

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



May 5, 2014

Richard J. Berry, Mayor

Fred Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, New Mexico 87108

RE: **Denny's Restaurant – Broadstone Town Center**
Lot 4, Broadstone Towne Center
Grading & Drainage Plan for Building Permit and SO-19

File: **L15-D055C**

PE Stamp: **4-29-2014**

Dear Mr. Arfman:

Based upon the information provided in your submittal received 4/29/14, the subject Grading and Drainage Plan is approved for Building Permit and SO-19.

Please attach a copy of this approved plan to the Building Permit construction sets prior to sign-off by Hydrology.

PO Box 1293

Albuquerque

New Mexico 87103


A separate Excavation/Barricading Permit is required for SO-19 construction within City ROW. A copy of this approval letter must be on hand when applying for the permit. To obtain a C.O., the storm drain work in the City ROW must be inspected and accepted. Please contact Jason Rodriguez, 857-8074, to schedule an inspection.

Prior to Certificate of Occupancy release, an Engineer's Certification of Grading on this site, will be required per the DPM checklist.

If you have questions, please email me at grolson@cabq.gov or phone 505-924-3994.

www.cabq.gov

Sincerely,

 5/5/14
Gregory R. Olson, P.E.
Senior Engineer

Orig: Drainage file: **L15/D055C**

c.pdf Addressee via Email FredA@IACivil.com

eCopy: Antoinette Baldonado, Excavation and Barricading, ABaldonado@cabq.gov
Jason Rodriguez, Street/Storm Drain Maintenance, JTRodriguez@cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Denny's Restaurant - Broadstone Town Center Building Permit #: _____ City Drainage #: L15/D0551

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lot 4, Broadstone Towne Center

City Address: _____

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman

Address: 128 Monroe Street, NE - Albuquerque, NM 87108

Phone#: (505) 268-8828 Fax#: N/A E-mail: freda@iacivil.com

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: Surv-Tek, Inc. Contact: Russ P. Hugg

Address: 9384 Valley View Drive NW - Albuquerque, NM 87114

Phone#: (505) 897-3366 Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

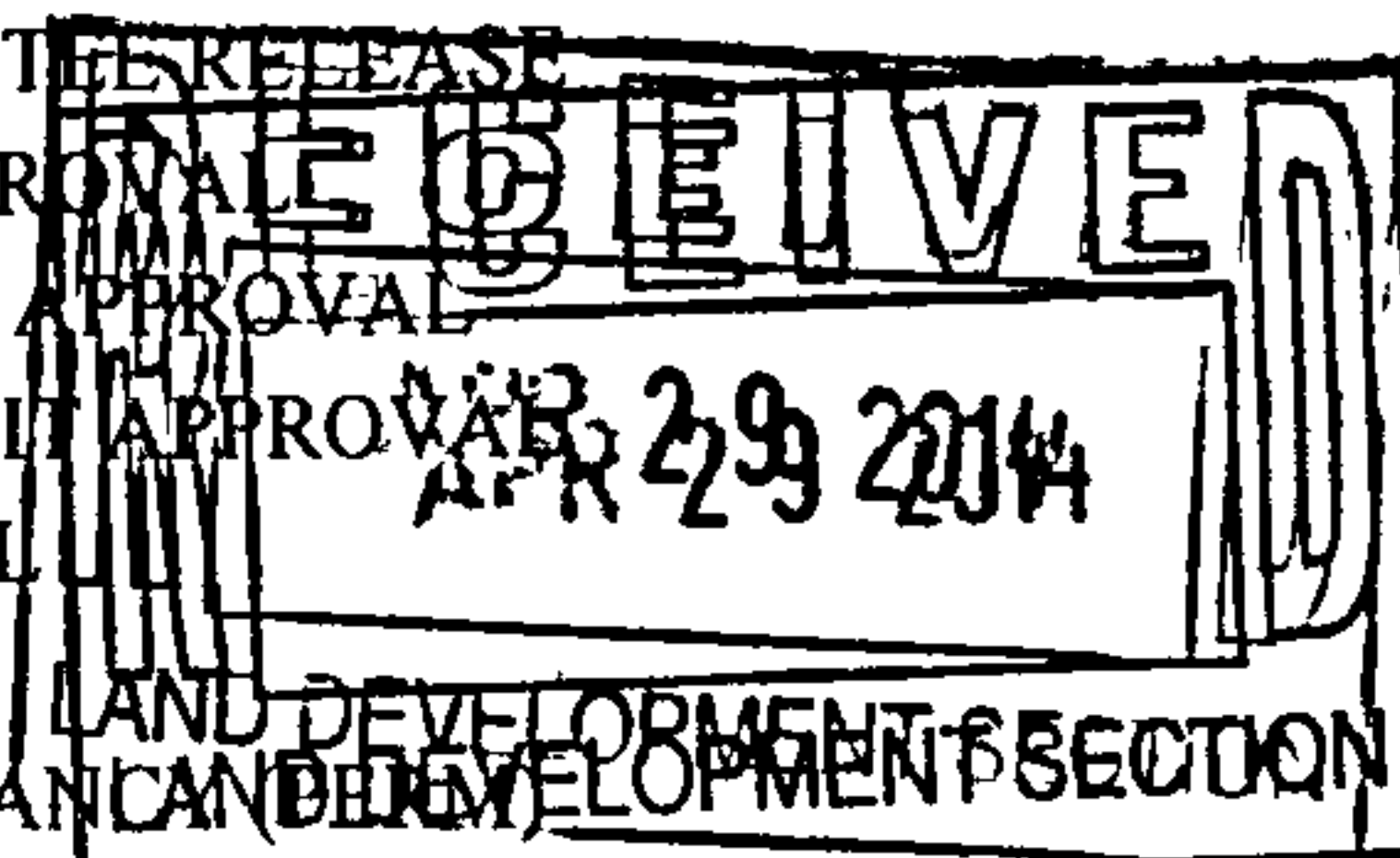
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☒ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



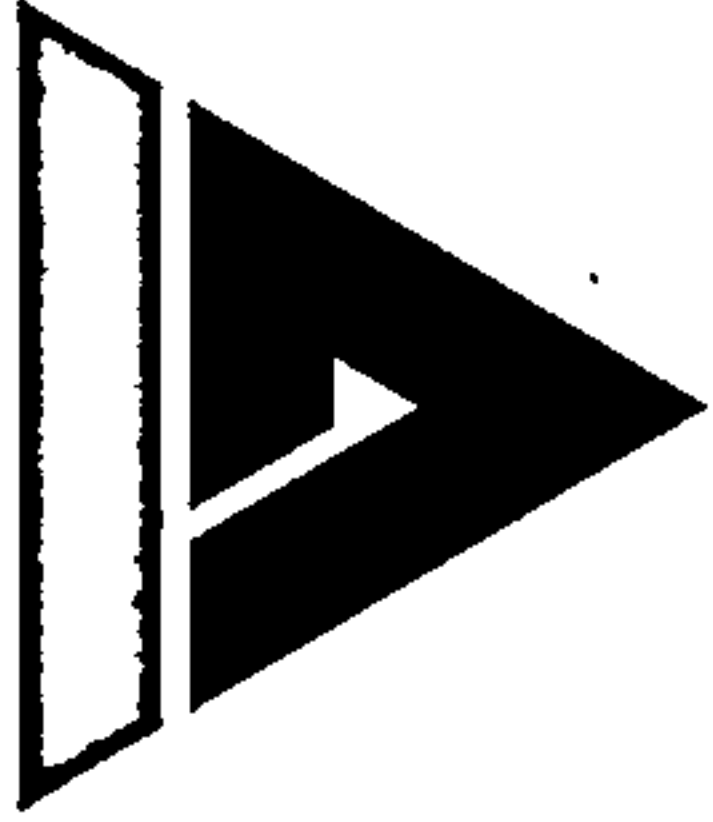
WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: April 29, 2014 By: Fred C. Arfman

for Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

Thomas O. Isaacson, PE(RET.) & LS(RET.) . Fred C. Arfman, PE . Åsa Nilsson-Weber, PE

April 29, 2014

City of Albuquerque
Planning Dept. - Hydrology
Attn: Gregory R. Olson, P.E.
Senior Engineer

RE: DENNYS RESTAURANT – BROADSTONE TOWN CENTER
L15-DO55C

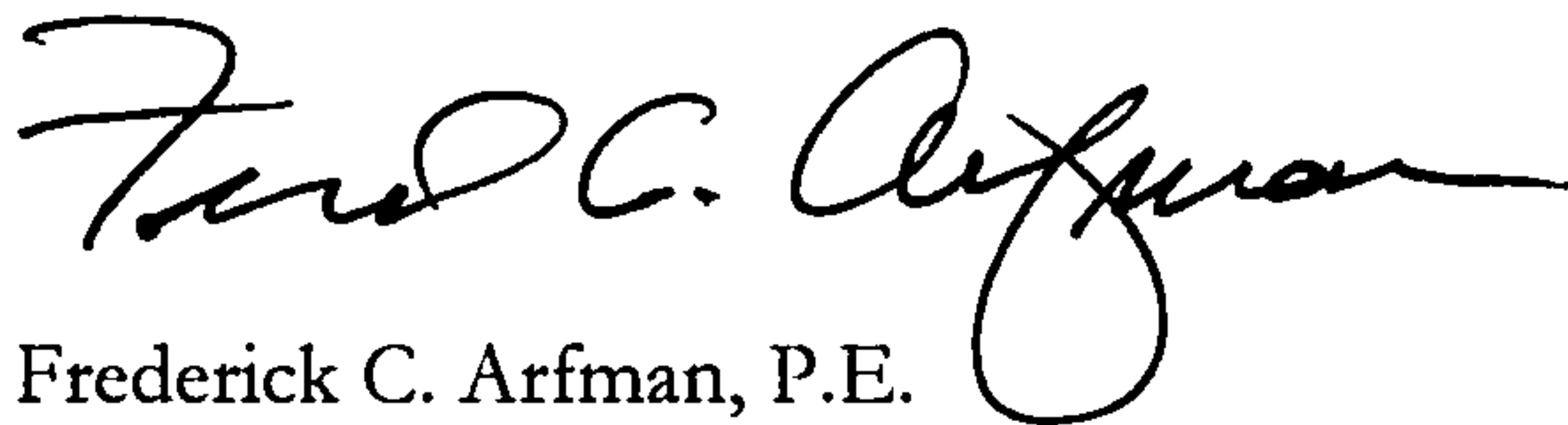
Dear Mr. Olson,

Attached with this letter are two copies of the revised Grading and Drainage Plan / Details for your review. Revisions were made based on your review comments dated April 25, 2014 as follows:

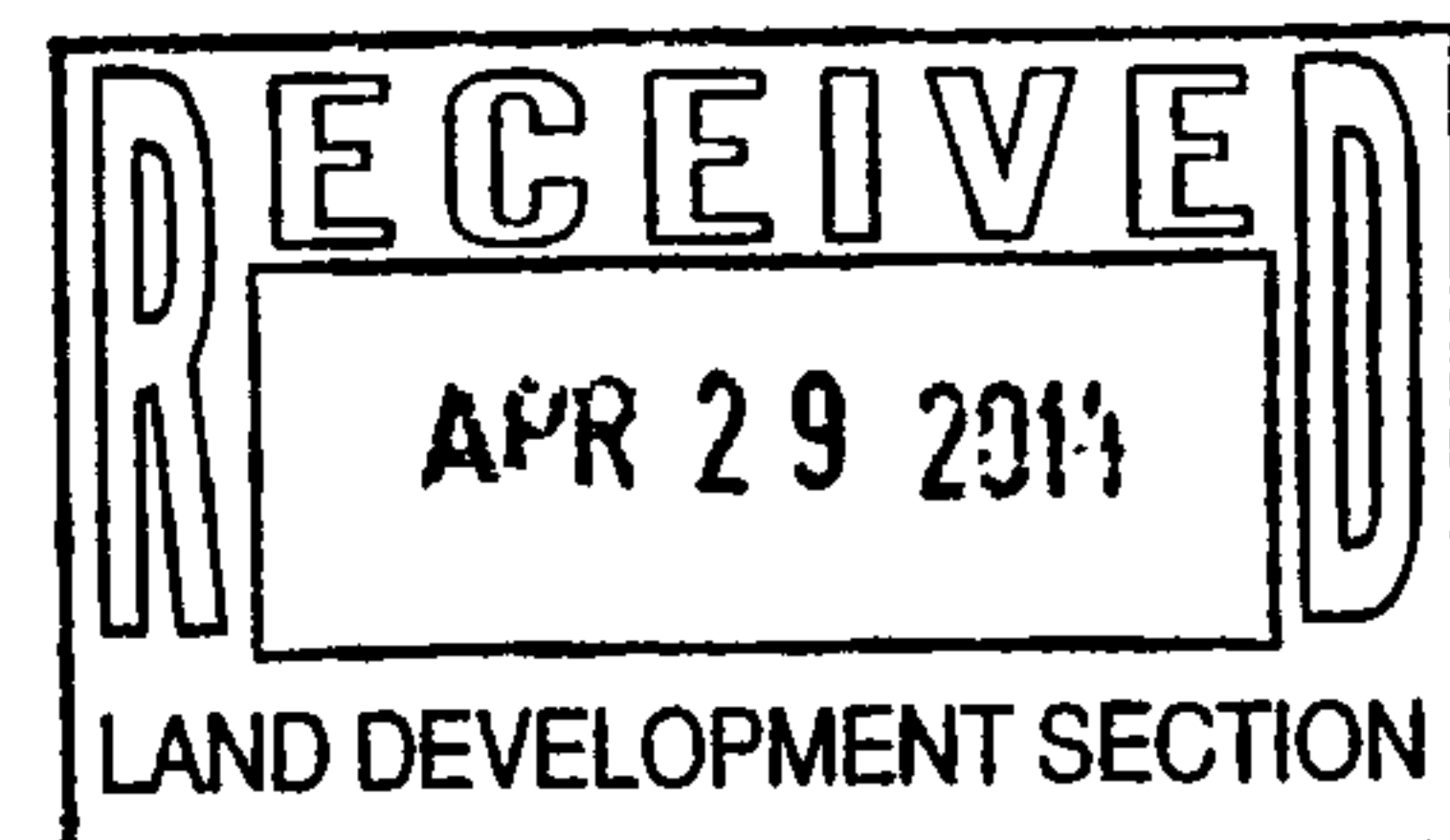
- ✓ 1. SO-19 approval block added. Keyed notes revised to include SO-19 reference.
- ✓ 2. Details on Sheet CG-501 revised to include reference to COA Std. Dwgs.
- ✓ 3. Spot elevation added at center of each depressed landscape area, legend updated to include new spot type.
- ✓ 4. The small parking island along the west curb will harvest rainwater which falls on it. The main concrete channel to the sidewalk culvert which passes flow to Towne Center Lane has been kept due to the extensive underground utilities in this area.

Please contact me at 268-8828 with any questions or comments.

Sincerely,
ISAACSON & ARFMAN P.A.


Frederick C. Arfman, P.E.

Attachments



CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



April 25, 2014

Fred Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, New Mexico 87108

Richard J. Berry, Mayor

RE: **Dennys Restaurant – Broadstone Town Center**
Grading & Drainage Plan for Building Permit and SO-19

File: **L15-D055C**
PE Stamp: **4-17-2014**

Dear Mr. Arfman:

Based upon the information provided in your submittal received 4/17/14, the subject Grading and Drainage Plan cannot be approved for Building Permit or SO-19.

Please address the following items for these approvals:

1. Please add the standard "SO-19" notes and approval block for the Roof Drains through the curb and the Sidewalk Culvert.
2. The SO-19 details on sheet CG-501 should make reference to the respective, City Standard Drawings 2235 and 2236.
3. Please add a spot elevation at the center of each of the depressed landscaped areas, to ensure harvesting occurs. Can you add note 11 and a spot elevation near the west end of the landscaping, just east of the curb cut on the east side of the west entrance?
4. In the interest of water harvesting, please try to route the west curb flows through the landscape islands, rather than past them in concrete channels.

PO Box 1293

Albuquerque

NM 87103

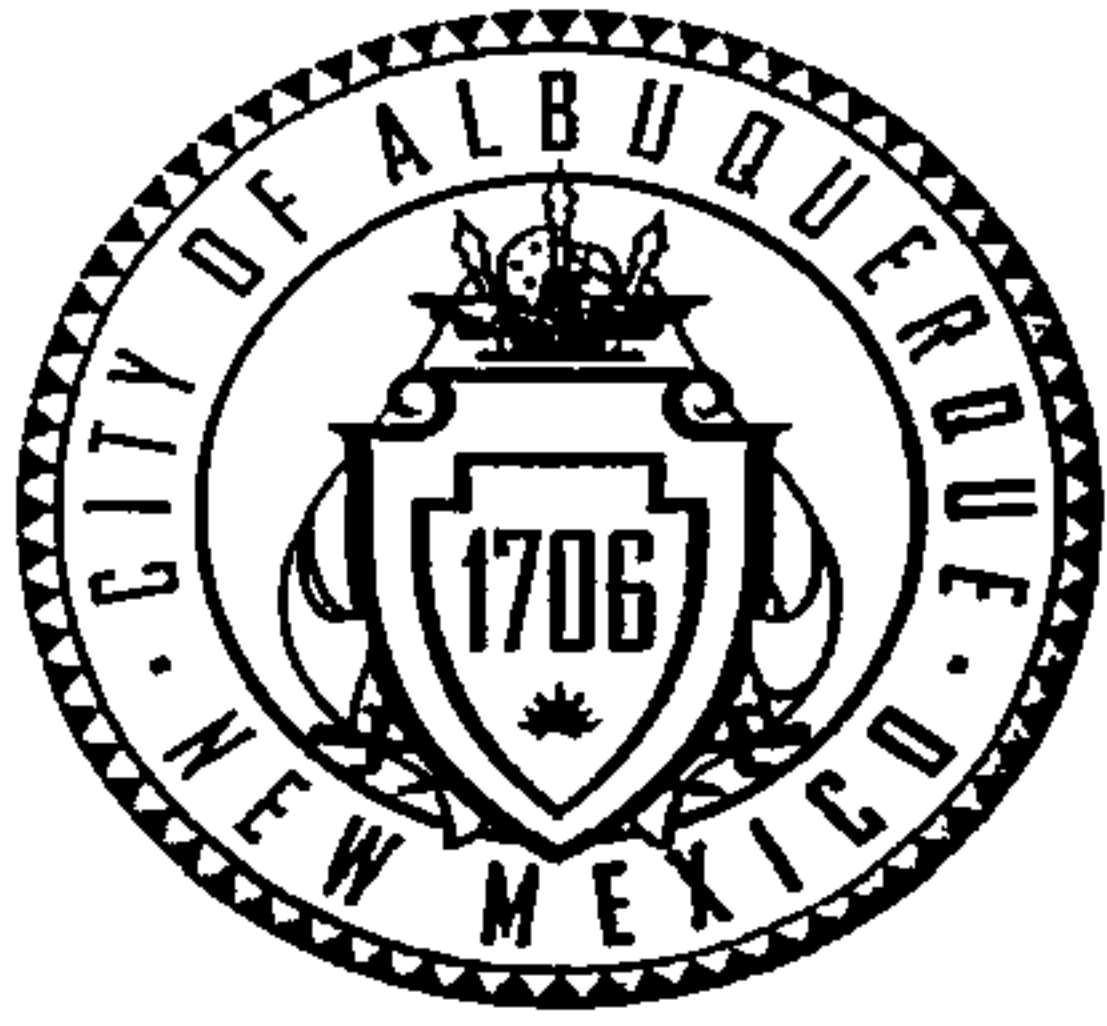
www.cabq.gov

If you have questions, please email me or telephone 505-924-3994.

Sincerely,

Gregory R. Olson, P.E.
Senior Engineer

Orig: Drainage file: **L15/D055C**
c.pdf Addressee via Email FredA@IACivil.com



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Denny's Restaurant - Broadstone Town Center Building Permit #: _____ City Drainage #: L15/D055C
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Lot 4, Broadstone Towne Center
City Address: _____

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman
Address: 128 Monroe Street, NE - Albuquerque, NM 87108
Phone#: (505) 268-8828 Fax#: N/A E-mail: freda@iacivil.com

Owner: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: Surv-Tek, Inc. Contact: Russ P. Hugg
Address: 9384 Valley View Drive NW - Albuquerque, NM 87114
Phone#: (505) 897-3366 Fax#: _____ E-mail: _____

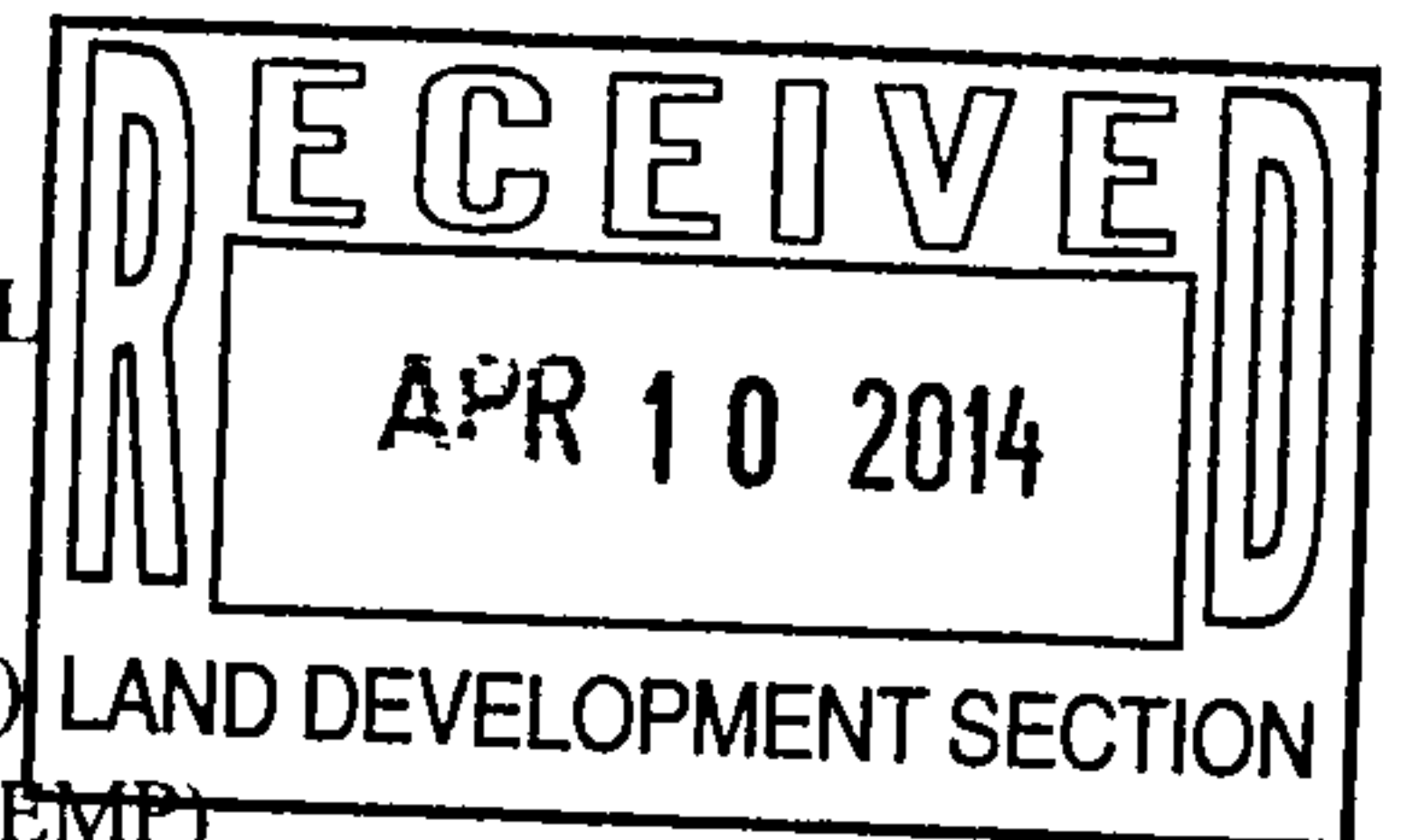
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
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- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: April 10, 2014 By: Fred C. Arfman
for Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
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4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE



January 13, 2014

Fred Arfman, P.E.
Isaacson and Arfman, P.A.
128 Monroe St NE
Albuquerque, NM 87108

**Re: Denny's-Broadstone Town Center, Grading and Drainage Plan
Engineer's Stamp Date 12-2-13 (L15D055)**

Dear Mr. Arfman,

Based upon the information provided in your submittal received 12-2-13, the above referenced plan is approved for Site Plan for Building Permit action by the DRB.

The following comment should be addressed when submitting for Building Permit:

1. The patio area on the north side of the building appears to drain over the sidewalk. This may present a slip hazard in the winter.

PO Box 1293

If you have any questions, you can contact me at 924-3986.

Albuquerque

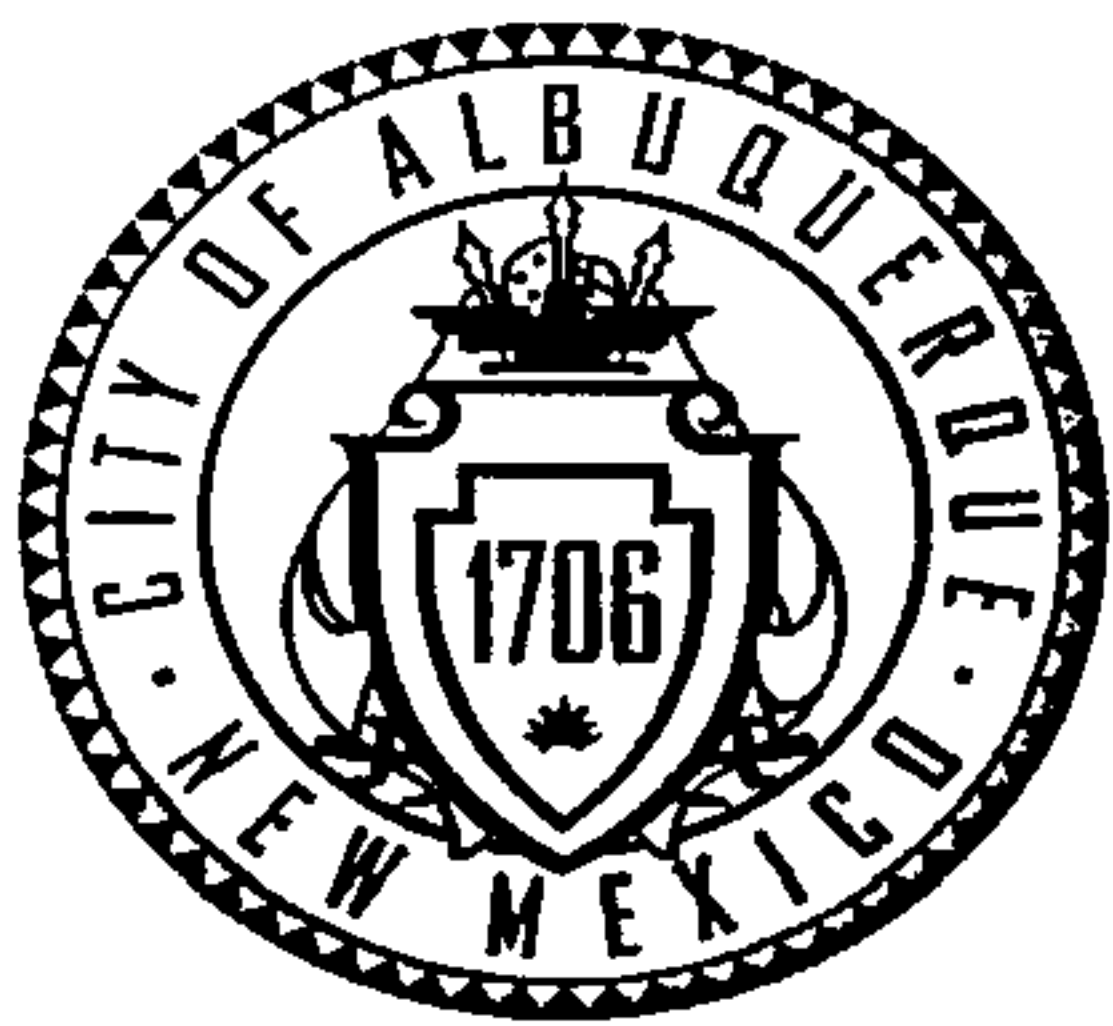
New Mexico 87103

www.cabq.gov

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: e-mail



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Denny's Restaurant Building Permit #: _____ City Drainage #: 45D055C

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lot 4, Broadstone Towne Center

City Address: _____

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman

Address: 128 Monroe Street, NE - Albuquerque, NM 87108

Phone#: (505) 268-8828 Fax#: N/A E-mail: freda@iacivil.com

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: Surv-Tek, Inc. Contact: Russ P. Hugg

Address: 9384 Valley View Drive NW - Albuquerque, NM 87114

Phone#: (505) 897-3366 Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

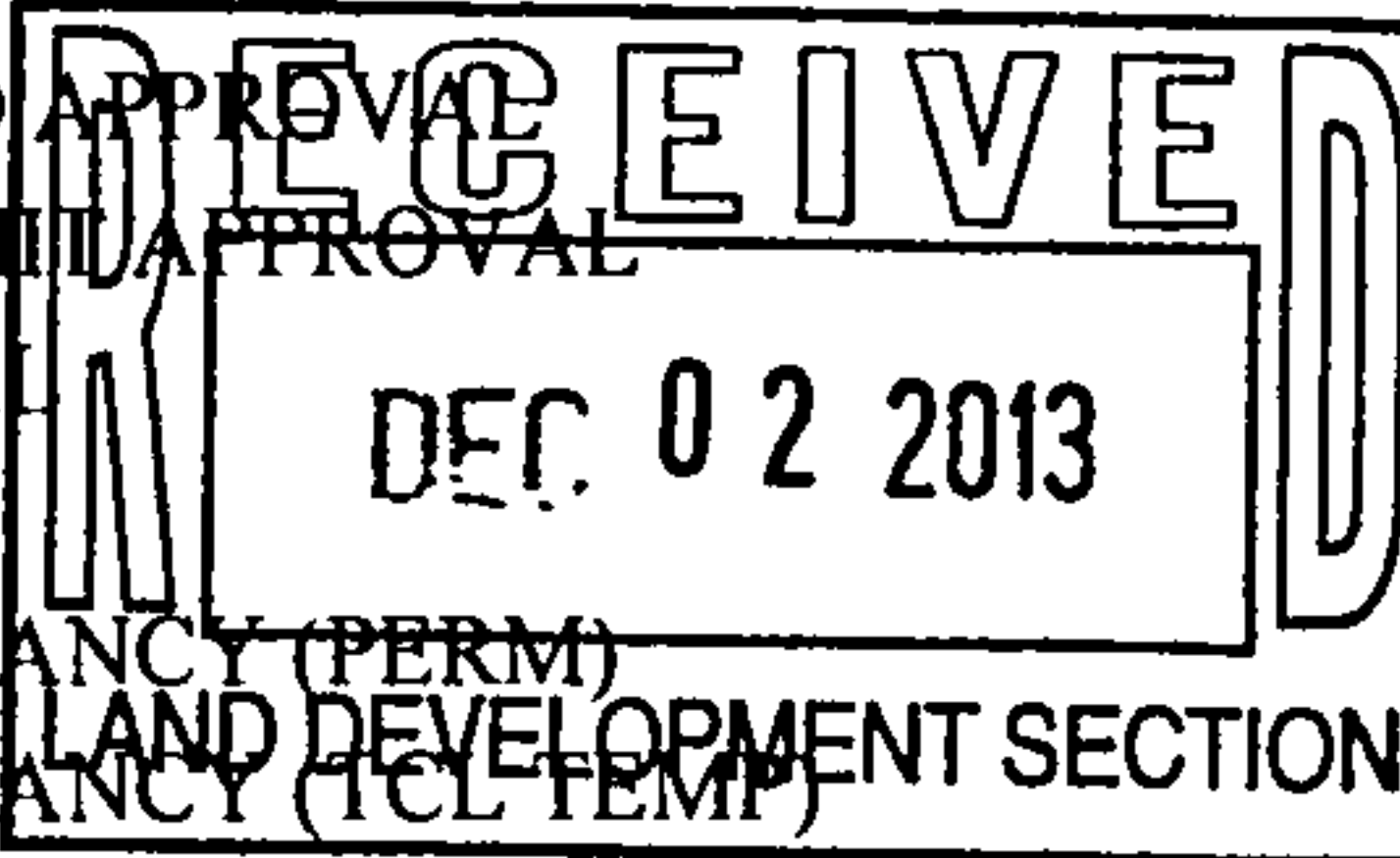
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- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: December 2, 2013 By: Fred C. Arfman

for Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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