

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 13, 2023

Martin Garcia, P.E.
Anchor Engineering LLC
1035 S. Bosque Loop
Bosque Farms, NM, 87123

RE: Sandia Collision
1601 Yale Blvd SE
Permanent C.O. – Accepted
Engineer's Certification Date: 11/20/23
Engineer's Stamp Date: 05/26/22
Hydrology File: L15D063

Dear Mr. Garcia:

PO Box 1293

Based on the Certification received 11/22/2023 and site visit on 12/01/2023, this letter serves as a “green tag” from Hydrology Section for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

NM 87103

Sincerely,

www.cabq.gov

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

Drainage Narrative

THE PURPOSE OF THIS GRADING AND DRAINAGE PLAN IS TO ACCOMMODATE A NEW BUILDING ON AN AN EXISTING IMPROVED LOT LOCATED AT 1515 YALE BLVD S.E. THE SITE CURRENTLY HAS AN EXISTING OFFICE BUILDING AND PAVED PARKING, AND THE PROPOSED PLAN IS TO CONSTRUCT A NEW BUILDING AT THE SOUTHWEST CORNER OF THE LOT AND ADD A NEW CLEAR WATER POND ALONG THE WEST PROPERTY LINE.

THE SITE CURRENTLY SLOPES PRIMARILY FROM THE EAST TO THE WEST AND DISCHARGES ONTO ANDERSON AVENUE. THE SITE HISTORICALLY DRAINS TO ANDERSON AVENUE. THE PROPOSED PLAN WILL NOT ALTER THE HISTORIC DRAINAGE, EXCEPT PONDING FOR WATER QUALITY AS PER THE CITY OF ALBUQUERQUE REGULATION THAT WILL CONTROL RELEASE THROUGH THE SIDEWALK CULVERT AS SHOWN.

Drainage Calculations

Sandia Collision

Hydrology Calculations

DPM - Chapter 6
Section 6-1

Precipitation Zone	2
100 Year Storm Depth, P (360)	2.29
100 year Storm Depth, P (10 day)	3.62

Treatment Area	A	B	C	D
Excess Precipitation Factors	0.62	0.8	1.03	2.33
Peak Discharge Factors	1.71	2.36	3.05	4.34

Land Treatment Area	Acres	Existing	Proposed
Type "D" (Roof)		0.37	0.45
Type "C" (Unpaved Roadway)		0.00	0.00
Type "B" (Irrigated Lawns)		0.01	0.13
Type "A" (Undeveloped)		0.20	0.00

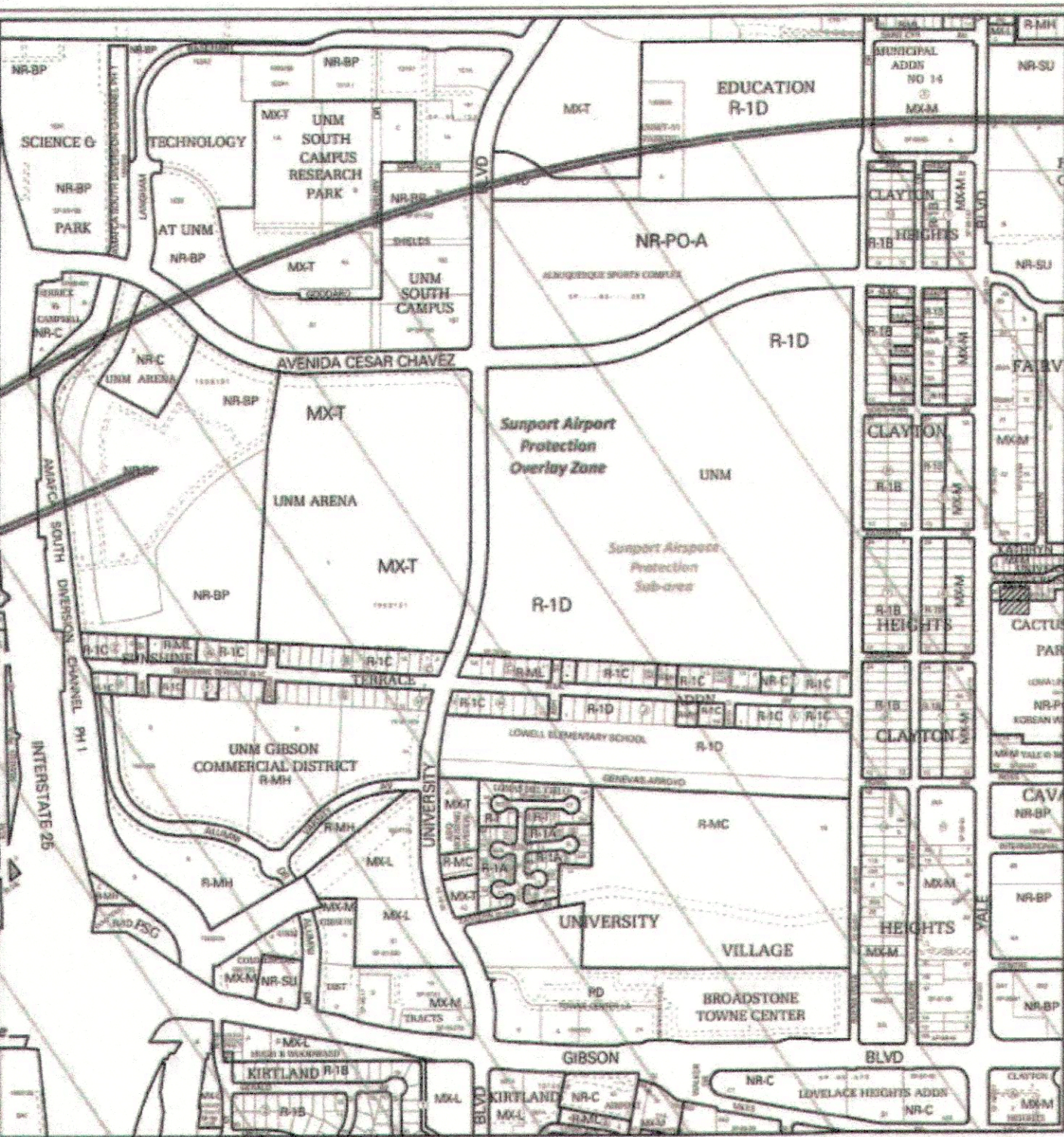
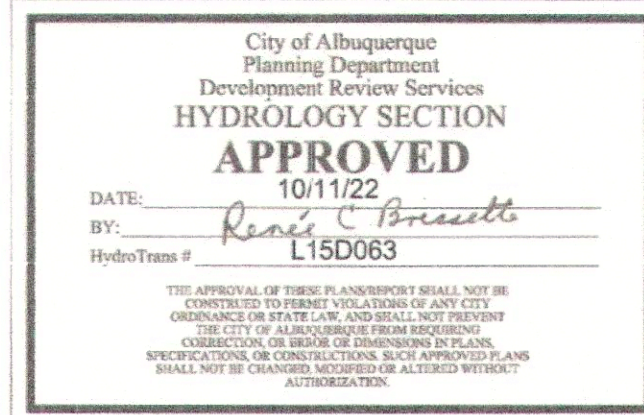
Total (Acres)	0.58	0.58
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Excess Precipitation(in)	1.71	1.99
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Volume (100), cf	3608.58	4183.58
Volume (10), cf	2417.75	2803.00
Volume (100, 10 day), cf	5394.91	6356.13
Q (100), cfs	1.97	2.26
Q (10), cfs	1.32	1.51

Private Drainage Facilities within City Right-of-Way Notice to Contractor (SO-19)

- BUILD SIDEWALK CULVERT PER COA STD DWG 2236. WORK IS PERMITTED AND INSPECTED DMD CONSTRUCTION SERVICES DIVISION.
- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" (OR (505) 260-1990) FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE 95%.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
- FOR EXCAVATION AND BARRICADING INSPECTIONS, CONTACT DMD CONSTRUCTION SERVICES DIVISION.



Elevations shown hereon are based on field work performed on October 24, 2023.

10-25-23

Correcting Elevations for points 18419

10-25-23

GRADING AND DRAINAGE PLAN

SCALE: 1" = 10'

Pond Calculations

AREA OF TYPE "D" CONDITION	19,198 SF
AREA OF 65 CONTOUR	1,821.38 SF
PROPOSED DEPTH OF POND	0.39'

*PER COA REGULATIONS, ONLY REQUIRED TO POND 0.26 OF IMPERVIOUS AREA.

19,198 x .26 = 4,991.48 / 12 = 415.96	
1,821.38 x .39 = 710.33	
POND VOLUME REQUIRED	415.96 CU FT
POND VOLUME PROVIDED	710.33 CU FT
	528.45 cu ft

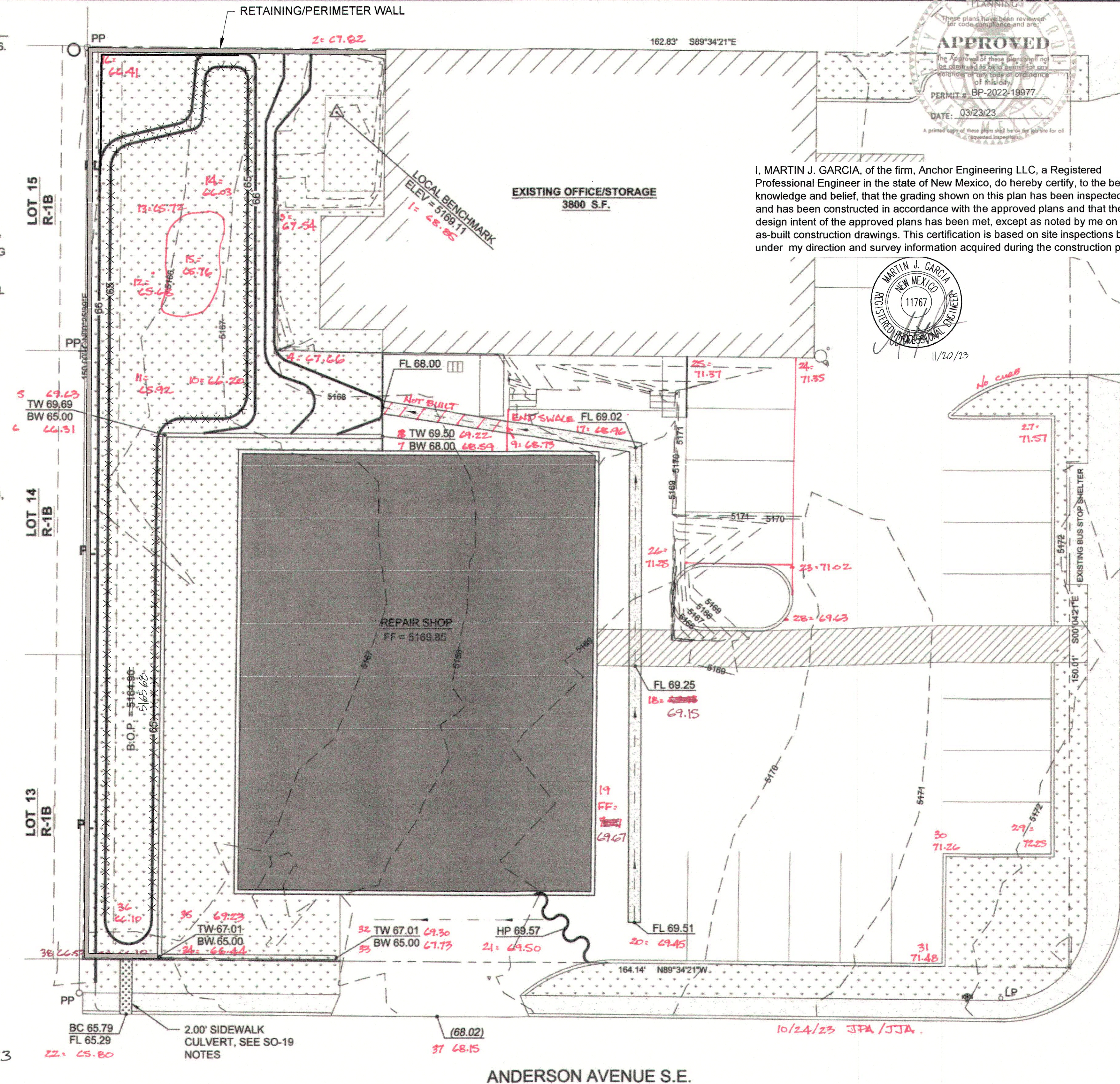
Project Benchmark

THE PROJECT BENCHMARK IS ACS BRASS CAP 7-L15 LOCATED NORTH OF THE SITE AT THE INTERSECTION OF YALE BLVD. AND KATHRYN AVE. BRASS CAP IS STAMPED "7-L15 1984"
N: 1479550.205
E: 1529067.366
Z: 5164.135

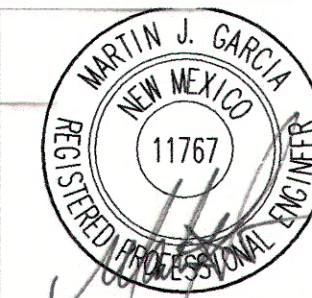
THE LOCAL BENCHMARK IS A SET NAIL WITH FLAGGING AS SHOWN
N: 1479009.093
E: 1528936.800
Z: 5169.11

Legend

EXISTING BUILDING	FF	FINISH FLOOR
EXISTING CONTOUR	TW	TOP OF WALL
EXISTING CURB	BW	BOTTOM OF WALL
NEW BUILDING	BC	BACK OF CURB
NEW CONTOUR	FL	FLOW LINE
NEW VALLEY GUTTER	HP	HIGH POINT

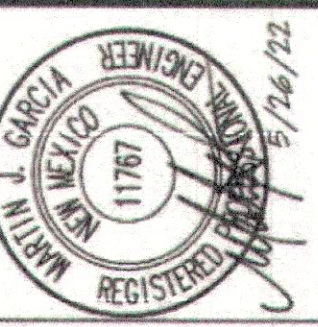


I, MARTIN J. GARCIA, of the firm, Anchor Engineering LLC, a Registered Professional Engineer in the state of New Mexico, do hereby certify, to the best of my knowledge and belief, that the grading shown on this plan has been inspected by me and has been constructed in accordance with the approved plans and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This certification is based on site inspections by me or under my direction and survey information acquired during the construction process.



0 5 10 20
1" = 10'

YALE BOULEVARD S.E.



Anchor Engineering, LLC
575 Bosque Farms Blvd. Bosque Farms, NM 87008
505.976.0885
martin@anchoreng.com

NO.	DATE	REVISIONS	COMMENTS
1	5/26/22	REVISED BUILDING LOCATION AND ADJUSTED VALLEY GUTTER, AND POND CALCULATIONS	
2	10/5/22	REVISED DRAINAGE CALCULATIONS, AND DRAINAGE NARRATIVE, ADDED SO-19 NOTES	

PROJECT NO.	22-017
DATE:	APRIL 6, 2022
DRAWN BY:	F PHILLIPS
CHECKED BY:	M GARCIA
SCALE:	1" = 10'

SANDIA COLLISION - NEW REPAIR SHOP
1515 YALE BOULEVARD S.E.
ALBUQUERQUE, NEW MEXICO

GRADING AND DRAINAGE PLAN

SHEET

C1