

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

March 8, 2019

Shawn Biazar
SBS Construction & Engineering, LLC.
10209 Snowflake Ct. NW
Albuquerque, NM 87114

RE: **1105 Yale Blvd SE**
Grading Plan
Engineer's Stamp Date: 3/4/19
Hydrology File: L15D062

Dear Mr. Biazar:

Based on the submittal received on 3/5/19, the Grading Plan is approved for Plat and Building Permit. On the Plat, provide a drainage easement over the ponds and annotate using the [Plat Drainage Easement Note](#). This note replaces the need for a separate drainage covenant.

Prior to Certificate of Occupancy (For Information):

1. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required.
2. The Plat will need to be recorded (Building & Safety may require it to be recorded before issuing Building Permit though).

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 1105 YALE BLVD., SE, GRADING PLAN Building Permit #: _____ Hydrology File #: L15D062
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: LOTS 1 THRU 8, MANSOUR SUBDIVISION
City Address: 1105 YALE BLVD., SE

Applicant: SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR
Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114
Phone#: (505) 804-5013 Fax#: (505) 897-4996 E-mail: AECLLC@AOL.COM

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) ☒ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes _____ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

____ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☒ DRAINAGE REPORT
____ DRAINAGE MASTER PLAN
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ STREET LIGHT LAYOUT
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: 3-4-2019 By: SHAWN BIAZAR

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

SBS CONSTRUCTION AND ENGINEERING, LLC

March 4, 2018

Mr. Dana Peterson, PE
Senior Engineer, Planning Dept.
Development Review Services
City of Albuquerque Planning Department
PO Box 1293, 600 Second Street, NW
Albuquerque, NM 87103

RE: 1105 Yale Blvd, SE, Grading Plan, Hydrology File# L15D062

Dear Mr. Peterson;

Attached please find copy of the grading plan with the detail installation of the 54" HPPP pipe as requested. Two note were added to the grading plan. One is under general note 8 and one on the grading plan to see sheet two for detail of the pipe installation.

I hope we have addressed all of your comments regarding the grading plan. If you require additional information regarding this project, please do not hesitate to contact me at (505) 804-5013.

Sincerely,

Shawn Biazar, Managing Member

Location
This project is located at 1105 Yale Boulevard containing 0.5210 acre. See attached portion of Vicinity Map for exact location of the site.

Purpose
The purpose of this grading plan and drainage calculations is to present a grading and drainage solution for new buildings and improvement for this project.

Existing Drainage Conditions
This lot currently drains to the back to the adjacent property to the west. The site does not fall within a designated floodplain.

Proposed Conditions and On-Site Drainage Management Plan
A retaining wall will be built in the back and sides to raise the site and drain the runoff to the front. The runoff will be retained in 3-54" HPPP.

VOLUME CALCULATIONS FOR 10 DAY STORM
(UNDER PROPOSED CONDITIONS)

BASIN	AREA (SF)	AREA (AC)	AREA (MT ³)
ON-SITE	22,148.25	0.5085	0.000794

$$E = \frac{EA(AA) + EB(AB) + EC(AC) + ED(AD)}{AA + AB + AC + AD}$$

$$V-360 = E(AA + AB + AC + AD)$$

EA = 0.53
EB = 0.78
EC = 1.13
ED = 2.12

AA = 0.00%
AB = 13.00%
AC = 13.00%
AD = 84.00%

P-60 = 2.01
P-360 = 2.35
P-1440 = 2.75
P-10 Day = 3.95

E = 2.0291 IN
V-360 = 0.0860 AC-CF
AD = 0.4271 AC
V-10 Day = 0.1429 AC-FT
V-10 DAY = 6,225.69 CF

A = 1.56 CFS/AC
B = 2.28 CFS/AC
C = 3.14 CFS/AC
D = 4.70 CFS/AC

$$\text{TOTAL QP} = \text{QPAAA} + \text{QPBAB} + \text{QPCAC} + \text{QPDAD}$$

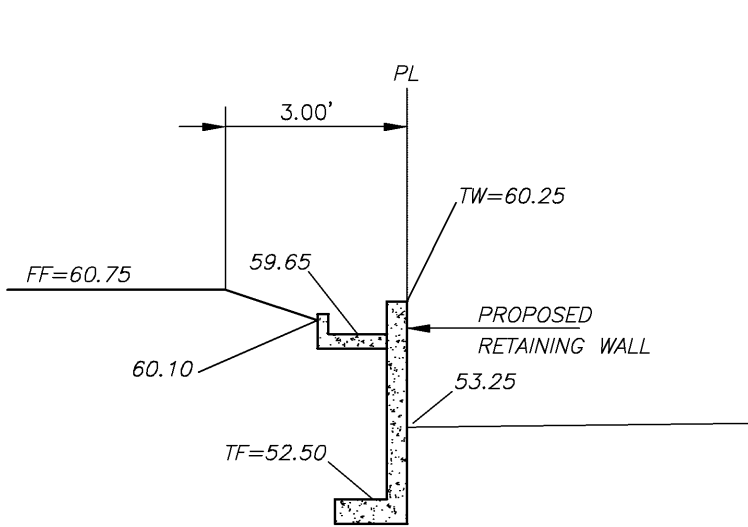
$$\text{QP} = 2.37 \text{ CFS}$$

PONDING VOLUME CALCULATION (3-54" HPPP)

$$3 \times 3.14 \times (54/24)^2 \times 131 = 6,247.23 \text{ CF}$$

GENERAL NOTES:

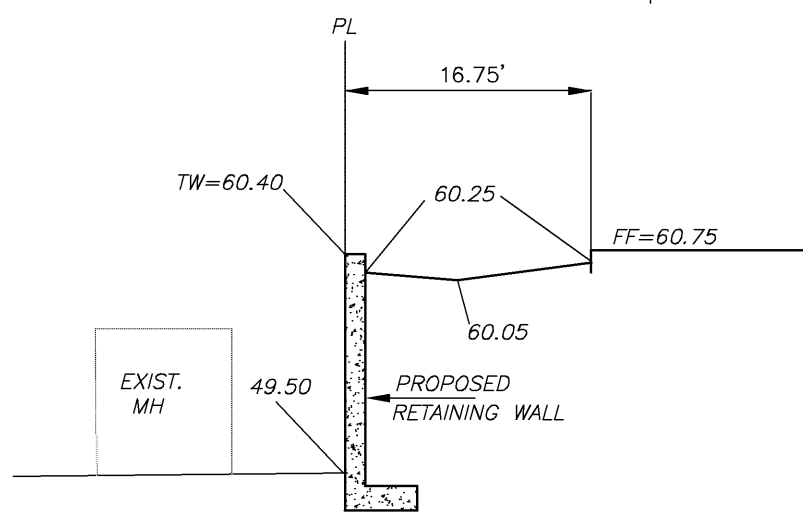
- CONTOUR INTERVAL IS HALF (1.00) FOOT.
- ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION 7-115, HAVING AN ELEVATION OF 5164.135 FEET ABOVE SEA LEVEL.
- UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CON-SIDERATIONS.
- THIS IS NOT A BOUNDARY SURVEY. BEARINGS ARE ASSUMED. DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
- SLOPES ARE AT 3:1 MAXIMUM.
- ADD 5100 TO ALL PROPOSED SPOT ELEVATIONS.
- NO WORK SHALL BE PERFORMED IN THE PUBLIC ROW WITHOUT APPROVED WORK ORDER OR EXCAVATION PERMIT.
- SEE PADE 2 OF 2 FOR DETAIL OF THE 54" HPPP PIPE INSTALLATION.



SECTION A-A

NTS

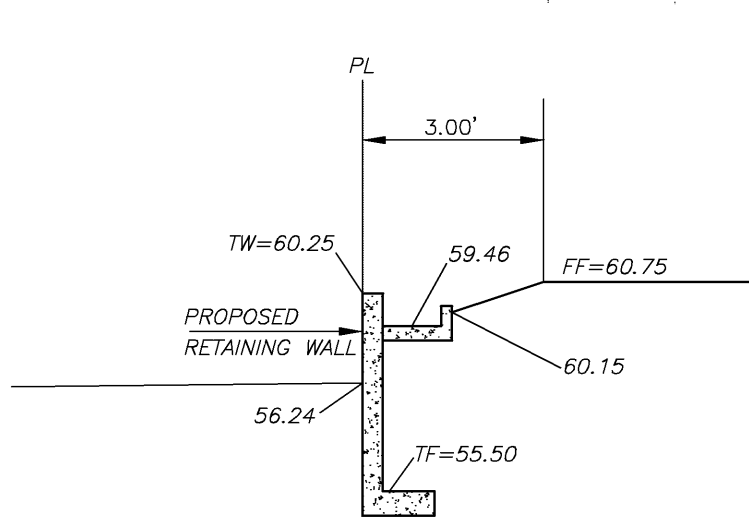
NO GRADING OR WALL CONSTRUCTION INCLUDING THE FOOTING OF RETAINING WALL IS ALLOWED ACROSS THE PROPERTY LINE.



SECTION B-B

NTS

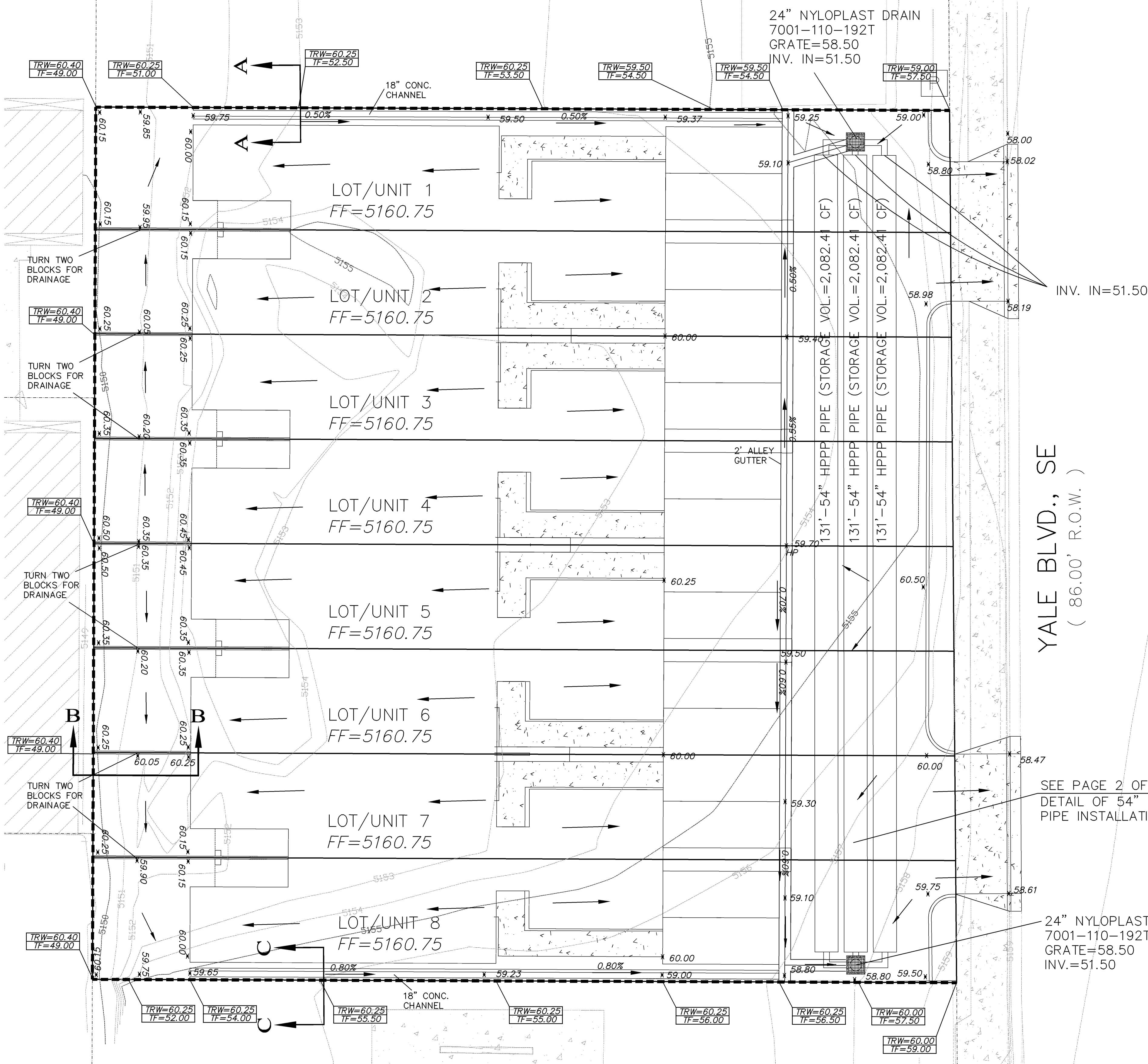
NO GRADING OR WALL CONSTRUCTION INCLUDING THE FOOTING OF RETAINING WALL IS ALLOWED ACROSS THE PROPERTY LINE.



SECTION C-C

NTS

NO GRADING OR WALL CONSTRUCTION INCLUDING THE FOOTING OF RETAINING WALL IS ALLOWED ACROSS THE PROPERTY LINE.



CHANNEL FLOW DEPTH ANALYSIS

Rectangular Channel Analysis & Design

Open Channel - Uniform flow

Worksheet Name: 1105 Yale Blvd.

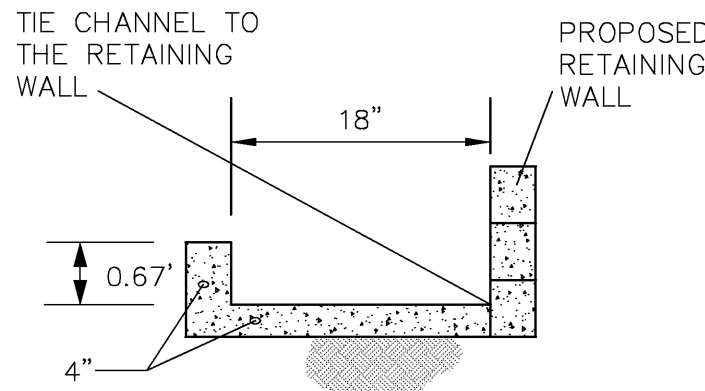
Description: 18" Wide, 8" Deep Concrete Channel

Solve For: Depth

Bottom Width...	1.50 ft	Velocity.....	3.47 fps
Manning's n...	0.013	Flow Area.....	0.684 ft ²
Channel Slope...	0.005 ft/ft	Flow Top Width...	1.50 ft
Depth.....	0.46 ft	Wetted Perimeter	2.41 ft
Discharge.....	2.37 cfs	Critical Depth...	0.43 ft
		Critical Slope...	0.0058 ft/ft
		Froude Number...	0.91

Open Channel Flow Module, Version 3.13 (c)

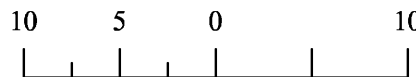
Haestad Methods, Inc. • 37 Brookside Rd • Waterbury, Ct 06708



CHANNEL SECTION

NTS

GRAPHIC SCALE

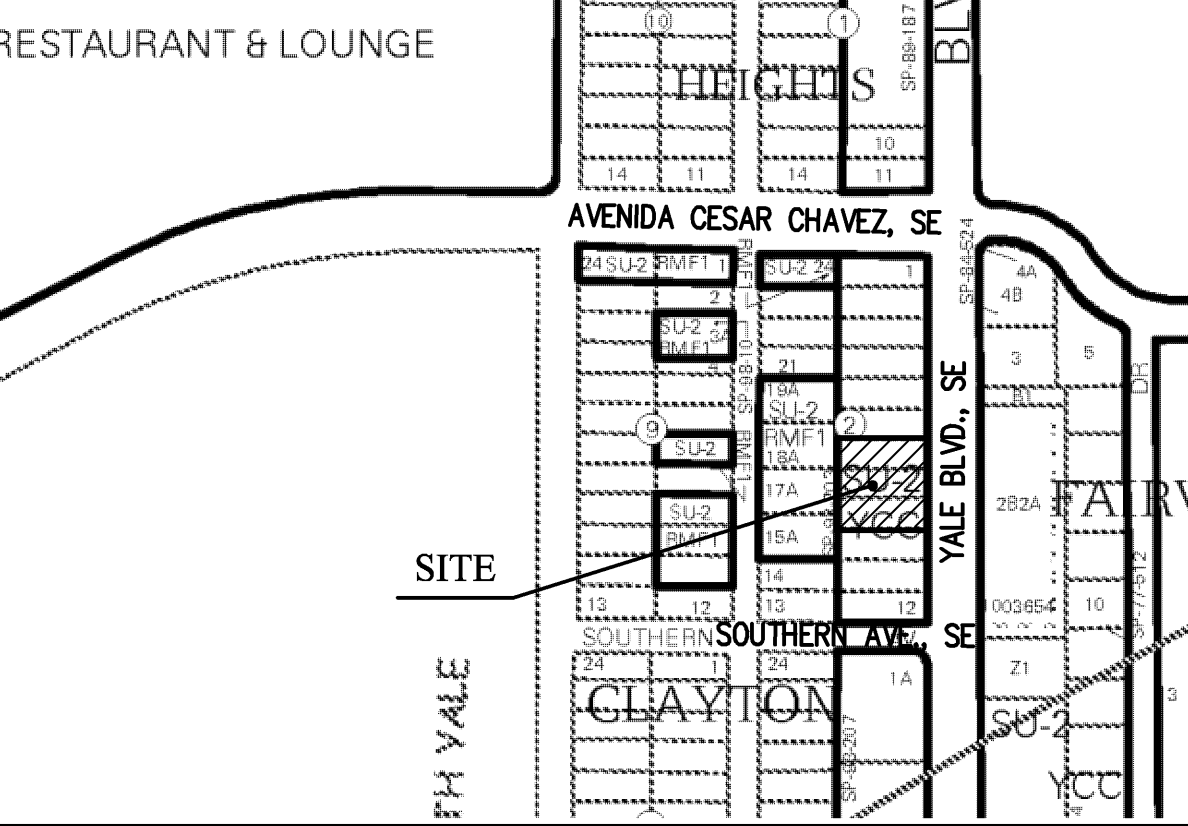


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10209 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-3570

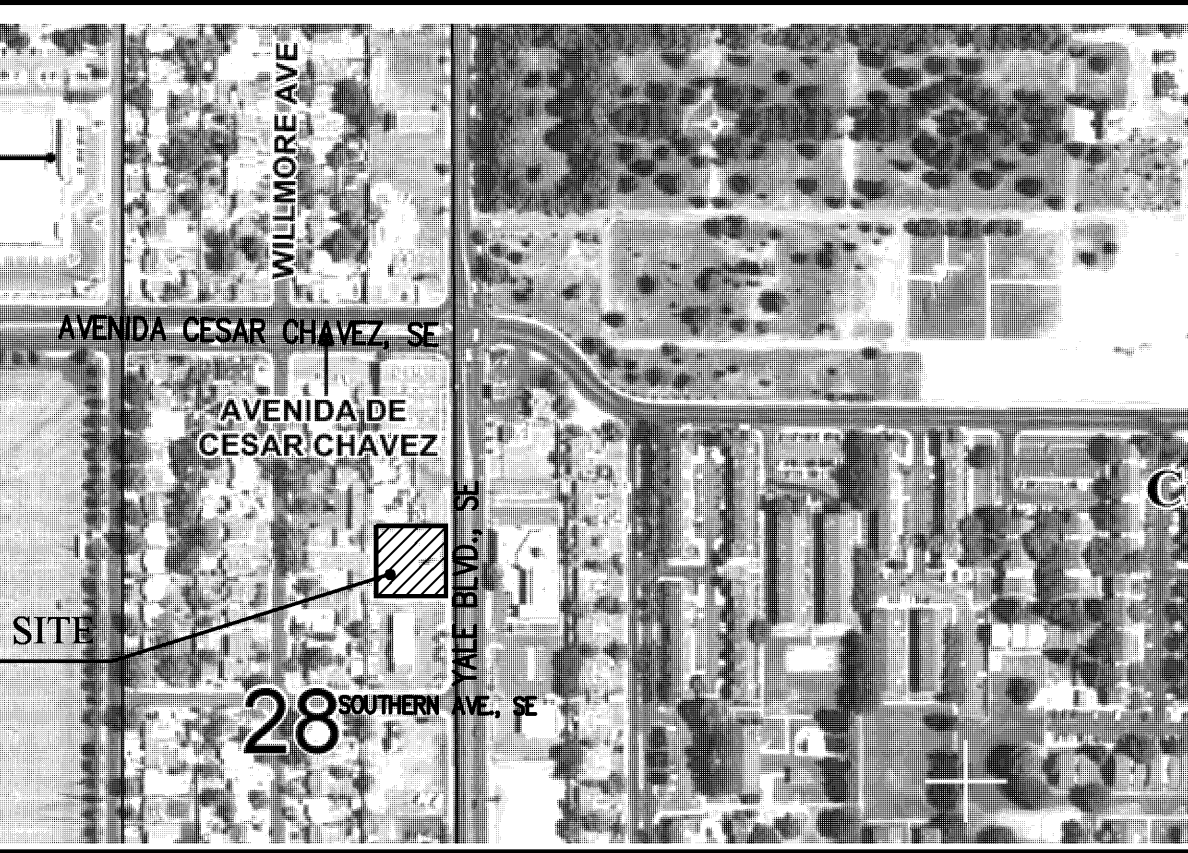
**1105 YALE BLVD., SE
GRADING PLAN**

DRAWING:	DRAWN BY:	DATE:	SHEET #
201821-GD.DWG	SH-B	07-23-2018	1 OF 2



VICINITY MAP:

L-15-Z



FIRM MAP:

DATED:

FM35001C0353H

08-16-2012

LEGAL DESCRIPTION:

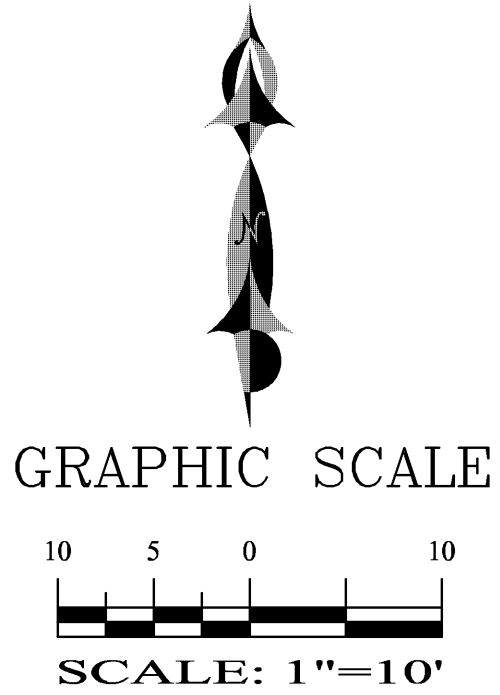
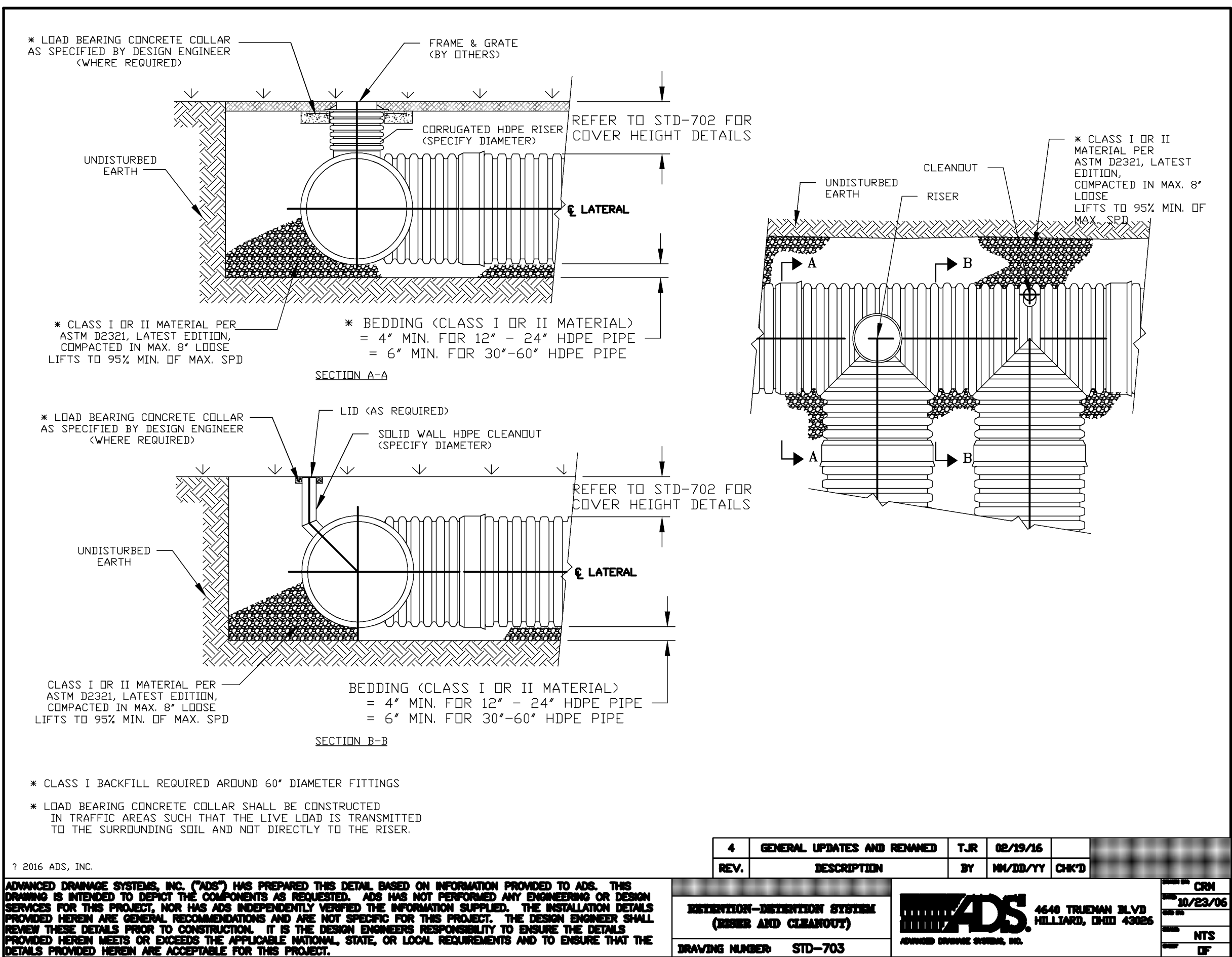
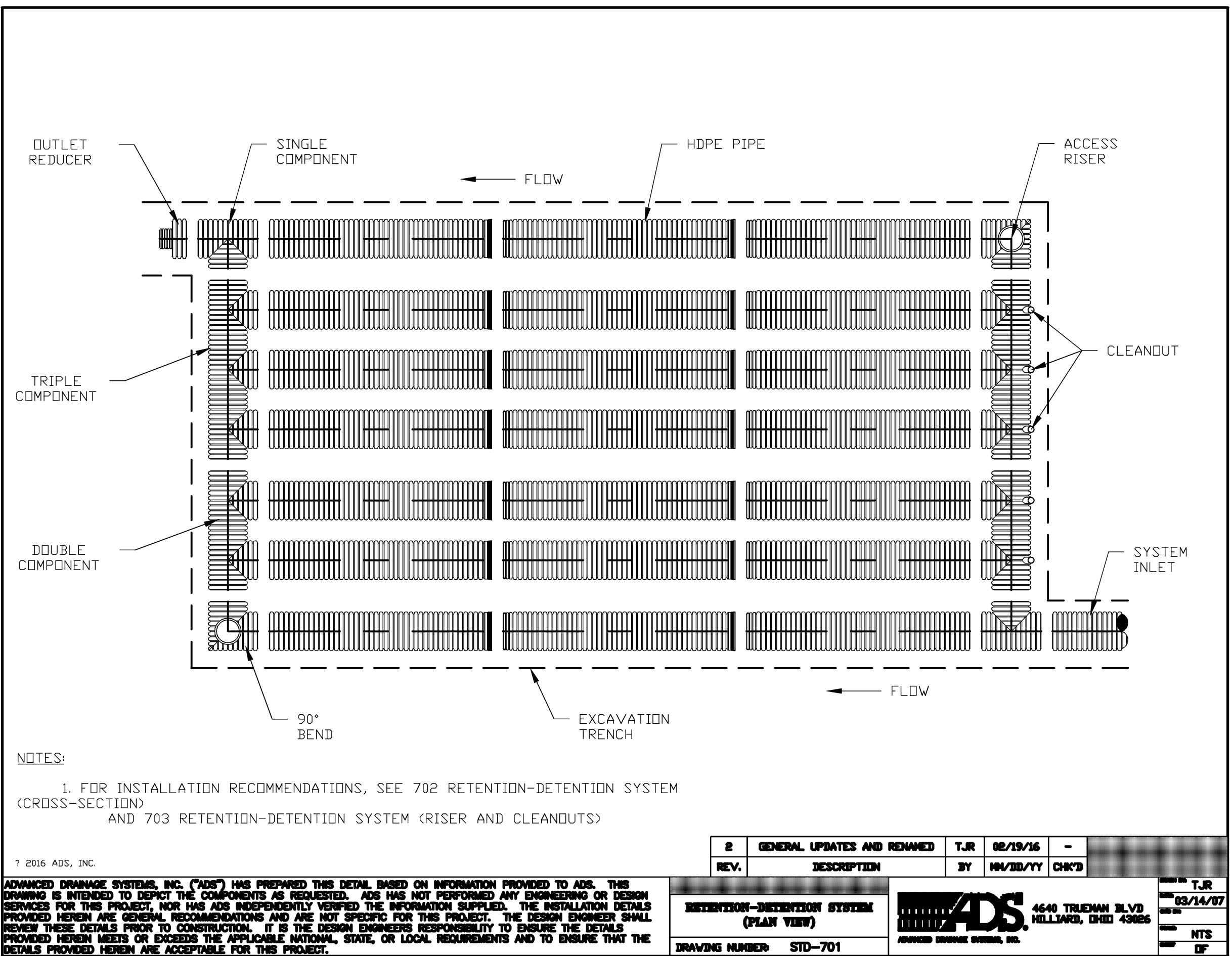
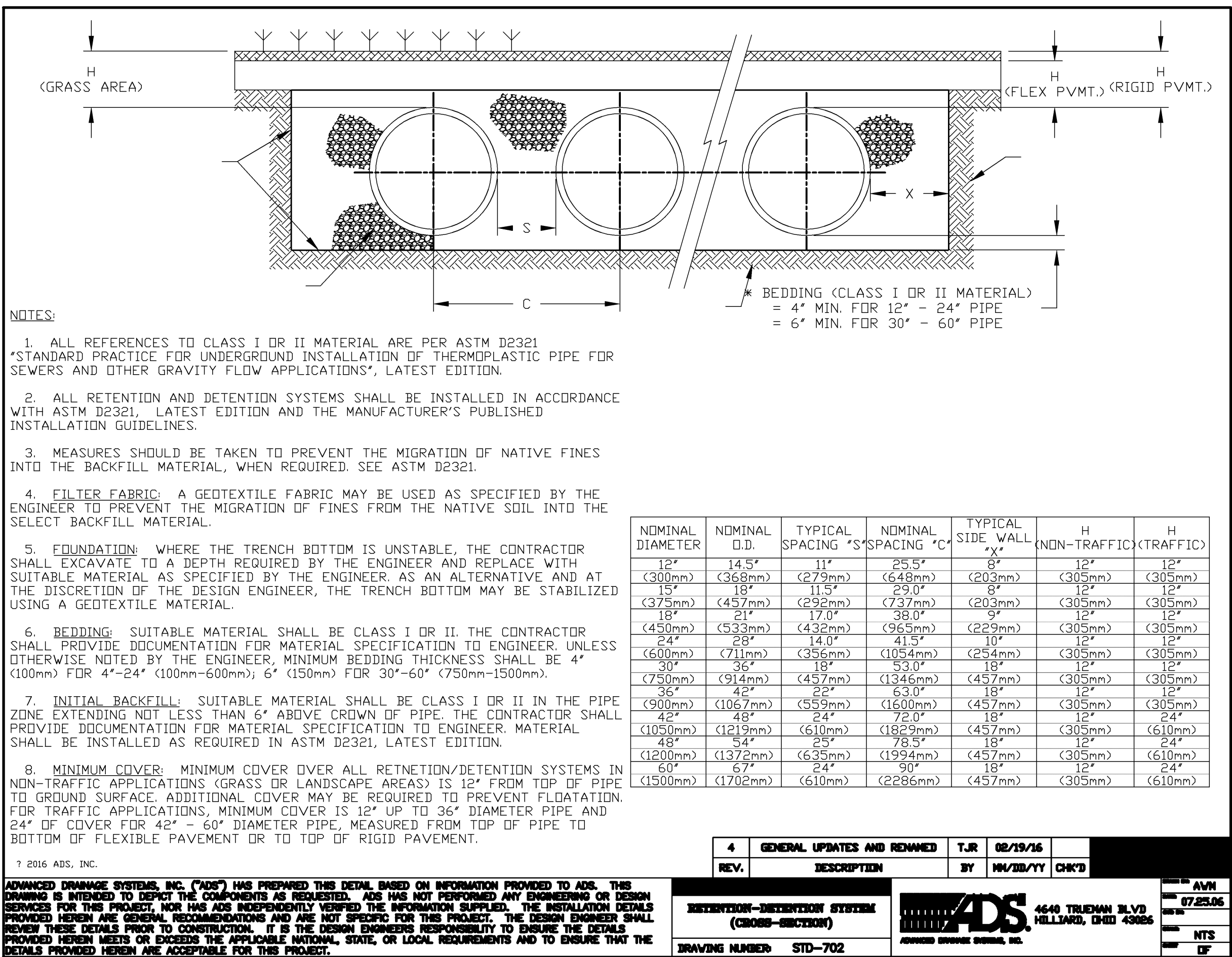
LOTS 1 THRU 8, MANSOUR SUBDIVISION.

ADDRESS: 1105 YALE BLVD., SE

LEGEND

— 5030 —	EXISTING CONTOUR (MAJOR)
— 5029 —	EXISTING CONTOUR (MINOR)
— — —	BOUNDARY LINE
✕ 42.70	PROPOSED SPOT ELEVATION
✕ 5029.16	EXISTING GRADE
✕ 5075.65	EXISTING FLOWLINE ELEVATION
	PROPOSED RETAINING WALL
BC=41.30	BOTTOM OF CHANEL
TF=42.00	TOP OF FOOTING
TRW=45.12	TOP OF RETAINING WALL
HP	HIGH POINT
42.40	AS-BUILT GRADES
✕ 5141.50	AS-BUILT SPOT ELEVATIONS
FF=5142.30	
FP=5142.25	

LAST REVISION: 9/10/2015



SBS CONSTRUCTION AND ENGINEERING, LLC

10209 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

1105 YALE BLVD., SE
HPPP PIPE INSTALLATION DETAIL

DRAWING:	DRAWN BY:	DATE:	SHEET #
201821-GD.DWG	SH-B	07-23-2018	2 OF 2