

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

February 22, 2023

Lauren A. Nuffer, PE,
Kimley-Horn
13455 Noel Rd. Suite 700
Dallas, TX 75240

Re: Raising Cane's
99999 Gibson Blvd. SE
Traffic Circulation Layout
Engineer's Stamp 02-10-23 (L15-D051A)

Dear Mr. Nuffer,

Based upon the information provided in your submittal received 02-13-23, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please provide Easement agreement for the proposed 30' wide access easement.
2. Provide details for the ADA ramps at the driveway access off Alumni Dr. SE.
3. Provide details for all the proposed Bike Rack, signs, and pavement marking. Sheet C5-2 is missing.
4. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.
5. A 25-foot minimum radius for all turns, must be provided for the drive-thru lanes inside edge.
6. Please clarify, are you proposing a pathway connection from the west side public sidewalk across Alumni Dr. SE.?
7. Provide dimensions for the parking spaces at the north side of the Trash Dumpster.
8. Provide Intersection sight distance Triangle at the intersection of Gibson Blvd. and Alumni Dr. See attached table 3.9.5-2
9. Please add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
10. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
11. Please provide a letter of response for all comments given.

Once corrections are complete resubmit

1. The Traffic Circulation Layout

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

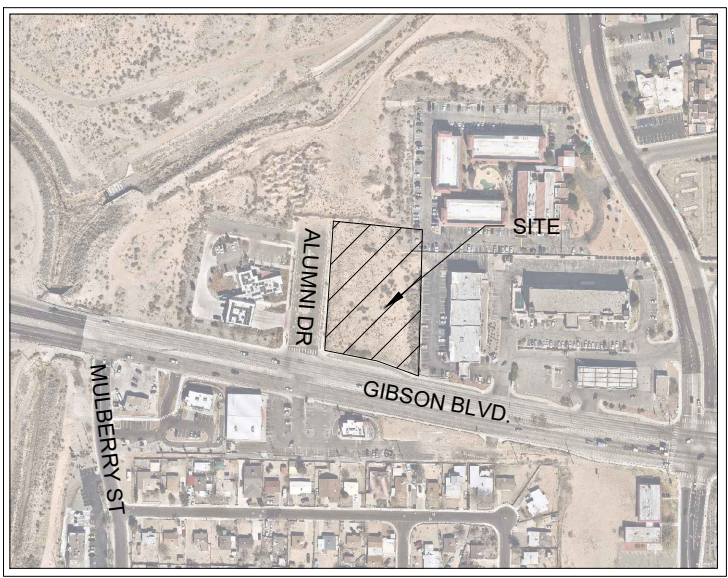
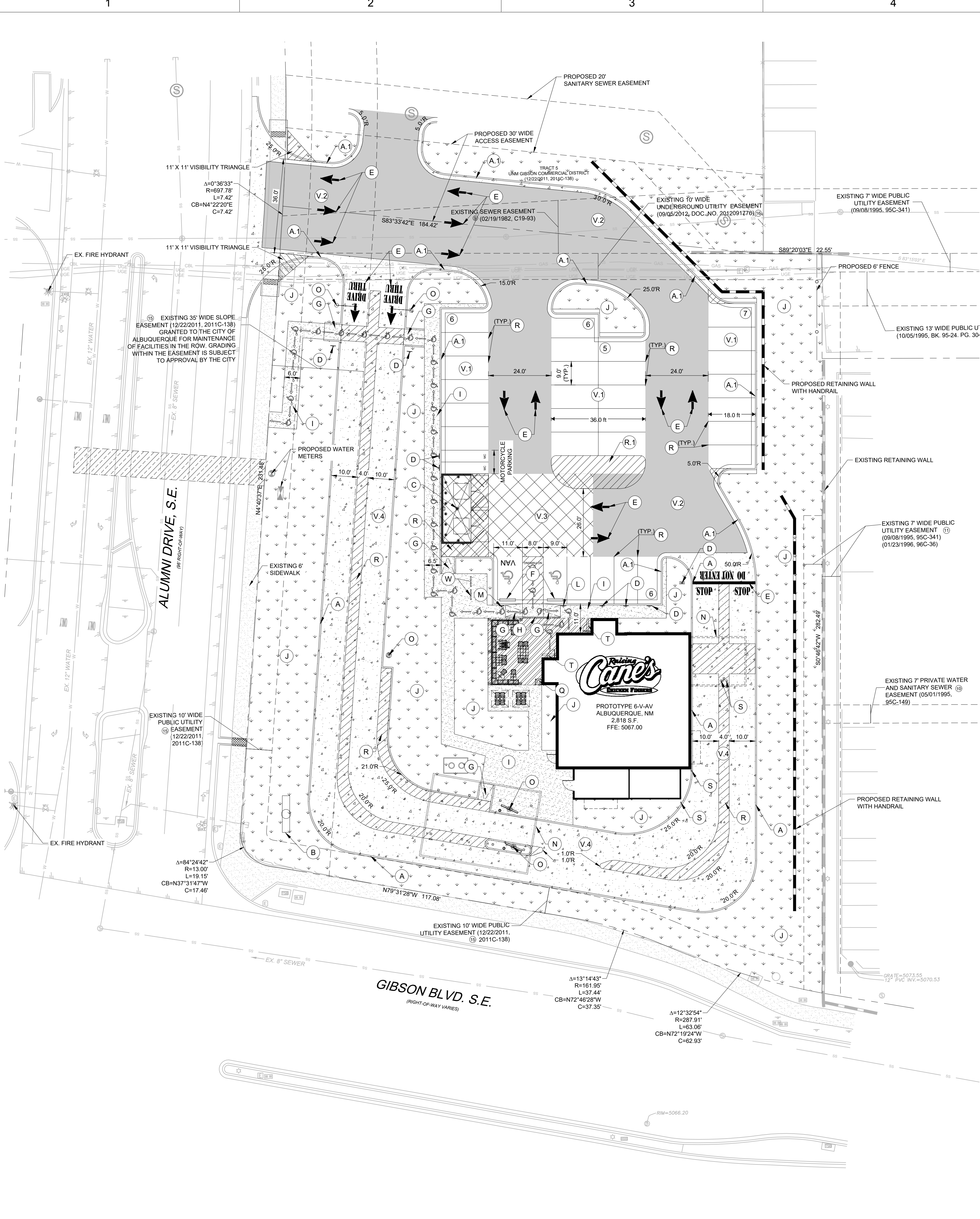
PO Box 1293
Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

Albuquerque

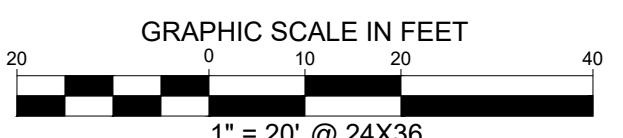
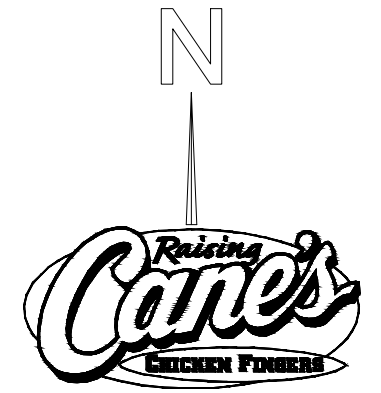
NM 87103
via: email
C: CO Clerk, File

www.cabq.gov

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kinley-Horn and Associates, Inc. shall be without liability to Kinley-Horn and Associates, Inc.



VICINITY MAP
N.T.S.
ZONE ATLAS: L-15-Z



LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PROPOSED RETAINING WALL
- EXISTING RETAINING WALL
- PROPOSED CONCRETE CURB
- EXISTING CURB
- PROPOSED PARKING COUNT
- LIGHT DUTY ASPHALT PAVEMENT. REFERENCE PAVEMENT DETAILS.
- MEDIUM DUTY ASPHALT PAVEMENT. REFERENCE PAVEMENT DETAILS.
- HEAVY DUTY CONCRETE PAVEMENT. PAVEMENT SHALL BE INTEGRALLY COLORED WITH #860 GRAPHITE (IRON OXIDE) OR EQUAL. REFERENCE PAVEMENT DETAILS.
- MEDIUM DUTY CONCRETE PAVEMENT. PAVEMENT SHALL BE INTEGRALLY COLORED WITH #860 GRAPHITE (IRON OXIDE) OR EQUAL. REFERENCE PAVEMENT DETAILS.
- PROPOSED CONCRETE SIDEWALK
- PROPOSED LANDSCAPE AREA. REFERENCE LANDSCAPE PLANS FOR PLANTING DETAILS.
- PROPOSED PATIO PAVEMENT. REFERENCE ARCHITECTURAL PLANS FOR DETAILS.
- PROP. ROW PAVEMENT PER CITY OF ALBUQUERQUE REQUIREMENTS.
- ACCESSIBLE ROUTE (LOCATION PURPOSES ONLY, DO NOT PAINT)

SITE KEYNOTES

- INTEGRAL CURB. SEE DETAIL SHEET C8.0
- 6" CURB & GUTTER. REFER TO CITY OF ALBUQUERQUE STANDARD DETAILS.
- PROPOSED CANE'S MONUMENT SIGN LOCATION. REFER TO SIGNAGE PLAN FOR DETAILS.
- RECYCLING/TRASH DUMPSTER LOCATION. REFER TO ARCHITECTURAL PLANS FOR DETAILS OF SCREENING, GATES, BOLLARDS AND MASONRY.
- SITE DIRECTIONAL SIGN. REFERENCE SHEET C5.2 - STRIPING AND SIGNAGE PLAN FOR TYPE.
- DIRECTIONAL PAVEMENT MARKING. REFERENCE SHEET C5.2 - STRIPING AND SIGNAGE PLAN.
- WHEEL STOPS. SEE DETAIL SHEET C8.0.
- BARRIER FREE RAMP. SEE CONSTRUCTION DETAILS C8.0.
- HANDRAIL. REFER TO ARCHITECTURAL DETAILS.
- CONCRETE SIDEWALK. SEE DETAIL SHEET C8.0.
- LANDSCAPE AREA. REFERENCE LANDSCAPE PLANS.
- NOT USED.
- ACCESSIBLE PARKING SIGN REFERENCE SHEET C5.2 - STRIPING AND SIGNAGE PLAN.
- VAN ACCESSIBLE PARKING SIGN REFERENCE SHEET C5.2 - STRIPING AND SIGNAGE PLAN.
- PROPOSED CANOPY. REFER TO ARCHITECTURAL SITE DETAILS.
- DRIVE THRU ORDER BOARD, PRE-ORDER BOARD OR HEIGHT DETECTOR. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- NOT USED.
- TRASH PAD. REFER TO ARCHITECTURAL SITE DETAILS.
- PAVEMENT STRIPING. REFERENCE SHEET C5.2 - STRIPING AND SIGNAGE PLAN.
- PROPOSED STRIPED AREA FOR TRASH AND DELIVERY TRUCKS. 4" SOLID WHITE STRIPING AT 45 DEGREES AT 2' ON CENTER.
- PROPOSED BOLLARD. REFER TO ARCHITECTURE PLANS FOR DETAILS.
- BUSINESS NAME TILES. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- NOT USED.
- LIGHT DUTY ASPHALT PAVEMENT. SEE SHEET C8.0 - CONSTRUCTION DETAILS.
- MEDIUM DUTY ASPHALT PAVEMENT. SEE SHEET C8.0 - CONSTRUCTION DETAILS.
- HEAVY DUTY CONCRETE PAVEMENT. PAVEMENT SHALL BE INTEGRALLY COLORED WITH #860 GRAPHITE (IRON OXIDE) OR EQUAL. REFERENCE PAVEMENT DETAILS.
- MEDIUM DUTY CONCRETE PAVEMENT. PAVEMENT SHALL BE INTEGRALLY COLORED WITH #860 GRAPHITE (IRON OXIDE) OR EQUAL. REFERENCE PAVEMENT DETAILS.
- BICYCLE RACKS PARKING RACK. REFER TO ARCHITECTURAL PLANS FOR DETAILS.

PARKING / SITE DATA

TRACT 3 UNM GIBSON COMMERCIAL DISTRICT		
EXISTING ZONING	MODERATE INTENSITY (MX-M)	
PROPOSED USE	RESTAURANT W/ DRIVE-THRU	
LOT AREA	56,465 SF / 1.30 AC	
BUILDING AREA	2,818 SF	
FINISHED FLOOR ELEVATION	5067 FT	
PAVEMENT AREA	33,133 SF	
	REQUIRED	PROVIDED
TOTAL PARKING	28 SPACES	30 SPACES
ACCESSIBLE	2 SPACES	2 SPACES
MOTORCYCLE	2 SPACES	2 SPACES
BICYCLE	3 SPACES	3 SPACES
DRIVE-THRU STACKING	12 SPACES	42 SPACES
BUILDING HEIGHT	48' MAX	23.5'
LOT COVERAGE	90% MAX	5.0%
OPEN SPACE	10% MIN	36.3%
PARKING REQUIRED FOR DRIVE-THRU RESTAURANT IS 1 SPACE PER 3 PERSONS NORMALLY ACCOMMODATED		

SITE NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/MEP PLANS FOR SITE LIGHTING & ELECTRICAL PLAN.
- REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
- EXISTING STRUCTURES AND OR UTILITIES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY PRECISION SURVEYS, INC. DATED AUGUST 2022.
- ALL PROPOSED PAVING IN CITY R.O.W. AND EASEMENTS TO CONFORM TO CITY STANDARDS.
- PER FEMA MAP NUMBER 35001C0342G DATED SEPTEMBER 26, 2008, THIS SITE IS NOT WITHIN A FLOODPLAIN.
- BUILDING IS NOT FIRE SPRINKLED.
- CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT IS NOT TO BE HELD LIABLE FOR ANY DAMAGE TO THE ASPHALT PAVEMENT.

DIMENSION NOTES

- ALL CURB RADII ARE TO BE 10' OR 2' UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CURBS SHALL BE 6" STANDARD EXCEPT WHERE OTHERWISE NOTED ON PLANS.
- REFERENCE LANDSCAPE PLANS FOR PROPOSED BUFFERS, SCREENING, AND PLANTING.

BENCHMARKS

BM 1 - A.G.R.S. MONUMENT "24 L16" STANDARD C.O.A. METALLIC DISC
NEW MEXICO STATE PLAN COORDINATES (CENTRAL ZONE-N.A.D. 1983)
N = 1,476,869.02 AND E = 1,529,133.22
ELEV. = 5191.306

CP 1 - SET CP - NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993"
N = 1,476,978.77 AND E = 1,525,820.52
ELEV. = 5075.26



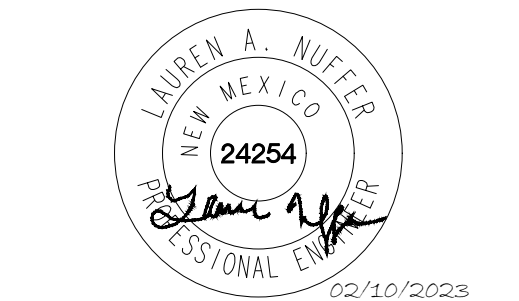
Store:
Gibson & Alumni
Albuquerque, NM
Restaurant #RC972
P6-V-AV

Professional of Record: KEN MCCracken

Ken McCracken,
Architect

Architecture • Program Management • Permitting

1101 Central Expressway South
Suite 100
Allen, TX 75013
CONTACT: BARRY GUTTRIDGE
(214) 227-2633
BGUTTRIDGE@PMDGNC.COM



Prototype : P6-V-AV 2022-1.0 RELEASE

Prototype Issue Date: 09.22.2022

Kitchen Issue Date: --

Design Bulletin Updates: --

Date Issued: Bulletin Number: --

REVISIONS:

	09/12/2022	SOLID WASTE REVIEW
1	11/30/2022	UNMA SUBMITTAL
2		
3		
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6		
7		
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Sheet Title:
SITE KEYNOTE PLAN

Date: 02/10/2023

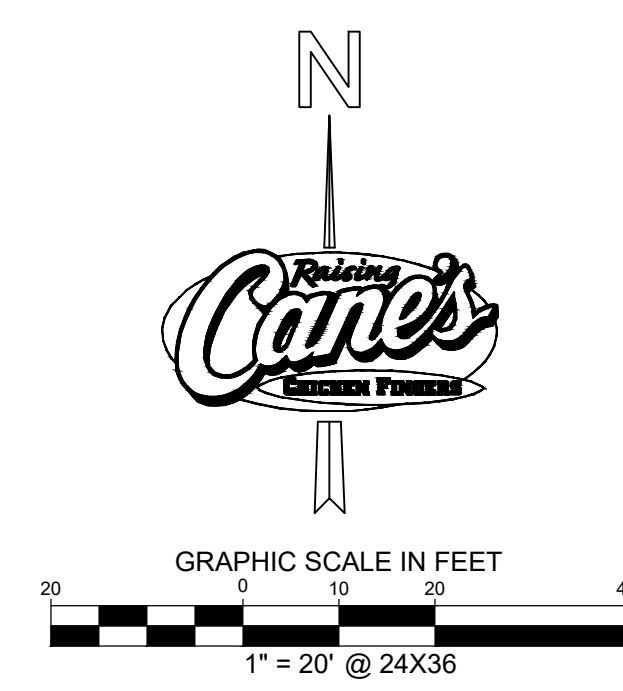
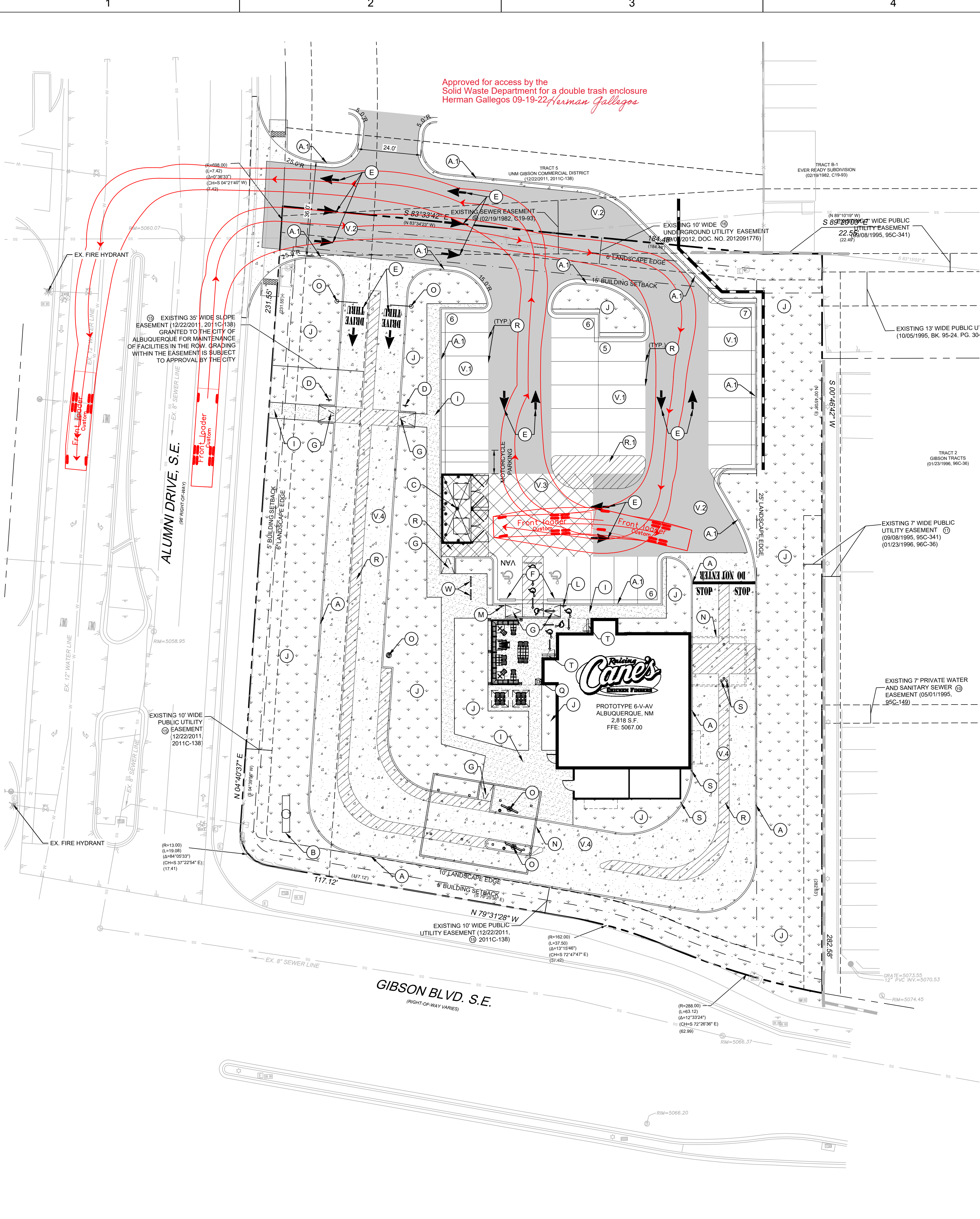
Project Number: KH #069313462

Drawn By: JCG/LHD

Sheet Number:

C5.0

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SITE KEYNOTES	
A	INTEGRAL CURB. SEE DETAIL SHEET C8.0
A1	6" CURB & GUTTER. REFER TO ALBUQUERQUE CITY DETAILS.
B	PROPOSED CANE'S MONUMENT SIGN LOCATION. REFER TO SIGNAGE PLAN FOR DETAILS.
C	RECYCLING/TRASH DUMPSTER LOCATION. REFER TO ARCHITECTURAL PLANS FOR DETAILS OF SCREENING, GATES, BOLLARDS AND MASONRY
D	SITE DIRECTIONAL SIGN. REFERENCE SHEET C5.2 - STRIPING AND SIGNAGE PLAN FOR TYPE.
E	DIRECTIONAL PAVEMENT MARKING. REFERENCE SHEET C5.2 - STRIPING AND SIGNAGE PLAN.
F	WHEEL STOPS. SEE DETAIL SHEET C8.0.
G	BARRIER FREE RAMP. SEE CONSTRUCTION DETAILS C8.0.
H	NOT USED.
I	CONCRETE SIDEWALK. SEE DETAIL SHEET C8.0.
J	LANDSCAPE AREA. REFERENCE LANDSCAPE PLANS.
K	NOT USED.
L	ACCESSIBLE PARKING SIGN REFERENCE SHEET C5.2 - STRIPING AND SIGNAGE PLAN.
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O	DRIVE THRU ORDER BOARD, PRE-ORDER BOARD OR HEIGHT DETECTOR. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
P	NOT USED.
Q	TRASH PAD. REFER TO ARCHITECTURAL SITE DETAILS.
R	PAVEMENT STRIPING. REFERENCE SHEET C5.2 - STRIPING AND SIGNAGE PLAN.
R1	PROPOSED STRIPED AREA FOR TRASH AND DELIVERY TRUCKS. 4" SOLID WHITE STRIPING AT 45 DEGREES AT 2' ON CENTER.
S	PROPOSED BOLLARD. REFER TO ARCHITECTURE PLANS FOR DETAILS.
T	BUSINESS NAME TILES. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
U	NOT USED.
V1	LIGHT DUTY ASPHALT PVMT. SEE SHEET C8.0 - CONSTRUCTION DETAILS.
V2	MEDIUM DUTY ASPHALT PVMT. SEE SHEET C8.0 - CONSTRUCTION DETAILS.
V3	HEAVY DUTY CONCRETE PVMT. SEE SHEET C8.0 - CONSTRUCTION DETAILS.
V4	INTEGRAL COLORED 860 GRAPHITE (IRON OXIDE) STANDARD DUTY CONCRETE PAVEMENT
W	BICYCLE RACKS PARKING RACK. REFER TO ARCHITECTURAL PLANS FOR DETAILS

LEGEND	
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BENCHMARKS

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NEW MEXICO STATE PLANT COORDINATES (CENTRAL ZONE-N.A.D. 1983)
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ELEV. = 5191.306



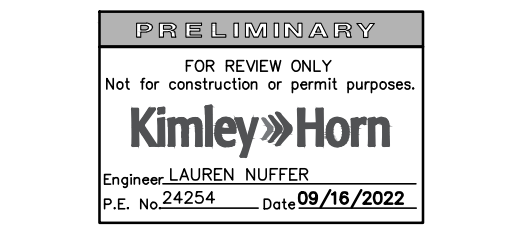
Store:
**NEC OF GIBSON BLVD
AND ALUMNI DR
ALBUQUERQUE
NM, 87106**

Professional of Record: NAME

**PM
DESIGN**

**Architectural
Solutions Group**

1101 Central Expressway South
Suite 100
Allen, TX 75013
CONTACT: EVERETT FIELDS
(469) 619-1164
EFIELDS@PMDGNC.COM



Prototype : P6-V-AV

Prototype Issue Date: --

Design Bulletin Updates: --

Date Issued: -- Bulletin Number: --

80% REVIEW SET

REVISIONS:	
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Sheet Title:
**SOLID WASTE
PLAN**

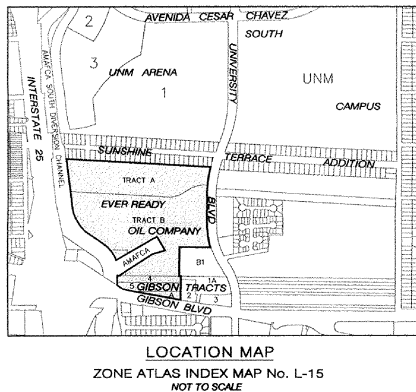
Date: 09/16/2022

Project Number: 069313462

Drawn By: LHD

Sheet Number:

C5.4



SUBDIVISION DATA

1. DBI No.
2. Zone 488 Index No. L-15.
3. Net U.S.A.C.
4. Gross Subdivided Acreage: 45.4403 Acres.
5. Total number of lots/tracts Created: Ten (10) tracts.
6. 0.573 mile of full width public street right-of-way created.
7. Date of Survey: April, 2011.
8. Plat is located within Section 28, Township 10 North, Range 3 East, New Mexico Principal Meridian, and Town of Albuquerque Grant, Bernalillo County, New Mexico.

DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide all of Tract A, Ever Ready Oil Company Subdivision as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on November 22, 1972 in Book C9, page 2 as Document No. 21855, together with all of Tract B of the Amended Summary Plat of Tract "B" of the Ever Ready Subdivision, Bernalillo County, New Mexico as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on February 19, 1982 in Book C18, page 93 as Document No. 829033, together with all of Tracts 4 and 5 of the Corrected Plat of Tracts 1 thru 5 of Gibson Tracts, Albuquerque, New Mexico, as the same are shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on January 23, 1989 in Book 96C, page 36 as Document No. 96008104, together with all of Tract A of the Plat of Tracts A & B of 40/25 Associates Subdivision, Albuquerque, New Mexico on May 10, 1995 in Book 96C, page 149 as Document No. 89042667, together with an unplat portion of land into ten (10) tracts, to vacate existing easements, to dedicate public street right-of-way to the City of Albuquerque and to grant easements.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. Quest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or other structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgear, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) do not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

DESCRIPTION

A certain tract of land situated within Section 28, Township 10 North, Range 3 East, New Mexico Principal Meridian, and Town of Albuquerque Grant, Bernalillo County, New Mexico, being and comprising all of Tract A Ever Ready Oil Company Subdivision, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on November 22, 1972 in Book C9, page 2, together with all of Tract B of the Amended Summary Plat of Tract "B" of the Ever Ready Subdivision, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on February 19, 1982 in Book C18, page 93 as Document No. 829033, together with all of Tracts 4 and 5 of the Corrected Plat of Tracts 1 thru 5 of Gibson Tracts, Albuquerque, New Mexico, as the same are shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on January 23, 1989 in Book 96C, page 36 as Document No. 96008104, together with all of Tract A of the Plat of Tracts A & B of 40/25 Associates Subdivision, Albuquerque, New Mexico on May 10, 1995 in Book 96C, page 149 as Document No. 89042667, together with an unplat portion of land, and being more particularly described by New Mexico State Plane Grid Bearings (NAD 83 Central Zone) and ground distances as follows:

BEGINNING at a found AMAFCA brass cap stamped "S1-11-1" at the southwest corner of the tract herein described, identical to the southeast corner of Parcel 9 of the AMAFCA South Division Channel Drainage Right-of-Way Phase 1 Right-of-Way Parcels 1 thru 10, as the same is shown and designated on the Plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on July 17, 2000 in Book 2000C, page 183 as Document No. 200009137, WHENCE the City of Albuquerque Control Monument "S7A SDC-13-4" having New Mexico State Plane Grid Coordinates (NAD 83 Central Zone) N=1,477,145.578 and E=-1,525,011.494, bears S07°05'06"W a distance of 36.32 feet;

THENCE along the westerly boundary of the tract herein described, coincident with the easterly boundary of said AMAFCA Parcel 9, the following three (3) courses;

N00°04'35"E a distance of 115.66 feet to a found AMAFCA brass cap stamped "S1-11-22";

S88°19'37"E a distance of 28.78 feet to a found AMAFCA brass cap stamped "S1-11-21";

N04°29'05"W a distance of 2.77 feet to a found AMAFCA brass cap stamped "S1-11-20";

THENCE continuing along said westerly boundary of the tract herein described, coincident with said westerly boundary of AMAFCA Parcel 9 and the westerly boundary of said Tracts A and B, Ever Ready Subdivision the following eight (8) courses;

N55°54'19"E a distance of 472.23 feet to a point;

N7°42'04"E a distance of 155.17 feet to a found AMAFCA brass cap stamped "S1-11-19";

N55°19'19"W a distance of 92.64 feet to a found AMAFCA brass cap stamped "S1-11-17";

S87°05'28"W a distance of 585.14 feet to a point on curve marked by a found AMAFCA brass cap stamped "S1-11-16"; 260.11 feet along the arc of a non-tangent curve to the left having a radius of 448.10 feet, a central angle of S87°16'32" and a chord bearing N08°32'03"W a distance of 356.47 feet to a point (non-tangent) marked by a found AMAFCA brass cap stamped "S1-11-15";

N07°44'48"W a distance of 39.61 feet to a non-tangent point of curvature;

407.96 feet along the arc of a curve to the right having a radius of 483.79 feet, a central angle of 48°19'08" and a chord bearing N30°38'13"W a distance of 396.01 feet to a non-tangent point marked by a found AMAFCA brass cap stamped "S1-11-12";

N06°31'28"W a distance of 571.54 feet to the northwest corner of the tract herein described, identical to the northwest corner of said Tract A, Ever Ready Subdivision;

THENCE leaving said easterly boundary of said AMAFCA Parcel 9 along the northerly boundary of the tract herein described, coincident with the northerly boundary of said Tract A, S88°19'37"E a distance of 1765.98 feet to a point on curve at the northeast corner of the tract herein described, identical to the northeast corner of said Tract A, Ever Ready Subdivision, and also being a point on the westerly right-of-way of University Boulevard SE;

THENCE along the easterly boundary of the tract herein described, coincident with the easterly boundary of said Tracts A and B, Ever Ready Subdivision and said westerly right-of-way of University Boulevard SE, the following three (3) courses;

349.46 feet along the arc of a non-tangent curve to the left having a radius of 1485.40 feet, a central angle of 13°28'49" and a chord bearing S07°06'32"W a distance of 348.67 feet to a point of tangency; S07°20'08"W a distance of 388.02 feet to a found #4 rebar marking a point of curvature;

270.70 feet along the arc of a curve to the left having a radius of 871.51 feet, a central angle of 17°47'48" and a chord bearing S08°31'48"E a distance of 269.61 feet to a found Chiselled Mark at the most easterly corner of the tract herein described, identical to the most easterly corner of said Tract B;

THENCE leaving said westerly right-of-way of University Boulevard SE and continuing along the easterly boundary of the tract herein described, coincident with the easterly boundary of said Tract B the following two (2) courses;

N89°17'51"W a distance of 377.83 feet, to a found chiselled mark at the northeast corner of Tract B-1 of the Amended Summary Plat of Tract "B" of the Ever Ready Subdivision, Bernalillo County, New Mexico filed in the Office of the County Clerk of Bernalillo County, New Mexico on February 19, 1982 in Book C18, page 93; S07°42'40"W a distance of 381.07 feet to a found nail and shiner at the northeast corner of said Tract B, also being a point on the northerly boundary of said Tract A, Gibson Tracts;

THENCE continuing along the easterly boundary of the tract herein described, coincident with said northerly boundary of Tract A, S89°10'19"E a distance of 22.49 feet to a found nail and shiner at the northeast corner of said Tract A, 40/25 Associates Subdivision;

THENCE continuing along said westerly boundary of the tract herein described, coincident with the easterly boundary of said Tract A and 5, Gibson Tracts and said Tract A, 40/25 Associates Subdivision, S07°40'58"W a distance of 288.48 feet to the southeast corner of the tract herein described, identical to the southeast corner of said Tract A, 40/25 Associates Subdivision;

THENCE continuing along the southerly boundary of the tract herein described, coincident with the southerly boundary of said Tract A, the following two (2) courses;

N72°26'11"W a distance of 369.54 feet to a found 1" diameter iron pipe;

N72°31'32"W a distance of 238.71 feet to the most westerly corner of said Tract A;

THENCE continuing along the southerly boundary of the tract herein described, coincident with the southerly boundary of said Tract 5, the following two (2) courses;

N78°19'41"W a distance of 98.67 feet;

N59°08'24"W a distance of 47.44 feet to a found #5 rebar at the southwest corner of said Tract 5;

THENCE continuing along the southerly boundary of the tract herein described, N53°32'39"W a distance of 42.79 feet to the POINT OF BEGINNING.

This tract contains 45.4403 acres, more or less.

FREE CONSENT AND DEDICATION

The plat shown hereon is made with the owner(s) free consent and in accordance of the desires of the undersigned owner(s), the execution of this plat is their free act and deed. Those signing as owner(s), warrant that they hold among them, complete indefeasible title in fee simple to the land shown on this plat. Owner(s) hereby affirm that the described property shown on this plat lies within the platting and subdivision jurisdiction of Albuquerque, New Mexico. Said owner(s) hereby grant all Easements as shown on this plat; and hereby dedicate Public Rights-of-Way as shown on this plat to City of Albuquerque, New Mexico in Fee Simple with Warranty Covenants.

UNIVERSITY OF NEW MEXICO

By: *Kim Murphy*
Kim Murphy, Director of Real Estate
University of New Mexico

State of New Mexico)
County of Bernalillo)

This instrument was acknowledged before me on 9 day of December, 2011, by Kim Murphy, Director of Real Estate, University of New Mexico

My Commission Expires: 11/3/2014



NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1983. Basis of Bearings is between City of Albuquerque Control Stations "SD-10-1" and "1-25-30" Bearing = N77°25'48".
2. Rise, bearings and distances of AMAFCA South Division Channel Drainage Right-of-Way Parcels 1, right-of-way Parcels 1 thru 10 filed July 17, 2000 in Book 2000C, page 183 are shown in brackets ().
3. Record Bearings and distances of a Plat of Tracts A & B of 40/25 Associates Subdivision filed on May 1, 1995 in Volume 96C, folio 149 are shown in brackets ().
4. Record Bearings and distances of a Plat of Tracts 1 thru 6 of Gibson Tracts filed on January 23, 1989 in Volume 96C, folio 36 are shown in asterisks *.
5. Record Bearings and distances of AMAFCA South Division Channel Drainage Right-of-Way Phase 1, right-of-way Parcels 1 thru 10 filed July 17, 2000 in Book 2000C, page 183 are shown in brackets ().
6. Distances are ground distances.
7. Record easements taken from Stewart Title Guaranty Company, File No. 11070295, Effective Date: July 22, 2011.
8. Pursuant to Section 1414-4.7 of the City of Albuquerque Code of Ordinances, "No property within the area of this Plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed Plat. The foregoing requirement shall be a condition to approval of this plat."
9. Landfill Disclosure Statement - The subject property is located near a former landfill. Due to the subject property being near a former landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the Interim Guidelines for Development within the City Designated Landfill Buffer Zones) shall be consulted prior to development of the site.
10. Future development of lands within this Plat may require improvements by the owner for drainage and grading for any specific lot. By its approval of this subdivision, the City makes no representation or warranties as to occupation, filling or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.
11. All corners created with this plat will be monumented with a #5 rebar and yellow plastic survey cap stamped "GROMATZKY PS 16469" or nail and washer stamped "Gromatzky PS 16469".
12. Centerline monuments to be installed at centerline P.C.s, P.T.s, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard 3-1/4" aluminum alloy cap stamped "CITY OF ALBUQUERQUE, CENTERLINE MONUMENTATION, SURVEY MARKER, DO NOT DISTURB, VLS 16469".
13. Existing Tracts 4 and 5, Plat of Tracts 1 thru 5 of Gibson Tracts are subject to an existing 24' reciprocal access easement and benefits from a 24' wide reciprocal access easement across Tract 1 of said Plat filed on January 23, 1989 in Book 96C, page 36.
14. In the event that the License Agreement for Alumni Drive within AMAFCA Right-of-Way is terminated by AMAFCA without a permanent easement being granted by AMAFCA to the City, UNM including its successors and assigns, agrees to waive any and all claims against the City and shall defend and hold harmless the City and its officers, agents and employees from and against all action, suits or claims for damage to the Property as shown on the UNM Gibson Commercial District Subdivision Plat including any actions suits or claims against the City in the nature of inverse condemnation. The liability of UNM, the City and AMAFCA shall in all cases be subject to the limitations and immunities of the New Mexico Tort Claims Act Section 41-4-1 et seq., AMCA 1978, as amended.
15. Tract 7 is subject to Flood Zone "A" per FIRM Panel 35001C03429 revised September 26, 2008.
16. For additional information, refer to the "Memorandum of Understanding Pertaining to the University of New Mexico Gibson Commercial District Development", executed by the City of Albuquerque on October 11, 2011 and executed by the University of New Mexico on October 10, 2011.

PLAT OF UNM GIBSON COMMERCIAL DISTRICT

(A REPLAT OF TRACTS A & B,
EVER READY SUBDIVISION
TRACTS 4 & 5, GIBSON TRACTS
AND TRACT A, 40/25 ASSOCIATES SUBDIVISION)
AND UNPLATTED LAND IN SECTION 28, T10N, R3E
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2011

PROJECT NUMBER 1001725

APPLICATION NUMBER

PLAT APPROVAL

UTILITY APPROVALS:

QUEST CORPORATION CENTURYLINK QC 12-15-11
GIBSON TRACTS 12-15-11
PNM ELECTRIC SERVICES 12-19-11
NEW MEXICO GAS COMPANY 12-19-2011

CITY APPROVALS:

CITY SURVEYOR 12-9-11
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION 12-21-11
ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY 12/21/11
PARKS & RECREATION DEPARTMENT 12-21-11
AMAFCA 12-14-11
CITY ENGINEER 12-21-11
DRB (HARRISON, PLANNING DEPARTMENT) 12-20-11
REAL PROPERTY DIVISION 12-20-11
ENVIRONMENTAL HEALTH DEPARTMENT 12-20-11

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #

PROPERTY OWNER OF RECORD 12/21/11
BERNALILLO COUNTY TREASURERS OFFICE 12/21/11

SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all existing easements as shown on the plats of record, or made known to me by the owner, utility companies, or other interested parties and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky
New Mexico Professional Surveyor 16469
Date: 12-9-11

DOCH 2011119138

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PLAT 12-25-00 8:10 PM Page 1 of 4

SHEET 1 OF 4

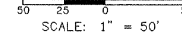
Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

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(A REPLAT OF TRACTS A & B,
EVER READY SUBDIVISION
TRACTS 4 & 5, GIBSON TRACTS
AND TRACT A, 40/25 ASSOCIATES SUBDIVISION)
AND UNPLATTED LAND IN SECTION 28, T10N, R3E
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2011



LEGEND

SUBMISSION BOUNDARY LINE

NEW LOT LINE

CENTERLINE

PROPOSED EASEMENT LINE

EXISTING EASEMENT LINE

ADJOINING PROPERTY LINE

EXISTING (OLD) LOT LINE TO BE ELIMINATED
WITH THE FILING OF THIS PLAT

RIGHT OF WAY

ZONE BOUNDARY LINE

PUBLIC UTILITY EASEMENT GRANTED WITH
THE FILING OF THIS PLAT

CITY OF ALBUQUERQUE CONTROL MONUMENT

CENTERLINE MONUMENT TO BE INSTALLED

#6 REBAR WITH YELLOW PLASTIC SURVEY CAP
STAMPED "GROMATZKY PS 16489"

FOUND REBAR AS NOTED

FOUND CHISELED MARK IN CONCRETE

FOUND REBAR/CAP AS NOTED

FOUND NAIL AND SHINER

FOUND IRON PIPE AS NOTED

FOUND BRASS CAP AS NOTED

NOTE: SEE SHEET 4 FOR CURVE
& TANGENT DATA

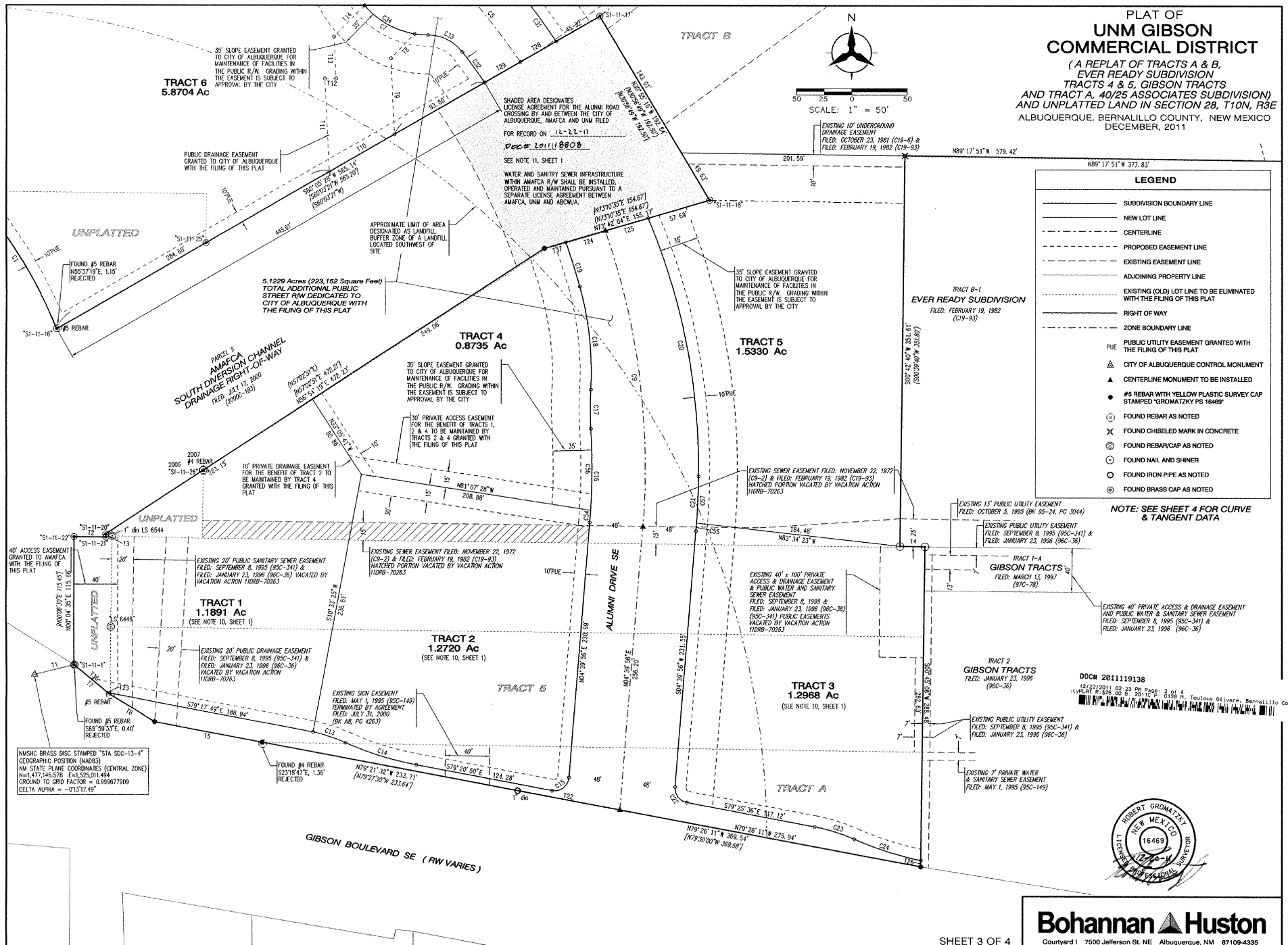
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12/22/2011 02:23 PM Page: 3 of 4
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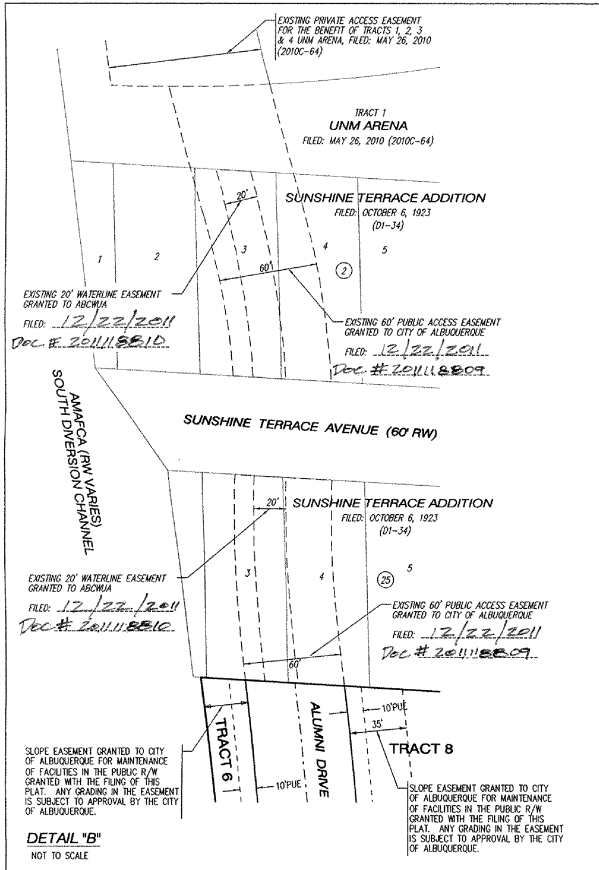
Bohannon  Huston
Court yard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

SHEET 3 OF 4

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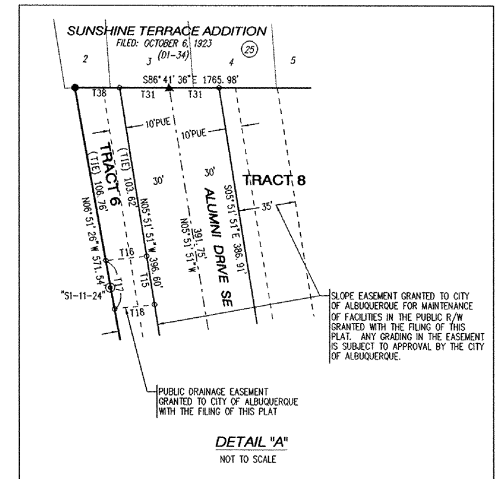


PLAT OF
UNM GIBSON
COMMERCIAL DISTRICT
(A REPLAT OF TRACTS A & B,
EVER READY SUBDIVISION
TRACTS 4 & 5, GIBSON TRACTS
AND TRACT A, 40/25 ASSOCIATES SUBDIVISION)
AND UNPLATTED LAND IN SECTION 28, T10N, R3E
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2011



Curve Data						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	33°15'30"	133.83	260.11'	448.10'	256.47'	N38°32'09"W
				(148.10')		
	(33°15'51")		(260.15')	(148.10')	(256.51')	(N38°32'45"W)
C2	48°19'08"	217.01	401.99'	483.79'	390.01'	N30°38'13"W
	(48°19'10")		(402.30')	(482.96')		
	(48°19'08")		(402.29')	(482.96')	(395.33')	(N31°00'52"W)
C3	13°28'49"	175.55	349.48'	1485.40'	348.67'	S07°06'32"W
	(13°28'22")		(342.59')	(1485.40')		
C4	37°47'48"	138.45'	270.70'	371.51'	289.61'	S08°31'46"E
			(270.85')	(371.51')		
C5	11°24'59"	64.97'	129.51'	650.00'	129.30'	N30°56'10"W
C6	42°29'39"	252.73	482.08'	650.00'	471.11'	N66°53'29"W
C7	40°19'45"	27.54	52.79'	75.00'	51.71'	S60°24'24"E
C8	91°13'40"	13.28	26.70'	13.00'	19.58'	S45°14'49"E
C9	23°52'56"	137.46	270.93'	650.00'	288.98'	N07°16'32"W
C10	53°54'38"	330.55	611.59'	650.00'	589.28'	N61°11'00"W
C11	82°18'28"	305.73	502.59'	350.00'	480.51'	N47°00'05"W
C12	44°46'56"	267.79	508.04'	650.00'	495.20'	N66°44'48"E
C13	10°53'45"	15.45	30.81'	162.00'	30.76'	S71°32'01"E
C14	13°12'42"	33.48	66.66'	66.66'	66.51'	S72°42'59"E
C15	95°50'03"	14.40'	21.74'	13.00'	19.30'	N50°34'57"E
C16	08°03'57"	42.44	84.75'	602.00'	84.68'	N00°37'57"E
C17	06°29'01"	17.61	35.19'	311.00'	35.17'	N00°09'31"W
C18	18°33'12"	47.21	94.38'	289.00'	93.18'	N06°11'37"W
C19	03°58'22"	20.89	41.97'	613.00'	41.96'	N17°23'54"W
C20	23°18'49"	120.89	238.44'	586.00'	236.80'	S11°04'16"E
C21	04°04'48"	24.85'	49.70'	698.00'	49.69'	S02°37'32"W
C22	84°05'32"	11.72	19.08'	13.00'	17.41'	S37°22'50"E
C23	13°15'41"	18.83	37.50'	162.00'	37.41'	S72°47'46"E
C24	12°33'23"	31.68	63.11'	288.00'	62.99'	S72°26'36"E
C25	44°46'56"	255.43	494.59'	650.00'	472.35'	S66°44'48"W
C26	53°22'52"	19.10	35.40'	38.00'	34.14'	S17°39'55"W
C28	14°43'02"	9.81	19.52'	76.00'	19.47'	S01°40'00"E
C30	43°58'18"	17.76	33.77'	44.00'	32.95'	S16°17'39"E
C31	04°17'06"	25.70	51.38'	687.00'	51.37'	S36°08'15"E
C32	03°10'42"	17.01	34.00'	613.00'	34.00'	N45°04'42"W
C33	52°18'08"	19.15	35.60'	39.00'	34.38'	N63°49'07"W
C34	88°39'02"	73.25'	116.04'	75.00'	104.81'	N45°38'40"W
C35	52°18'08"	19.15	35.60'	39.00'	34.38'	N27°28'12"W
C36	34°31'03"	190.44	369.30'	613.00'	363.74'	N70°52'47"W
C37	36°33'07"	125.50	242.42'	380.00'	238.33'	N69°51'45"W
C38	00°56'55"	2.80	5.60'	338.00'	5.60'	N59°03'40"W
C39	46°40'16"	163.93	309.54'	380.00'	301.05'	N29°11'59"W
C40	49°32'36"	147.67	276.70'	320.00'	268.16'	S30°38'09"E
C41	37°04'42"	96.56	186.38'	288.00'	183.14'	S73°56'48"E
C42	04°20'50"	14.39	28.76'	379.00'	28.75'	N89°41'16"E
C43	35°07'47"	217.47	421.22'	687.00'	414.65'	S70°34'25"E
C44	43°58'18"	17.76	33.77'	44.00'	32.95'	S74°59'41"E
C46	14°43'02"	9.81	19.52'	76.00'	19.47'	S89°37'19"E
C47	53°22'52"	19.10	35.40'	38.00'	34.14'	N71°02'46"E
C48	44°46'56"	260.15	531.48'	680.00'	518.06'	N66°44'48"E
C49	68°38'11"	12.09	20.11'	13.00'	18.16'	N44°49'11"E
C50	05°52'07"	76.85	153.17'	1499.40'	153.10'	N02°26'09"E
C51	14°54'38"	21.20	42.16'	162.00'	42.04'	N13°49'31"E
C52	06°03'21"	15.23	30.44'	288.00'	30.43'	N18°15'10"E
C53	08°45'31"	113.76	227.07'	1485.40'	226.85'	S04°44'53"W
C54	01°02'25"	5.47	10.93'	602.00'	10.93'	S04°08'44"W
C55	00°38'32"	3.71	7.42'	688.00'	7.42'	S04°21'40"W
C56	07°01'32"	36.95	73.82'	602.00'	73.77'	N00°06'45"E
C57	03°28'16"	21.15	42.28'	698.00'	42.28'	N02°19'16"E
C58	25°47'01"	157.24	309.16'	687.00'	306.56'	N75°14'48"W
C59	09°20'46"	56.16	112.06'	687.00'	111.94'	S57°40'54"E
C60	15°20'15"	91.56	182.03'	680.00'	181.49'	N52°01'28"E
C61	29°25'40"	176.08	349.46'	680.00'	345.62'	S74°24'56"E
C62	04°43'18"	61.24	122.41'	1485.40'	122.37'	S11°29'18"W
C63	02°25'07"	8.23	16.46'	390.00'	16.46'	S20°06'17"E

Tangent Data		
ID	BEARING	DISTANCE
T1	S76°05'56"W	36.32'
T2	S89°15'37"E	28.78'
	(S89°20'20"E)	(28.78')
T3	N04°29'05"W	2.77'
	(N01°42'46"E)	(2.77')
T4	S69°10'19"E	22.49'
	(S69°22'07"E)	
T5	N19°46'41"W	88.67'
	(N29°22'59"W)	(88.64')
T6	N59°06'04"W	47.44'
	(N59°12'02"W)	(47.43')
T7	N50°32'39"W	42.79'
T8	S44°21'36"W	30.35'
T9	S02°47'52"E	68.57'
T10	S60°05'28"W	67.41'
T11	N02°47'52"W	83.71'
T12	N48°05'15"E	10.00'
T13	N02°47'52"W	37.68'
T14	N44°21'26"E	39.19'
T15	N05°51'26"W	30.07'
T16	N86°56'10"E	25.07'
T17	S05°51'51"E	30.04'
T18	S46°56'10"W	24.54'
T19	N89°07'13"E	88.78'
T20	S00°22'08"W	54.73'
T21	S89°24'22"W	5.81'
T22	N79°26'11"W	93.60'
T23	N50°32'39"W	2.89'
T24	N73°42'04"E	37.05'
T25	N73°42'04"E	40.33'
T26	S00°45'08"W	5.88'
T27	S89°08'16"W	94.58'
T28	S60°05'28"W	37.10'
T29	S60°05'28"W	37.11'
T30	N88°08'19"W	72.98'
T31	S89°41'36"E	30.39'
T32	S89°08'19"E	49.33'
T33	N89°08'16"E	86.43'
T34	S00°22'08"W	39.02'
T35	S00°22'08"W	43.29'
T36	N50°32'39"W	39.90'
T37	S73°42'04"W	20.19'
T38	N86°41'36"W	27.24'
T39	N17°18'10"E	45.08'
T40	S17°18'10"W	29.86'



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10:40 AM 12/22/2011 02:28 PM 10:40 AM Toulous Oliver, Bernalillo Cou



Bohannon & Huston
Courtney 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335