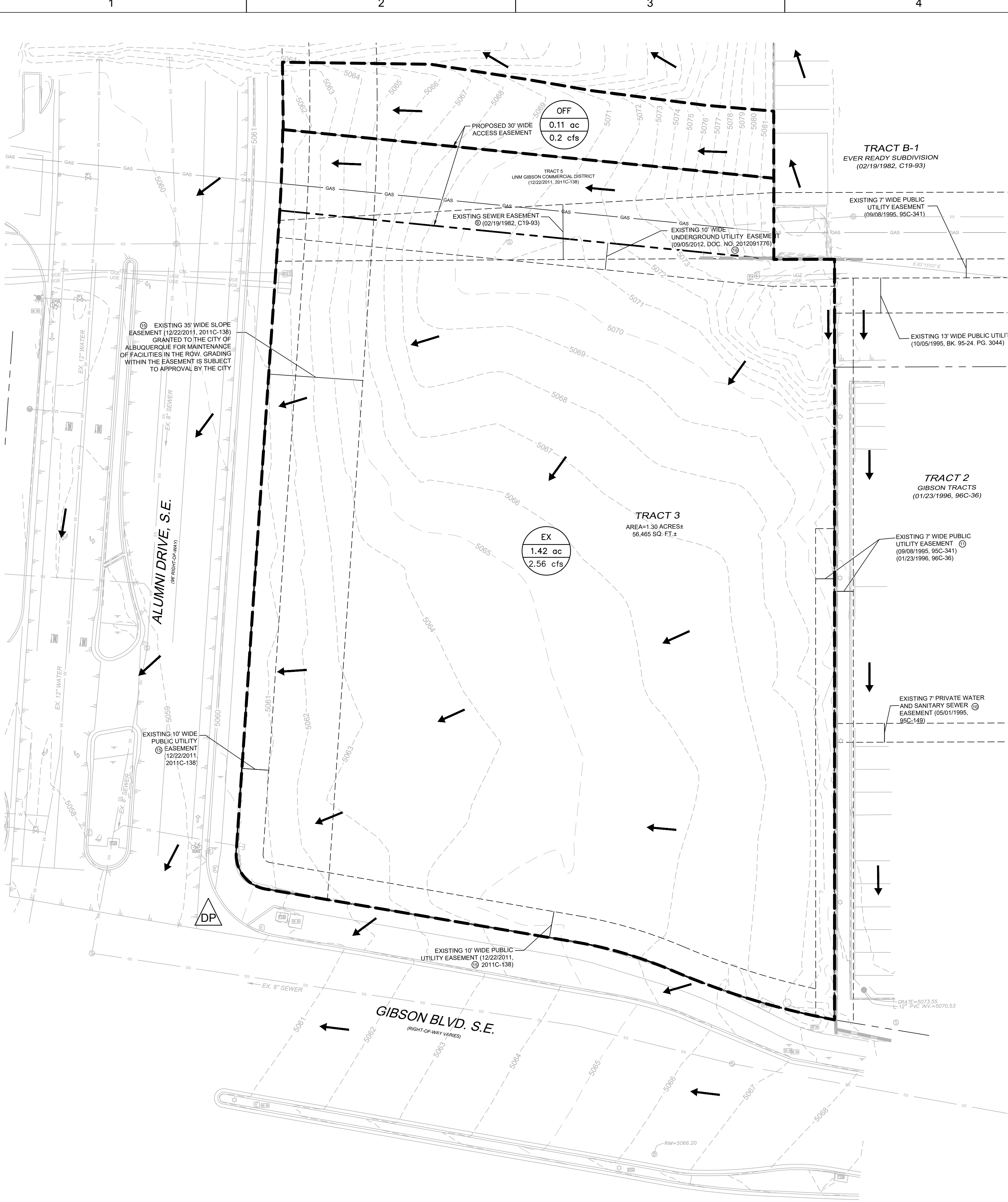
Drawn By: JCG/LHD

Sheet Number:

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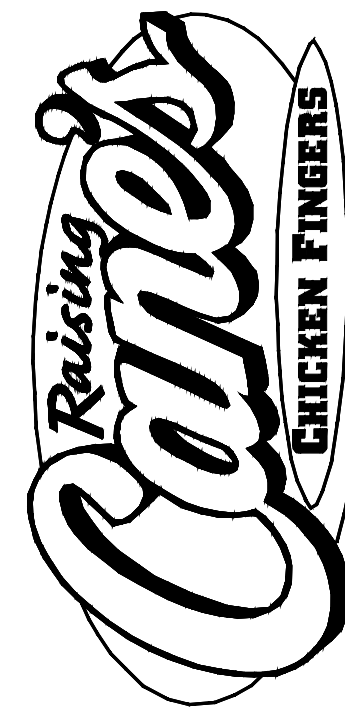


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LEGEND

- BASIN NAME
- ACRES
- 100 YR FLOW (CFS)
- DRAINAGE AREA
- PROPERTY LINE
- FLOW ARROW
- PROPOSED CONTOUR
- EXISTING CONTOUR
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- DESIGN POINT

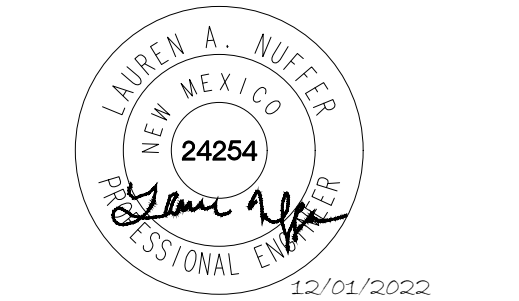


Restaurant Support Office  
6800 Bishop Road, Plano, TX 75024  
Tele 972-769-3100 Fax 972-769-3101

Store: **Gibson & Alumni**  
**Albuquerque, NM**  
**Restaurant #RC972**  
**P6-V-AV**  
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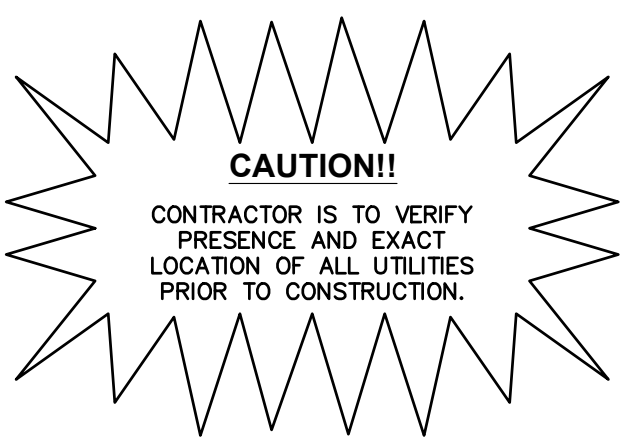
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**EXISTING CONDITION**  
**DRAINAGE AREA MAP**  
Date: 12/01/2022  
Project Number: KH #069313462  
Drawn By: JCG/LHD

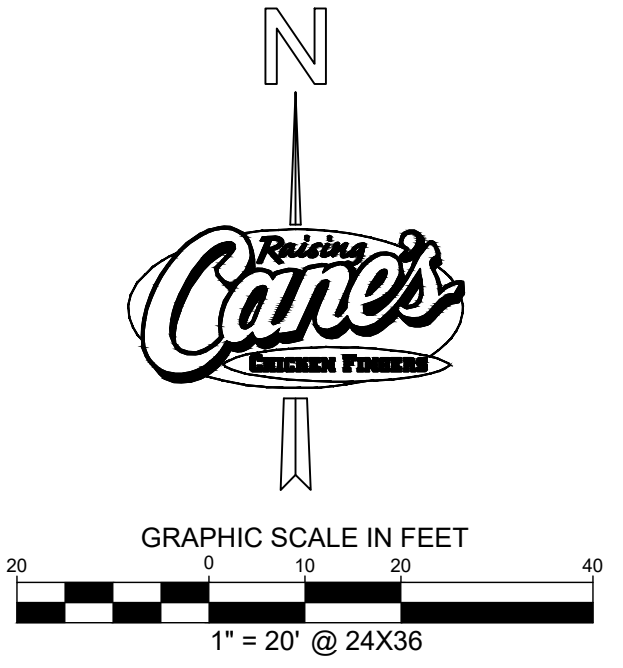
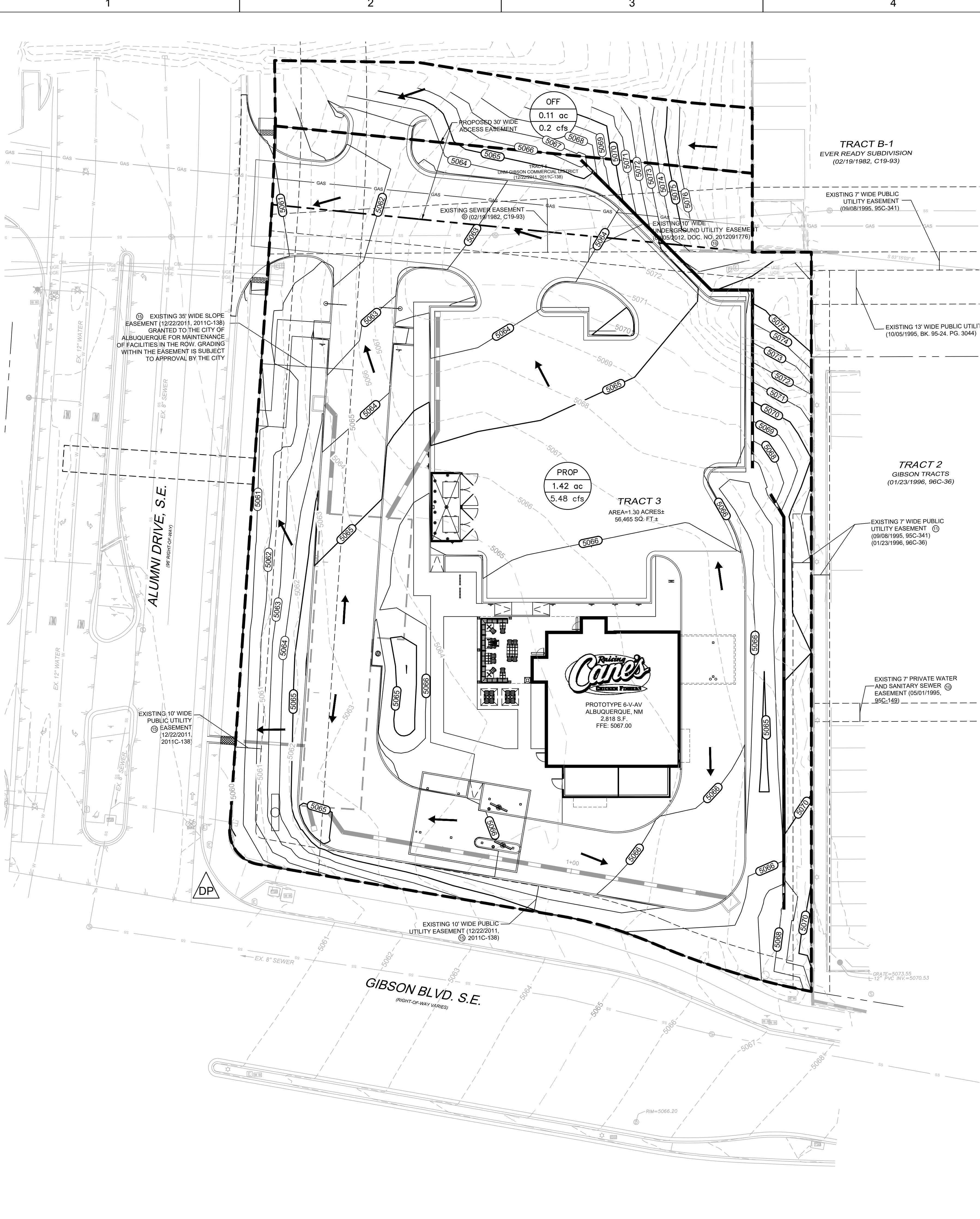
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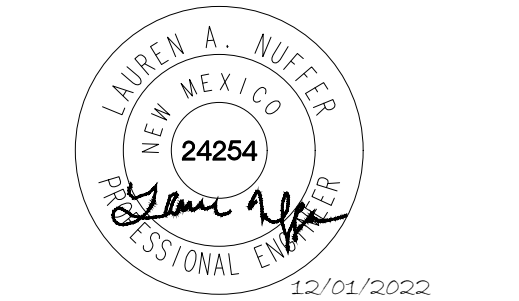


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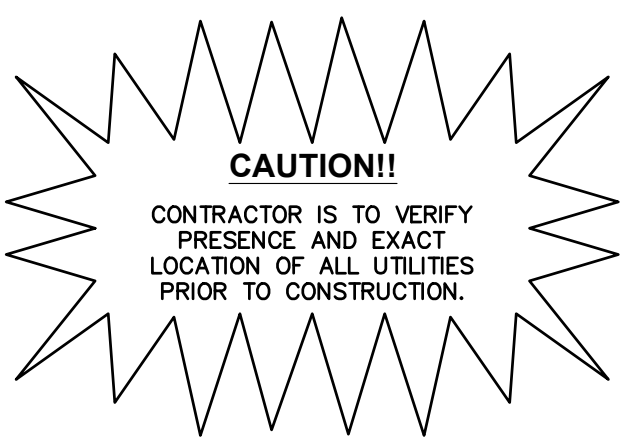


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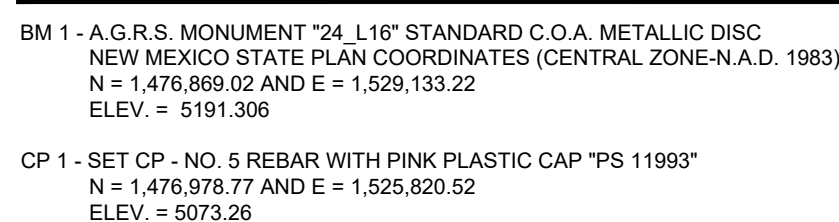
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**PROPOSED CONDITION**  
**DRAINAGE AREA MAP**  
Date: 12/01/2022  
Project Number: KH #069313462  
Drawn By: JCG/LHD  
Sheet Number:

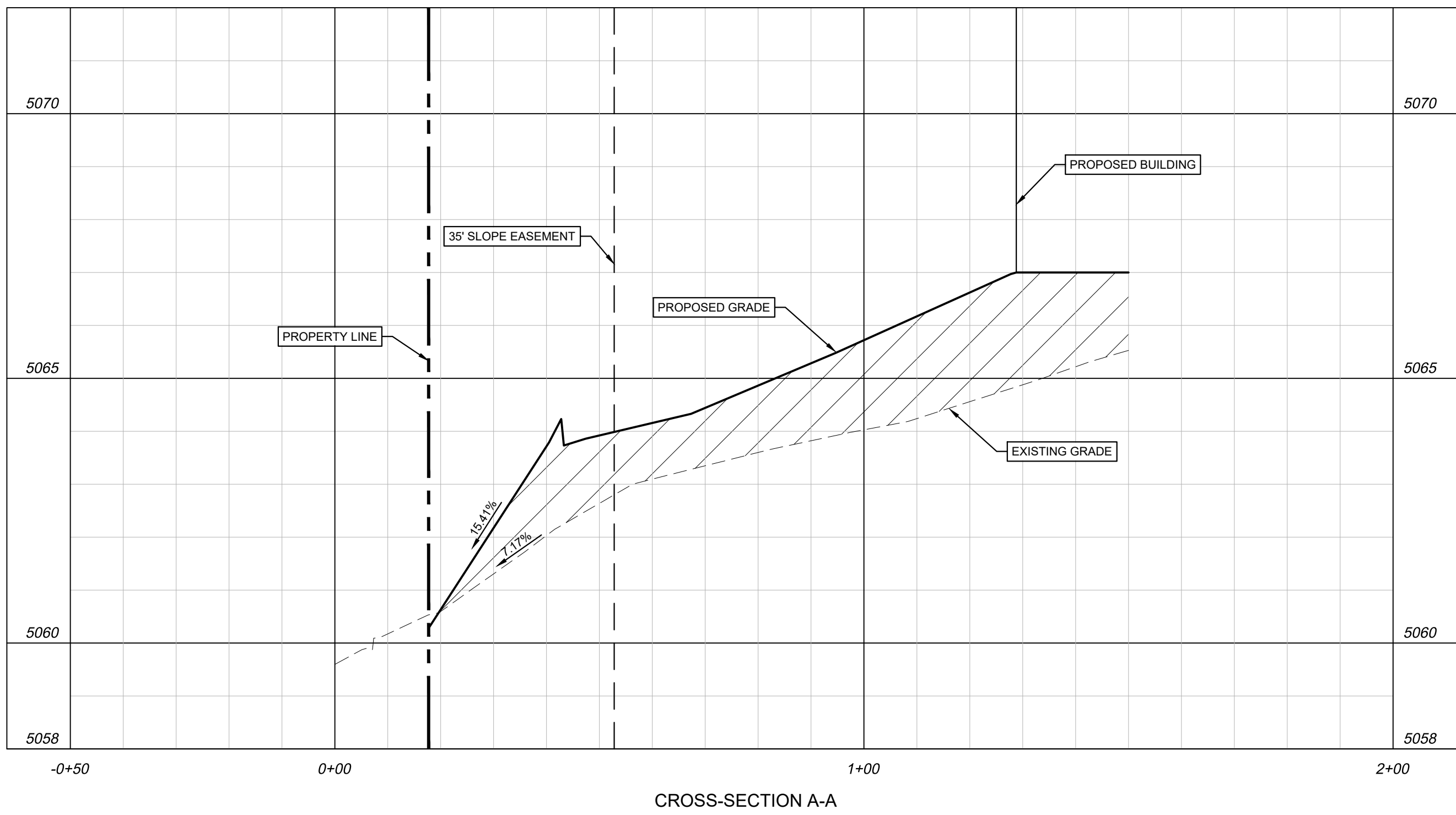
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