



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 23, 2003

Gregory Krenik, P.E.
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 87199

Re: VA Pharmacy – Phase II, 2400/2412 International Ave., Grading and Drainage Plan

Engineer's Stamp dated 10-07-03 (L16/D23D)

Dear Mr. Krenik,

Based upon the information provided in your submittal received 10-07-03, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit (SO#19) is required for construction within City Right of Way. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. Refer to the attachment that is provided with this letter for details. If you have any questions please feel free to call the Public Works Hydrology section at 768-3654 (Charles Caruso) or 768-3645 (Brian Wolfe).

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: Matt Cline, Arroyo Maintenance
Pam Lujan, Excavation Permits
Charles Caruso, Public Works Hydrology
file

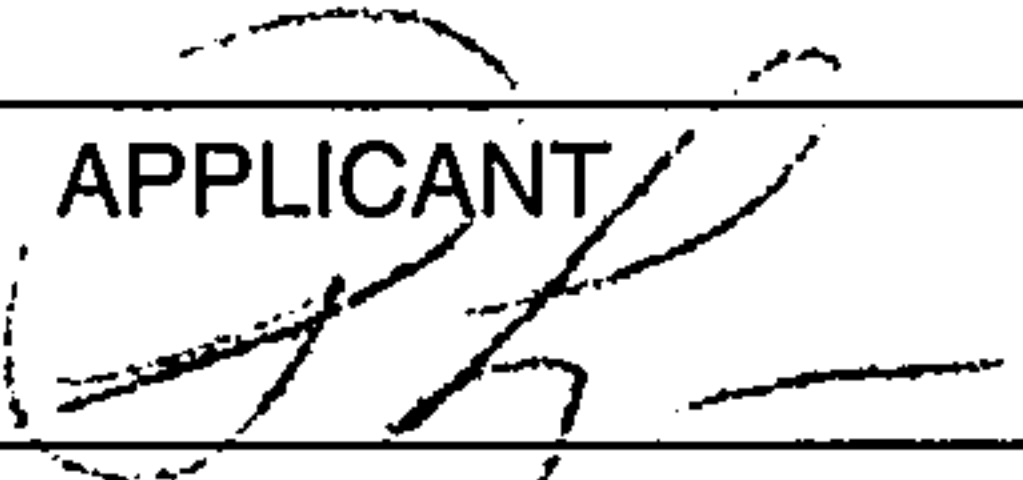
OK - per Matt Cline

L-16/D23D

CITY OF ALBUQUERQUE

10/26/04 *Marcus*
CoA SPM

PERMIT FOR EXCAVATION, CONSTRUCTION AND BARRICADING

CONTRACTOR LICENSE ADDRESS	CAMERO CONSTRUCTION		PERMIT NUMBER		2082774
	6403		PROJECT NUMBER		
	7424 2ND ST. N.W.		PERMIT ISSUE DATE		05/12/2004
	ALBUQUERQUE, NM 87107		BARRICADED BY		1322
SITE	345-1133		BLUE STAKE		CON
	2412 INTERNATIONAL AV SE		PAVING BY		
PERMIT AND DETOUR PLAN COMMENTS			EXCAVATION 443008-5810000 SIDEWALK 443012-5810000 DRIVEPAD 443011-5810000 CURB/GUTTER 443010-5810000 BARRICADING 443009-5810000 RESTORATION 443017-5810000 TOTAL FEE		
SO #19 LETTER ON FILE DATED 11/7/03 VA PHARMACY PHASE II, NO LANE CLOSURES			42.00 EX 0.00 SW 0.00 DP 0.00 CG 25.00 BR 0.00 RS 67.00		
START DATE	COMPLETION DATE	PERMIT EXPIRES	INSURANCE EXPIRES	BOND EXPIRES	ZONE ATLAS
05/13/2004	05/14/2004	05/14/2004	08/01/2004	12/31/2004	
APPLICANT  ISSUED BY			VOID UNTIL VALIDATED BY CITY TREASURER		

PERMITTEE AGREES TO ASSUME ALL LIABILITY, INCLUDING INDEMNIFYING, DEFENDING AND HOLDING THE CITY HARMLESS FOR ALL DAMAGES OR INJURY TO PERSONS OR PROPERTY RESULTING FROM PERMITTEE'S EXCAVATION AND/OR BARRICADE WORK. THIS PERMIT IS GRANTED IN CONSIDERATION OF PERMITTEE'S ASSUMING SAID LIABILITY AND IS APPROVED FOR THE WORK DESCRIBED ABOVE. IN ACCORDANCE WITH SECTION 6-5-2-1 ET SEQ. R.O. (1994), PERMITTEE AGREES TO COMPLY WITH ALL APPLICABLE CITY RULES, REGULATIONS AND ORDINANCES, AND WHEN EXCAVATING, TO PATCH OR PLATE PRIOR TO OPENING TO TRAFFIC IN ACCORDANCE WITH APPLICABLE RULES, REGULATIONS AND ORDINANCES. PLEASE CALL 924-3400 FOR ADDITIONAL INFORMATION.

CAUTION: PROTECT UNDERGROUND UTILITIES CALL 260-1990, 48 HOURS IN ADVANCE FOR LINE STAKING

PWD 003 REV 04/03

DATE EXCAVATION STARTED _____

Backfill: Started _____ Completed _____ Accepted _____

Paved Cleared _____ Site Cleared _____ Warranty Exp _____

Restoration Fee Refund Authorized Yes _____ NO _____ BY: _____

Cash Disbursement Prepared for Refund Dated _____



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

*Caruso Construction
Permit # 2082774
5/12/04*

November 7, 2003

Gregory Krenik, P.E.
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 87199

Re: VA Pharmacy – Phase II, 2400/2412 International Ave., Grading and Drainage Plan

Engineer's Stamp dated 11-07-03 (L16/D23D)

Dear Mr. Krenik,

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Sincerely,

Kristal D. Metro

CHM Engineering Associate, Planning Dept.
Development and Building Services

C: Matt Cline, Arroyo Maintenance
Pam Lujan, Excavation Permits
Charles Caruso, Public Works Hydrology
file



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 23, 2003

Gregory Krenik, P.E.
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 87199

Re: VA Pharmacy – Phase II, 2400/2412 International Ave., Grading and Drainage Plan

Engineer's Stamp dated 10-07-03 (L16/D23D)

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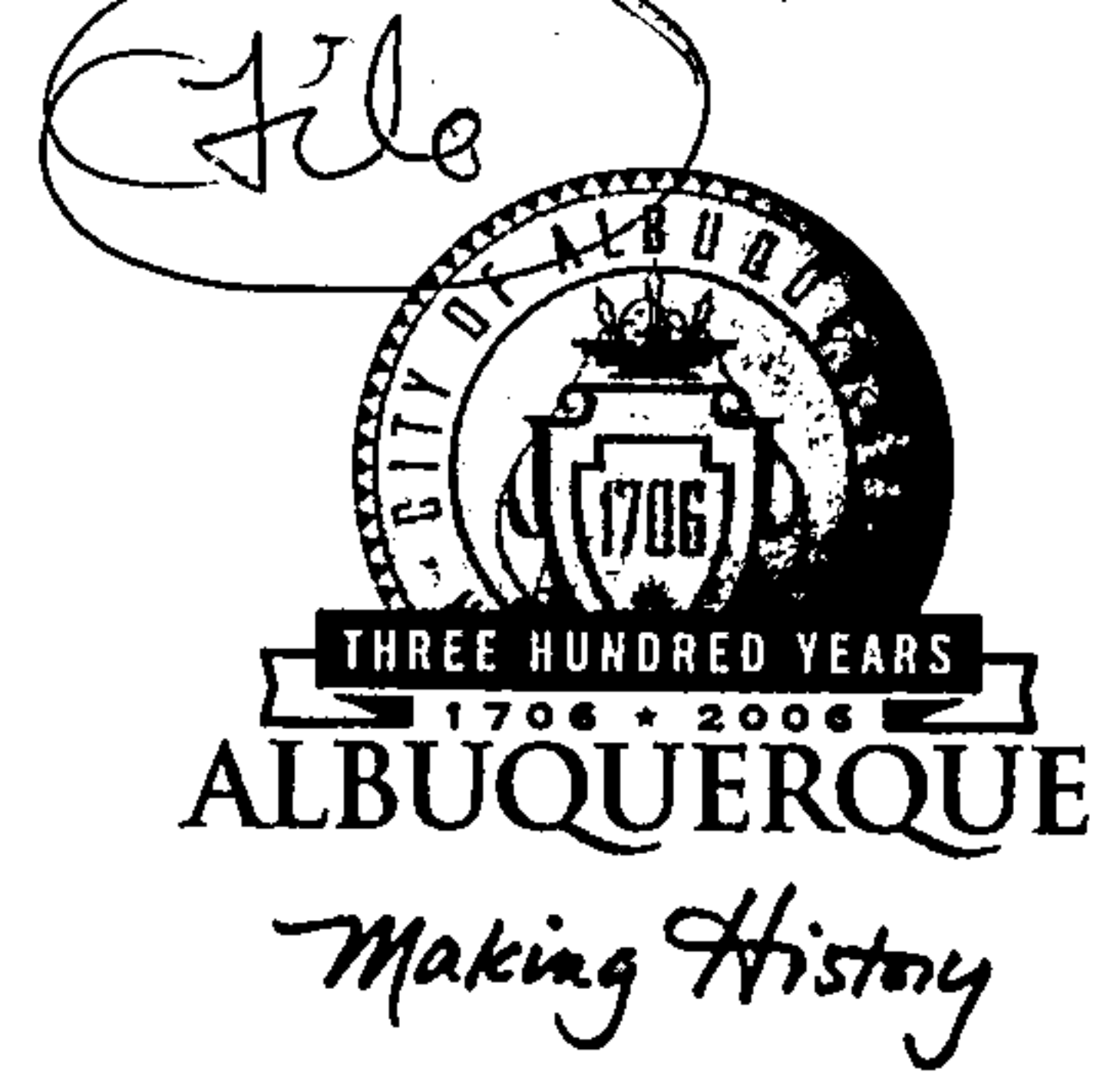
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Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: Matt Cline, Arroyo Maintenance
Pam Lujan, Excavation Permits
Charles Caruso, Public Works Hydrology
file

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

November 3, 2004

Marc E. Schiff, Registered Architect
320 Central Ave SW
Albuquerque, NM 87102

Re: Certification Submittal for Final Building Certificate of Occupancy for
VA Pharmacy Addition, [L-16 / D23D]
2412 International Ave. SE
Architect's Stamp Dated 11/03/04

Dear Mr. Schiff:

P.O. Box 1293

The TCL / Letter of Certification submitted on November 3, 2004 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

c: Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/28/2003rd)

L16/D23D

PROJECT TITLE: VA PHARMACY ADDITION ZONE MAP/DRG. FILE #: L16/D23D
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION:

CITY ADDRESS: 2401 2412 INTERNATIONAL AVE. SE, ALB., NM 87106

ENGINEERING FIRM: GOODWIN & ASSOC.
ADDRESS: P.O. BOX 90606
CITY, STATE: ALBUQUERQUE, NM 87199

CONTACT: GREG KRENK
PHONE: 505-228-2200
ZIP CODE: 87199

OWNER: MORELAND CORPORATION
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: DCSW ARCHITECTS, INC.
ADDRESS: 320 CENTRAL AVE SW
CITY, STATE: ALBUQUERQUE, NM

CONTACT: LOUIE MARTINEZ
PHONE: 505-963-9639
ZIP CODE: 87102

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

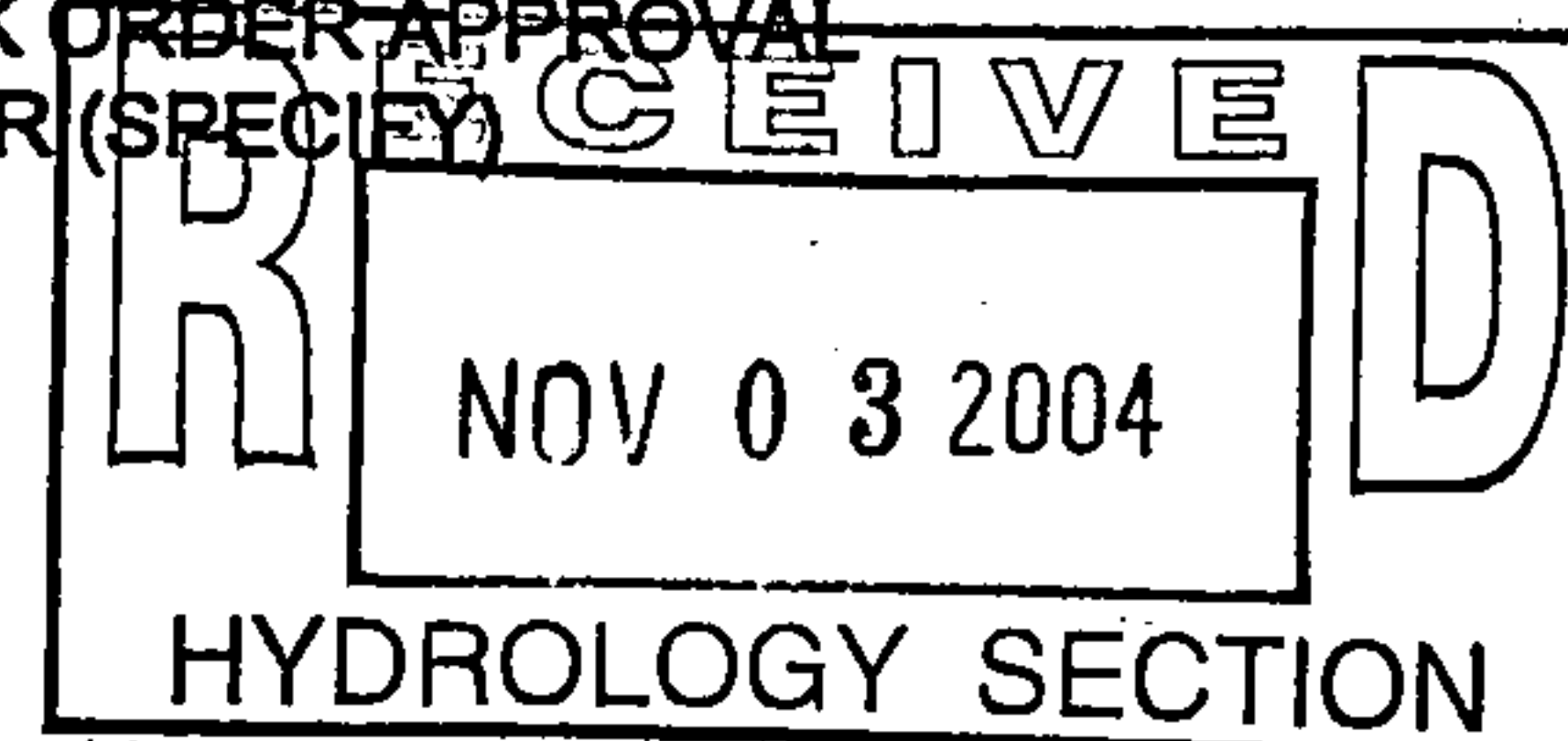
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 11/03/04 BY: Loe J. Martinez

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



November 3, 2004

Mr. Nelo Selgado
Building Department - Transportation
City of Albuquerque

**DESIGN COLLABORATIVE
SOUTHWEST, INC.**

Marc E. Schiff AIA
Principal
Architect / Interior Designer

J. David Dekker AIA
Principal / Architect

Robert Gerard Heiser AIA
Principal
Architect / Interior Designer

Del L. Dixon
Principal / Architect

Richard Braun AIA
Principal / Architect

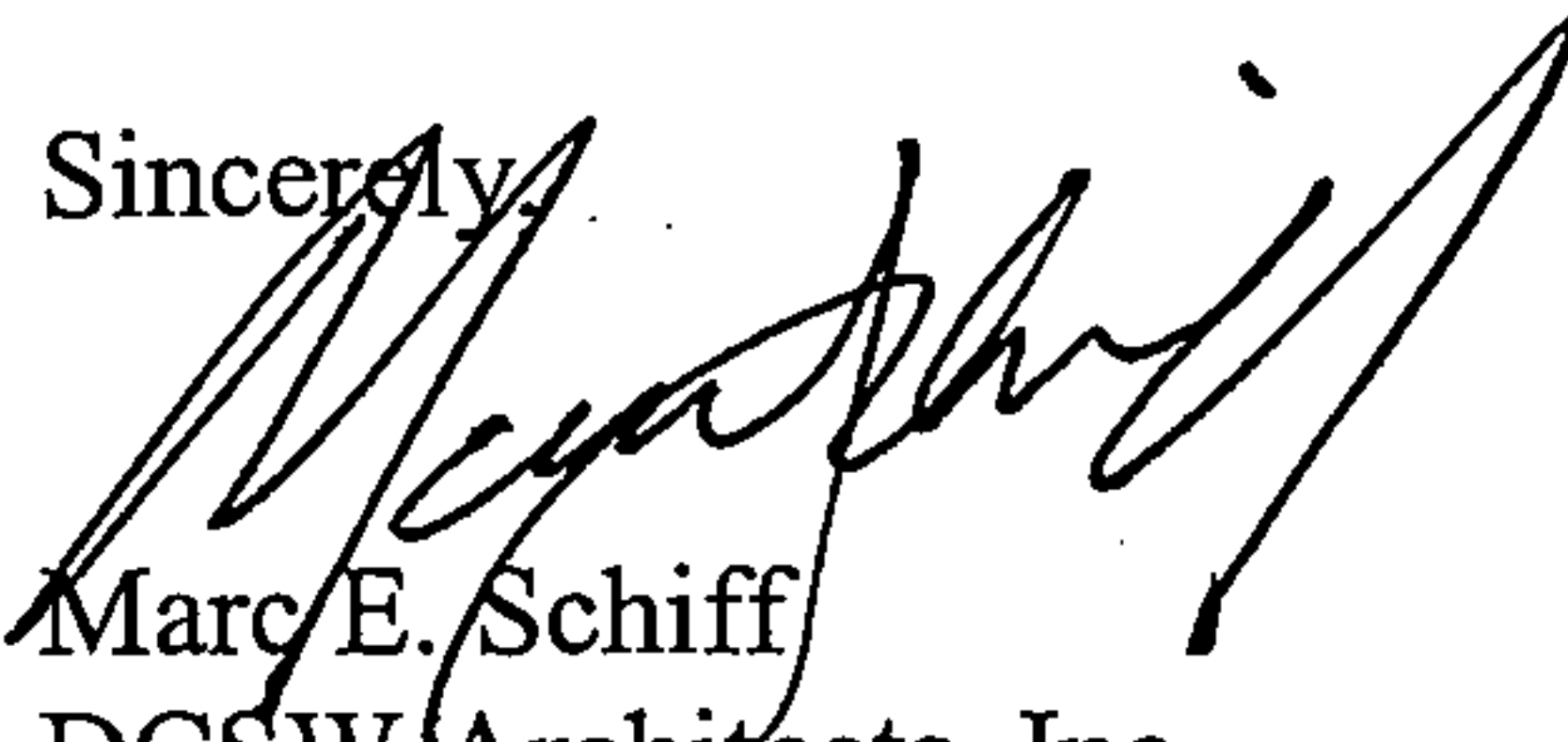
**Re: Letter of Certification
Project No. 727781
VA Pharmacy Addition
2412 International Ave. SE
Albuquerque, NM 87106**

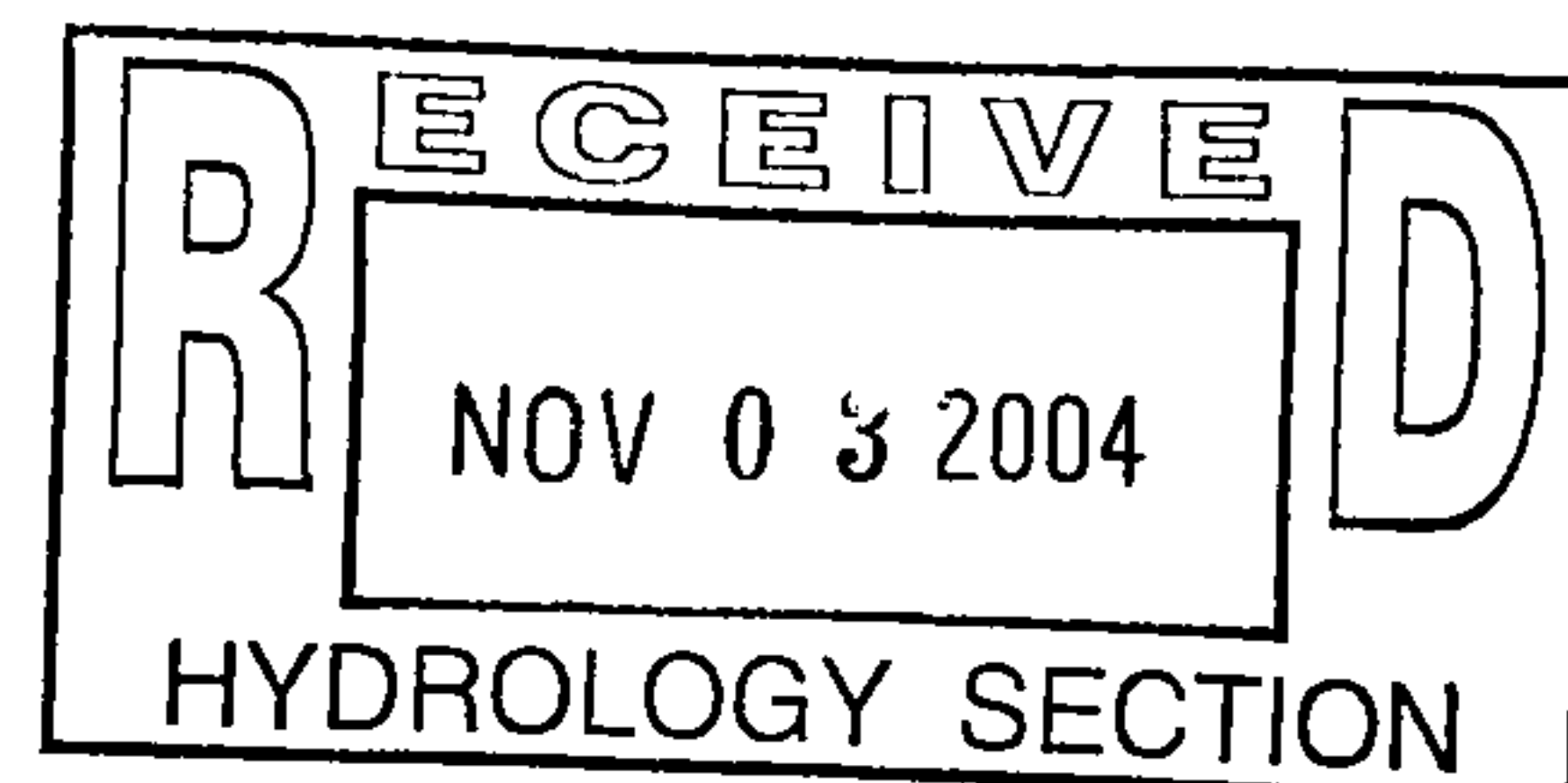
Dear Mr. Selgado:

In regards to the above referenced project we are writing this letter of certification to demonstrate our belief that the project has reached a level of substantial compliance. We are also submitting a copy of the approved Site Plan for your records.

Thank you for your attention in this matter.

Sincerely,


Marc E. Schiff
DCSW Architects, Inc.
Agent for the Moreland Corporation



\\Server-2600-1\\Projects\\0317 Moreland VA Cooperative Studies in ABQ\\01-Correspondence\\3-Government, Service, Utilities\\3.02 City, County\\041103 Selgado - Letter of Certification.doc

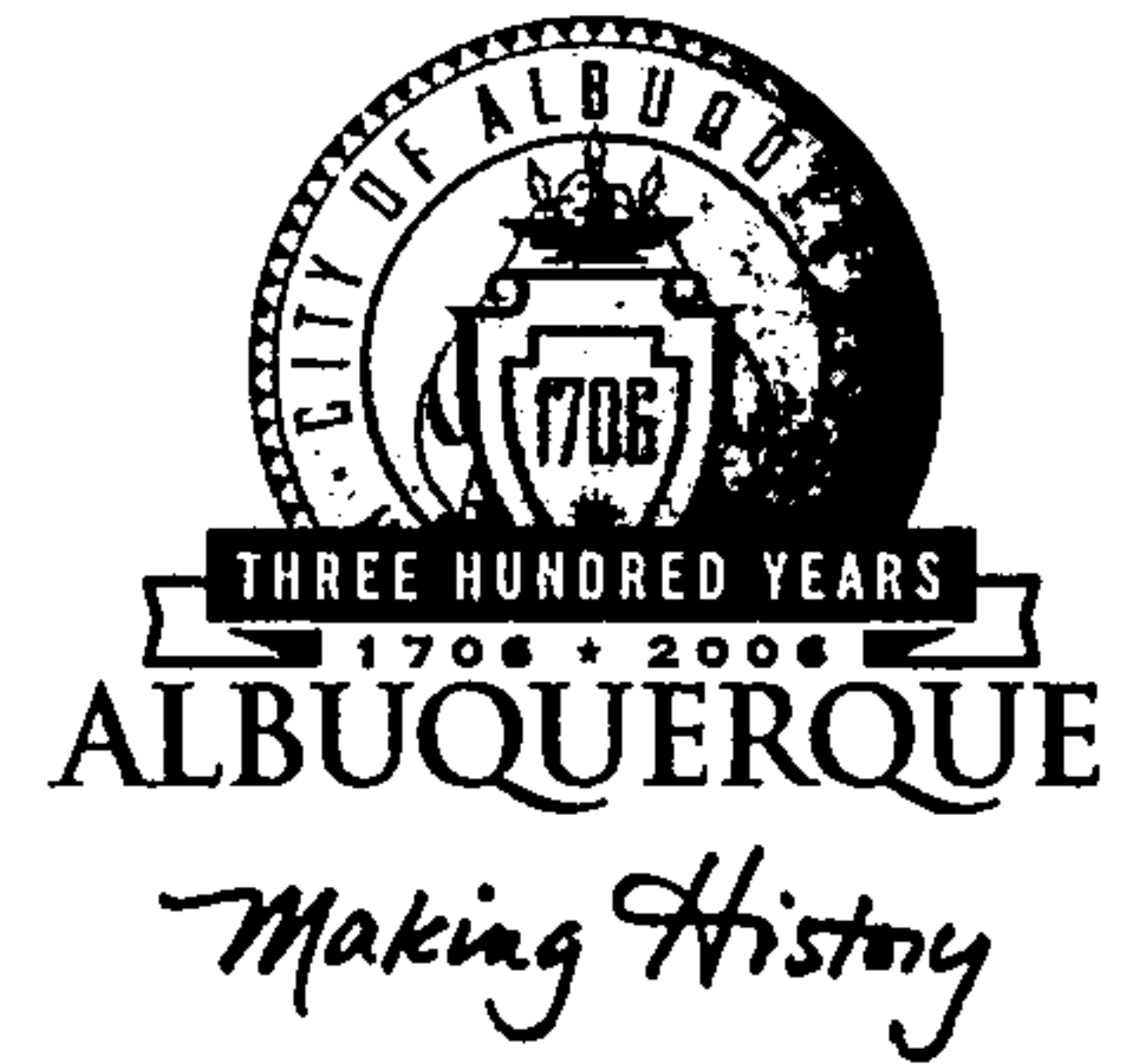
Albuquerque
320 Central Ave. SW
Albuquerque, NM 87102
505.843.9639
Fax.505.843.9683

Santa Fe
130 Grant Ave., Suite 102
Santa Fe, NM 87501
505.982.7191
Fax.505.982.0585

Dallas
2930 Commerce St.
Dallas, TX 75226
214.748.3081
Fax.214.748.3383

Web Site
www.dcswarehitects.com
E Mail
dcsw@dcswarchitects.com

CITY OF ALBUQUERQUE



October 26, 2004

Mr. Greg Krenik, P.E.
MARK GOODWIN & ASSOCIATES
P.O. Box 90606
Albuquerque, NM 87199

Re: VA PHARMACIES, PHASE II
2400/2412 INTERNATIONAL AVENUE SE
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 11/03/2003 (L-16/D23D)
Certification dated 10/13/2004

P.O. Box 1293

Dear Greg,

Albuquerque

Based upon the information provided in your submittal received 10/26/2004, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology

New Mexico 87103

If you have any questions, you can contact me at 924-3982.

www.cabq.gov

Sincerely,

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

C: Phyllis Villanueva
File`

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/28/2003rd)

PROJECT TITLE:	VA Pharmacy - Phase II	ZONE MAP/DRG #:	L-16
DRB#:	100 2873	EPC #:	03 EAC-01324
LEGAL DESCRIPTION:	Tract 5A, Cavan Sunport Center		
CITY ADDRESS:			
ENGINEERING FIRM:	Mark Goodwin & Associates, PA	CONTACT:	
ADDRESS:	PO Box 90606	PHONE:	828-2200
CITY, STATE:	Albuquerque, NM	ZIP CODE:	87199
OWNER:	Veterans Administration	CONTACT:	Marc E. Schiff
ADDRESS:	320 Central SW	PHONE:	843-9639
CITY, STATE:	Albuquerque, NM 87102	ZIP CODE:	87102
ARCHITECT:	DCSW, INC	CONTACT:	Marc E. Schiff
ADDRESS:	320 Central SW	PHONE:	843-9639
CITY, STATE:	Albuquerque, NM 87102	ZIP CODE:	87102
SURVEYOR:		CONTACT:	
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	
CONTRACTOR:		CONTACT:	
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	

CHECK TYPE OF SUBMITTAL:

<input type="checkbox"/>	DRAINAGE REPORT
<input type="checkbox"/>	DRAINAGE PLAN 1 ST SUBMITTAL, req. TCL or equal
<input type="checkbox"/>	DRAINAGE PLAN RESUBMITTAL
<input type="checkbox"/>	CONCEPTUAL GRADING & DRAINAGE PLAN
<input type="checkbox"/>	GRADING PLAN
<input type="checkbox"/>	EROSION CONTROL PLAN
<input checked="" type="checkbox"/>	ENGINEER'S CERTIFICATION (HYDROLOGY)
<input type="checkbox"/>	CLOMR/LOMR
<input type="checkbox"/>	TRAFFIC CIRCULATION LAYOUT (TCL)
<input type="checkbox"/>	ENGINEER'S CERTIFICATION (TCL)
<input type="checkbox"/>	ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
<input type="checkbox"/>	OTHER

Seal was not on previous submittal

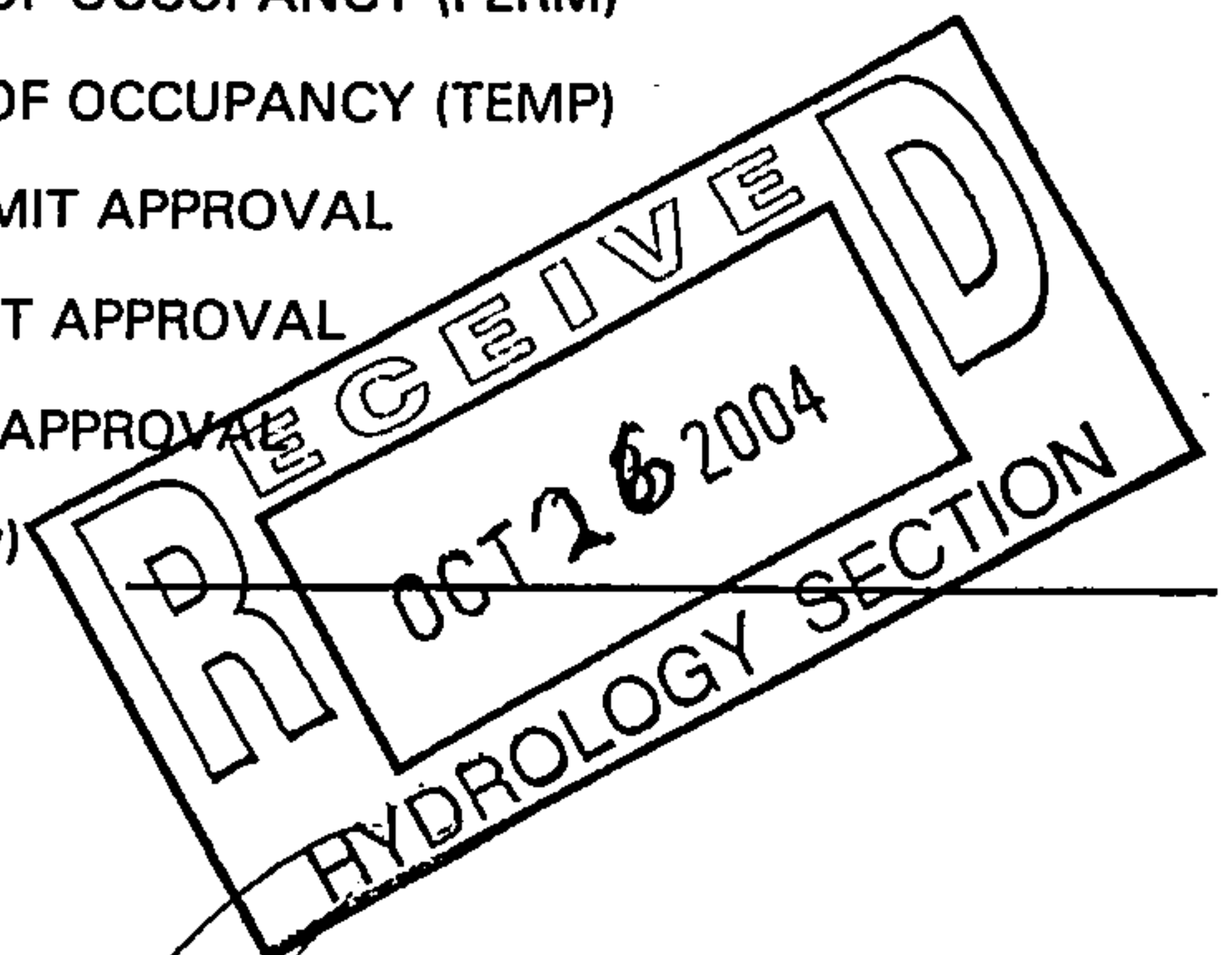
WAS A PRE-DESIGN CONFERENCE ATTENDED?

☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 10-26-04

CHECK TYPE OF APPROVAL SOUGHT:

<input type="checkbox"/>	SIA / FINANCIAL GUARANTEE RELEASE
<input type="checkbox"/>	PRELIMINARY PLAT APPROVAL
<input type="checkbox"/>	S. DEV. PLAN FOR SUB'D. APPROVAL
<input type="checkbox"/>	S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
<input type="checkbox"/>	SECTOR PLAN APPROVAL
<input type="checkbox"/>	FINAL PLAT APPROVAL
<input type="checkbox"/>	FOUNDATION PERMIT APPROVAL
<input type="checkbox"/>	BUILDING PERMIT APPROVAL
<input checked="" type="checkbox"/>	CERTIFICATE OF OCCUPANCY (PERM)
<input type="checkbox"/>	CERTIFICATE OF OCCUPANCY (TEMP)
<input type="checkbox"/>	GRADING PERMIT APPROVAL
<input type="checkbox"/>	PAVING PERMIT APPROVAL
<input type="checkbox"/>	WORK ORDER APPROVAL
<input type="checkbox"/>	OTHER (specify)



BY: 
Gregory J. Krenik, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
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DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE:	VA Pharmacy - Phase II	ZONE MAP/DRG #:	L-16
DRB#:	100 2873	EPC #:	03 ER-01324
LEGAL DESCRIPTION: Tract 5A, Cavan Sunport Center			
CITY ADDRESS:			
ENGINEERING FIRM:	Mark Goodwin & Associates, PA	CONTACT:	
ADDRESS:	PO Box 90606	PHONE:	828-2200
CITY, STATE:	Albuquerque, NM	ZIP CODE:	87199
OWNER:	Veterans Administration	CONTACT:	Marc E. Schiff
ADDRESS:	320 Central SW	PHONE:	843-9639
CITY, STATE:	Albuquerque, NM 87102	ZIP CODE:	87102
ARCHITECT:	DCSW, INC	CONTACT:	Marc E. Schiff
ADDRESS:	320 Central SW	PHONE:	843-9639
CITY, STATE:	Albuquerque, NM 87102	ZIP CODE:	87102
SURVEYOR:		CONTACT:	
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	
CONTRACTOR:		CONTACT:	
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1ST SUBMITTAL, req. TCL or equal
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERTIFICATION (TCL)
- ☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (specify)

WAS A PRE-DESIGN CONFERENCE ATTENDED?

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

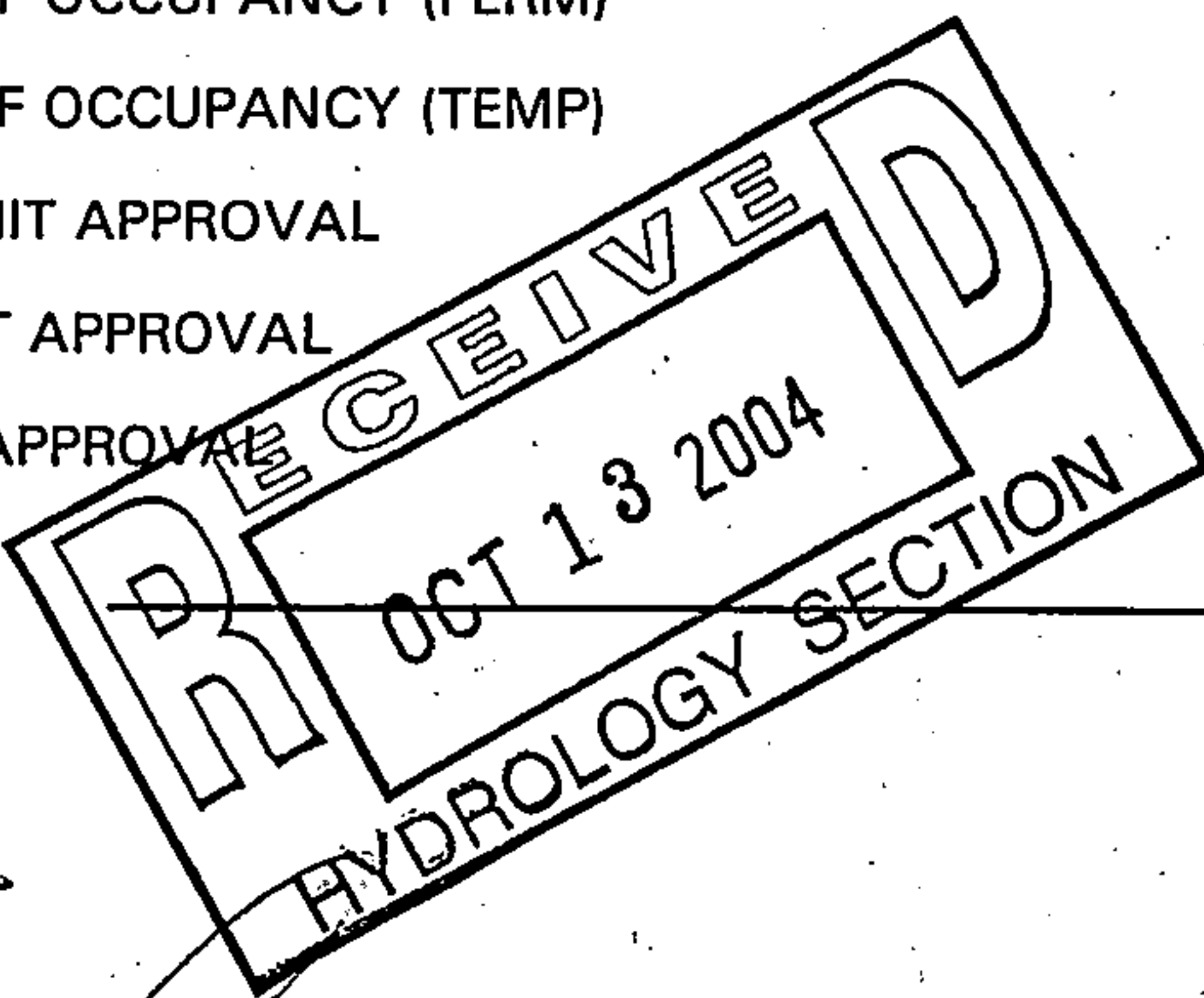
DATE SUBMITTED:

BY:

Gregory J. Krenik, PE

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Scal was not on previous submittal

10/25/04: Check w/ Matt Cline; Contractor has not contacted him for inspection on SO-19.

10-13-04

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/28/2003rd)

PROJECT TITLE:	VA Pharmacy - Phase II	ZONE MAP/DRG #:	L-16 / D023D
DRB#:	100 2873	EPC #:	03 EPC-01324
LEGAL DESCRIPTION:	Tract 5A, Cavan Sunport Center		
CITY ADDRESS:			
ENGINEERING FIRM:	Mark Goodwin & Associates, PA	CONTACT:	
ADDRESS:	PO Box 90606	PHONE:	828-2200
CITY, STATE:	Albuquerque, NM	ZIP CODE:	87199
OWNER:	Veterans Administration	CONTACT:	Marc E. Schiff
ADDRESS:	320 Central SW	PHONE:	843-9639
CITY, STATE:	Albuquerque, NM 87102	ZIP CODE:	87102
ARCHITECT:	DCSW, INC	CONTACT:	Marc E. Schiff
ADDRESS:	320 Central SW	PHONE:	843-9639
CITY, STATE:	Albuquerque, NM 87102	ZIP CODE:	87102
SURVEYOR:		CONTACT:	
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	
CONTRACTOR:		CONTACT:	
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	

CHECK TYPE OF SUBMITTAL:

- | | |
|-------------------------------------|--|
| <input type="checkbox"/> | DRAINAGE REPORT |
| <input type="checkbox"/> | DRAINAGE PLAN 1 ST SUBMITTAL, req. TCL or equal |
| <input type="checkbox"/> | DRAINAGE PLAN RESUBMITTAL |
| <input type="checkbox"/> | CONCEPTUAL GRADING & DRAINAGE PLAN |
| <input type="checkbox"/> | GRADING PLAN |
| <input type="checkbox"/> | EROSION CONTROL PLAN |
| <input checked="" type="checkbox"/> | ENGINEER'S CERTIFICATION (HYDROLOGY) |
| <input type="checkbox"/> | CLOMR/LOMR |
| <input type="checkbox"/> | TRAFFIC CIRCULATION LAYOUT (TCL) |
| <input type="checkbox"/> | ENGINEER'S CERTIFICATION (TCL) |
| <input type="checkbox"/> | ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN) |
| <input type="checkbox"/> | OTHER |

CHECK TYPE OF APPROVAL SOUGHT:

- | | |
|-------------------------------------|--|
| <input type="checkbox"/> | SIA / FINANCIAL GUARANTEE RELEASE |
| <input type="checkbox"/> | PRELIMINARY PLAT APPROVAL |
| <input type="checkbox"/> | S. DEV. PLAN FOR SUB'D. APPROVAL |
| <input type="checkbox"/> | S. DEV. PLAN FOR BLDG. PERMIT APPROVAL |
| <input type="checkbox"/> | SECTOR PLAN APPROVAL |
| <input type="checkbox"/> | FINAL PLAT APPROVAL |
| <input type="checkbox"/> | FOUNDATION PERMIT APPROVAL |
| <input type="checkbox"/> | BUILDING PERMIT APPROVAL |
| <input checked="" type="checkbox"/> | CERTIFICATE OF OCCUPANCY (PERM) |
| <input type="checkbox"/> | CERTIFICATE OF OCCUPANCY (TEMP) |
| <input type="checkbox"/> | GRADING PERMIT APPROVAL |
| <input type="checkbox"/> | PAVING PERMIT APPROVAL |
| <input type="checkbox"/> | WORK ORDER APPROVAL |
| <input type="checkbox"/> | OTHER (specify) |

WAS A PRE-DESIGN CONFERENCE ATTENDED?

- | | |
|--------------------------|---------------|
| <input type="checkbox"/> | YES |
| <input type="checkbox"/> | NO |
| <input type="checkbox"/> | COPY PROVIDED |

DATE SUBMITTED:

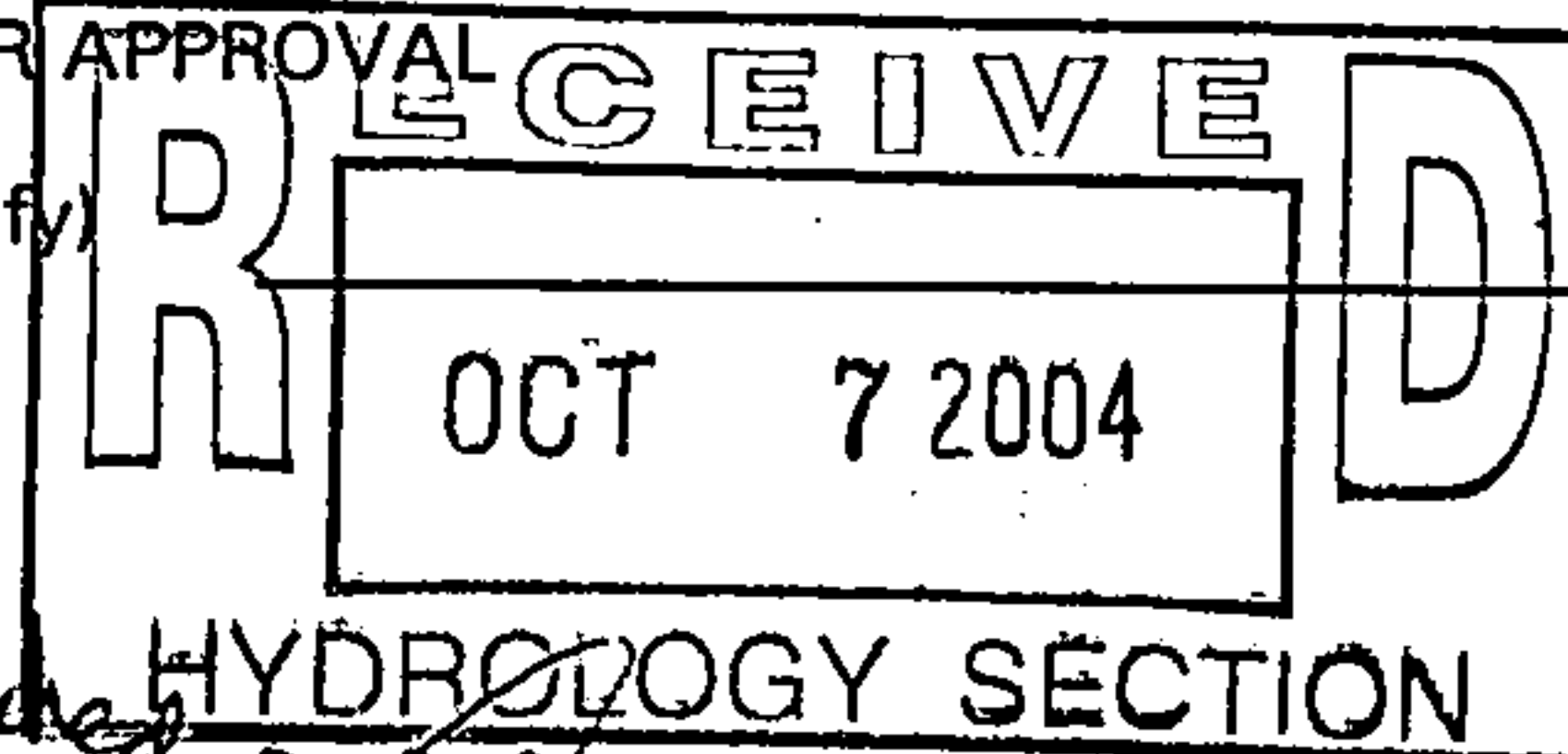
10-4-04

BY:

Gregory J. Krenik, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

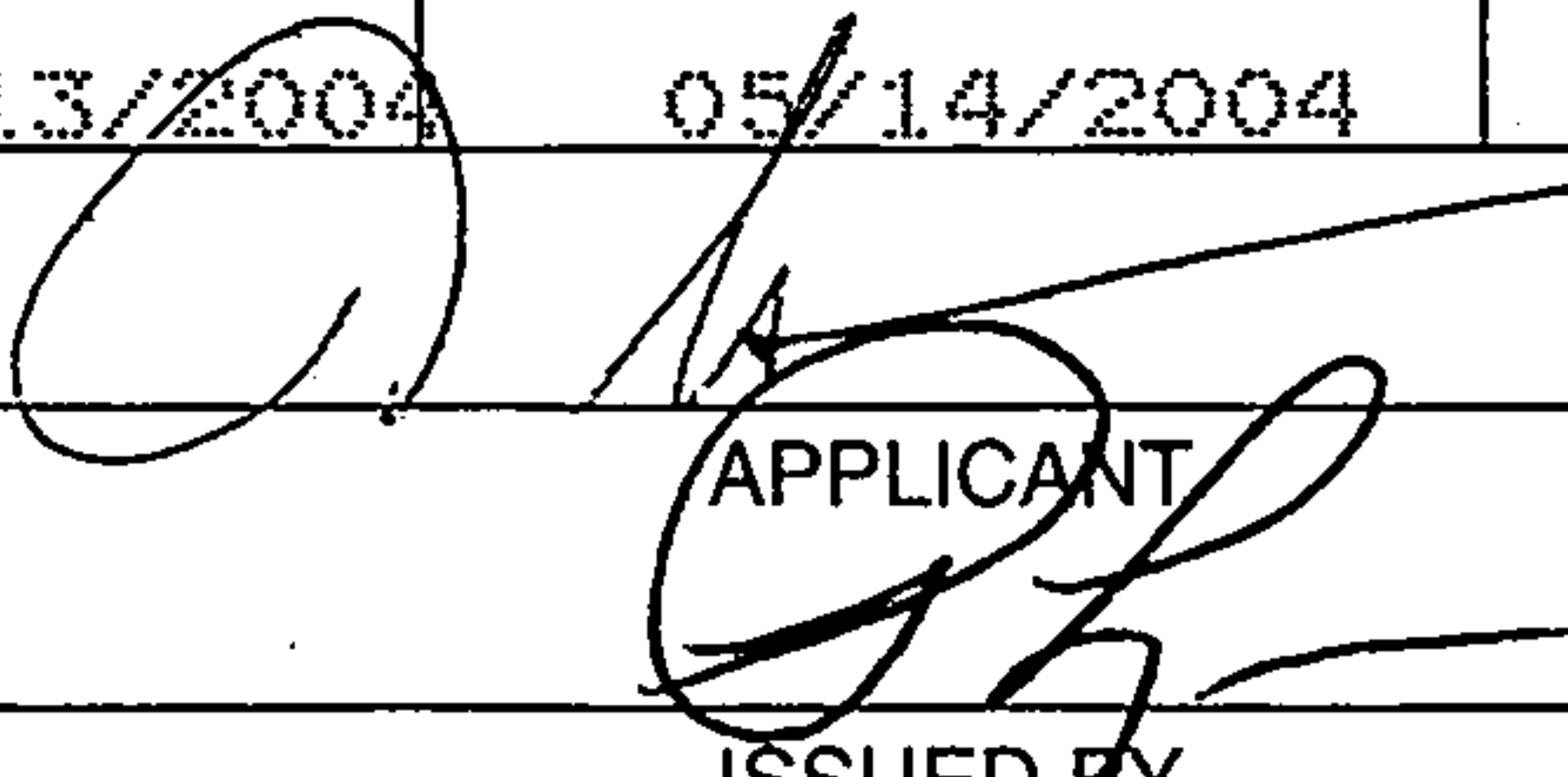
1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



10/8/04

Spoke w/ Matt Cline. Request for inspection has not been done. Left message for John McKenzie (Bregaway) to contact Contractor.

CITY OF ALBUQUERQUE PERMIT FOR EXCAVATION, CONSTRUCTION AND BARRICADING

CONTRACTOR LICENSE ADDRESS		CAMERO CONSTRUCTION GA03 7424 2ND ST. N.W. ALBUQUERQUE, NM 87107 345-1133		PERMIT NUMBER 2082774	
SITE		2412 INTERNATIONAL AV SE		PROJECT NUMBER 05/12/2004	
PERMIT AND DETOUR PLAN COMMENTS		SD #19 LETTER ON FILE DATED 11/7/03 VA PHARMACY PHASE II, NO LANE CLOSURES		PERMIT ISSUE DATE 05/12/2004	
				BARRICADED BY BLUE STAKE	
				PAVING BY CON	
				EXCAVATION 443008-5810000 42.00 EX	
				SIDEWALK 443012-5810000 0.00 SW	
				DRIVEPAD 443011-5810000 0.00 DP	
				CURB/GUTTER 443010-5810000 0.00 CG	
				BARRICADING 443009-5810000 25.00 BR	
				RESTORATION 443017-5810000 0.00 RS	
				TOTAL FEE 67.00	
START DATE	COMPLETION DATE	PERMIT EXPIRES	INSURANCE EXPIRES	BOND EXPIRES	ZONE ATLAS
05/13/2004	05/14/2004	05/14/2004	08/01/2004	12/31/2004	
 APPLICANT			VOID UNTIL VALIDATED BY CITY TREASURER		
ISSUED BY			RECEIPT# 00026400-00026400 PERMIT# 2082774 Trans Amt \$67.00 Excavation \$42.00 Barricade \$25.00		

PERMITTEE AGREES TO ASSUME ALL LIABILITY, INCLUDING INDEMNIFYING, DEFENDING AND HOLDING THE CITY HARMLESS FOR ALL DAMAGES OR INJURY TO PERSONS OR PROPERTY RESULTING FROM PERMITTEE'S EXCAVATION AND/OR BARRICADE WORK. THIS PERMIT IS GRANTED IN CONSIDERATION OF PERMITTEE'S ASSUMING SAID LIABILITY AND IS APPROVED FOR THE WORK DESCRIBED ABOVE. IN ACCORDANCE WITH SECTION 6-5-2-1 ET SEQ. R.O. (1994), PERMITTEE AGREES TO COMPLY WITH ALL APPLICABLE CITY RULES, REGULATIONS AND ORDINANCES, AND WHEN EXCAVATING, TO PATCH OR PLATE PRIOR TO OPENING TO TRAFFIC IN ACCORDANCE WITH APPLICABLE RULES, REGULATIONS AND ORDINANCES. PLEASE CALL 924-3400 FOR ADDITIONAL INFORMATION.

CAUTION: PROTECT UNDERGROUND UTILITIES CALL 260-1990, 48 HOURS IN ADVANCE FOR LINE STAKING

PWD 003 REV 04/03



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Cambo
Permit # 2082724

November 7, 2003

Gregory Krenik, P.E.
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 87199

Re: VA Pharmacy – Phase II, 2400/2412 International Ave., Grading and Drainage Plan

Engineer's Stamp dated 11-07-03 (L16/D23D)

Dear Mr. Krenik,

Based upon the information provided in your submittal received 11-07-03, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit (SO#19) is required for construction within City Right of Way. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. Refer to the attachment that is provided with this letter for details. If you have any questions please feel free to call the Public Works Hydrology section at 768-3654 (Charles Caruso) or 768-3645 (Brian Wolfe).

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro

Engineering Associate, Planning Dept.
Development and Building Services

C: Matt Cline, Arroyo Maintenance
Pam Lujan, Excavation Permits
Charles Caruso, Public Works Hydrology
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/28/2003rd)

L-16/0230

PROJECT TITLE:	VA Pharmacy - Phase II	ZONE MAP/DRG #:	L-16
DRB#:	100 2873	EPC #:	03 EPC-01324
LEGAL DESCRIPTION:		Tract 5A, Cavan Sunport Center	
CITY ADDRESS:			
ENGINEERING FIRM:	Mark Goodwin & Associates, PA	CONTACT:	
ADDRESS:	PO Box 90606	PHONE:	828-2200
CITY, STATE:	Albuquerque, NM	ZIP CODE:	87199
OWNER:	Veterans Administration	CONTACT:	Marc E. Schiff
ADDRESS:	320 Central SW	PHONE:	843-9639
CITY, STATE:	Albuquerque, NM 87102	ZIP CODE:	87102
ARCHITECT:	DCSW, INC	CONTACT:	Marc E. Schiff
ADDRESS:	320 Central SW	PHONE:	843-9639
CITY, STATE:	Albuquerque, NM 87102	ZIP CODE:	87102
SURVEYOR:		CONTACT:	
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	
CONTRACTOR:		CONTACT:	
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1ST SUBMITTAL, req. TCL or equal
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERTIFICATION (TCL)
- ☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

ADDED WATER LINES AND CALL
OUTS FOR TOP OF SAME PER

WAS A PRE-DESIGN CONFERENCE ATTENDED? EPC COMMENTS

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED:

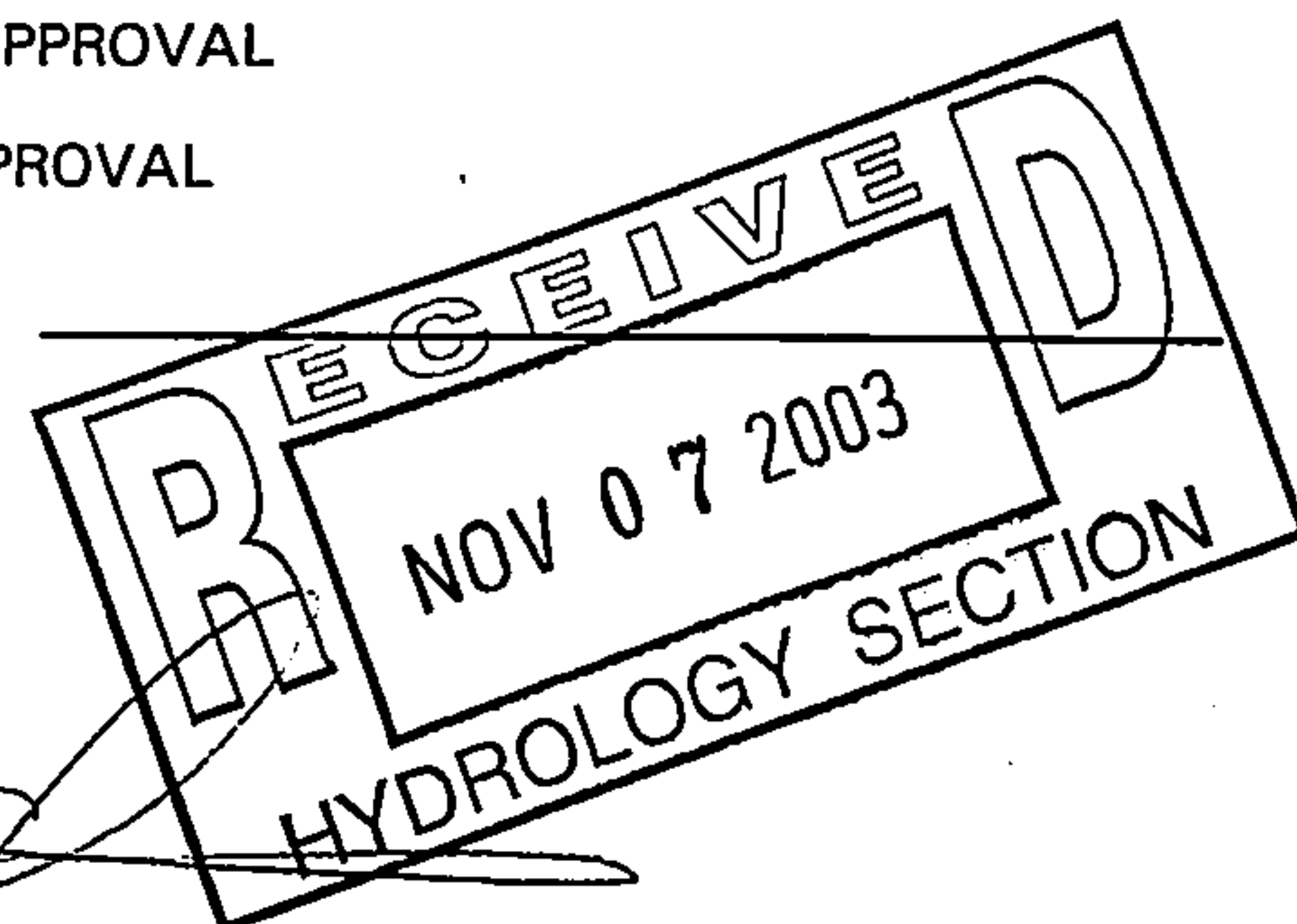
11-7-03

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (specify)

BY:

Gregory J. Krenik, PE



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 19, 2004

Gregory Krenik, P.E.
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 87199

**Re: VA Pharmacy – Phase II, 2400/2412 International Ave., Temporary Certificate
of Occupancy (L16/D23D)**

Dear Mr. Krenik,

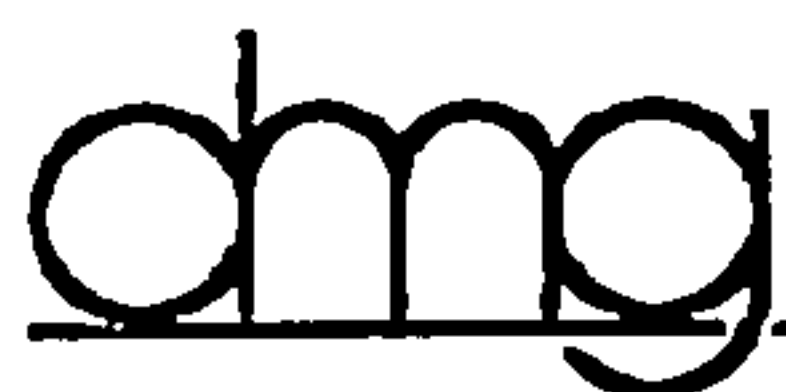
Based upon the information provided in your letter received 5-19-04, the above referenced project is approved for release of 30-day temporary Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: Phyllis Villanueva
file



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539
e-mail: goodwinengrs@comcast.net

L-16/D23D

May 19, 2004

Ms. Arlene Portillo
Plan Checker, Hydrology Division
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: VA Pharmacy - Phase II (L16/D23D)

Dear Ms. Portillo:

Per our conversation from this morning, I am submitting this letter of request for a Temporary Certificate of Occupancy for the referenced project. After personally visiting the above referenced site, I have determined that the project is in substantial compliance according to the plans, except for a small retaining wall on the back side of the building. We are requesting a Temporary Certificate of Occupancy at this time. A final as-built submittal will be made shortly.

Please contact our office if you have any questions.

Sincerely,

MARK GOODWIN & ASSOCIATES, P.A.



Gregory J. Krenik, PE
Vice President
NMPE 11929

GJK/bs

cc: Crystal Metro, COA/ Hydrology

Rec
5/19/04

f a c s i m i l e
TRANSMITTAL

to: Arlene Portillo ~ Hydrology / *Crystal Metro, Hydrology*
fax # 924-3864
re: VA Pharmacy ~ Phase II
date: May 19, 2004
pages: 2, including this cover sheet.

Please call me if you have any questions.

From the desk of.....

Gregory J. Krenik, PE
Vice President

Mark Goodwin & Associates, PA
PO Box 90606
Albuquerque, NM 87199

(505) 828-2200
fax (505) 797-9539
goodwinengrs@comcast.net



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 23, 2003

Gregory Krenik, P.E.
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 87199

Re: VA Pharmacy – Phase II, 2400/2412 International Ave., Grading and Drainage Plan

Engineer's Stamp dated 10-07-03 (L16/D23D)

Dear Mr. Krenik,


Based upon the information provided in your submittal received 10-07-03, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit (SO#19) is required for construction within City Right of Way. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. Refer to the attachment that is provided with this letter for details. If you have any questions please feel free to call the Public Works Hydrology section at 768-3654 (Charles Caruso) or 768-3645 (Brian Wolfe).

If you have any questions, you can contact me at 924-3981.

Sincerely,


Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: Matt Cline, Arroyo Maintenance
Pam Lujan, Excavation Permits
Charles Caruso, Public Works Hydrology
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/28/2003rd)

PROJECT TITLE:	VA Pharmacy - Phase II	ZONE MAP/DRG #:	L-16 / DO230
DRB#:	EPC #:	W.O.#:	
LEGAL DESCRIPTION:	Tract 5A, Cavan Sunport Center		
CITY ADDRESS:			
ENGINEERING FIRM:	Mark Goodwin & Associates, PA	CONTACT:	
ADDRESS:	PO Box 90606	PHONE:	828-2200
CITY, STATE:	Albuquerque, NM	ZIP CODE:	87199
OWNER:	Veterans Administration	CONTACT:	Marc E. Schiff
ADDRESS:	320 Central SW	PHONE:	843-9639
CITY, STATE:	Albuquerque, NM 87102	ZIP CODE:	87102
ARCHITECT:	DCSW, INC	CONTACT:	Marc E. Schiff
ADDRESS:	320 Central SW	PHONE:	843-9639
CITY, STATE:	Albuquerque, NM 87102	ZIP CODE:	87102
SURVEYOR:		CONTACT:	
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	
CONTRACTOR:		CONTACT:	
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	

CHECK TYPE OF SUBMITTAL:

- | | |
|-------------------------------------|--|
| <input type="checkbox"/> | DRAINAGE REPORT |
| <input checked="" type="checkbox"/> | DRAINAGE PLAN 1 ST SUBMITTAL, req. TCL or equal |
| <input type="checkbox"/> | DRAINAGE PLAN RESUBMITTAL |
| <input type="checkbox"/> | CONCEPTUAL GRADING & DRAINAGE PLAN |
| <input checked="" type="checkbox"/> | GRADING PLAN |
| <input type="checkbox"/> | EROSION CONTROL PLAN |
| <input type="checkbox"/> | ENGINEER'S CERTIFICATION (HYDROLOGY) |
| <input type="checkbox"/> | CLOMR/LOMR |
| <input type="checkbox"/> | TRAFFIC CIRCULATION LAYOUT (TCL) |
| <input type="checkbox"/> | ENGINEER'S CERTIFICATION (TCL) |
| <input type="checkbox"/> | ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN) |
| <input type="checkbox"/> | OTHER |

CHECK TYPE OF APPROVAL SOUGHT:

- | | |
|-------------------------------------|--|
| <input type="checkbox"/> | SIA / FINANCIAL GUARANTEE RELEASE |
| <input type="checkbox"/> | PRELIMINARY PLAT APPROVAL |
| <input type="checkbox"/> | S. DEV. PLAN FOR SUB'D. APPROVAL |
| <input type="checkbox"/> | S. DEV. PLAN FOR BLDG. PERMIT APPROVAL |
| <input type="checkbox"/> | SECTOR PLAN APPROVAL |
| <input type="checkbox"/> | FINAL PLAT APPROVAL |
| <input type="checkbox"/> | FOUNDATION PERMIT APPROVAL |
| <input checked="" type="checkbox"/> | BUILDING PERMIT APPROVAL |
| <input type="checkbox"/> | CERTIFICATE OF OCCUPANCY (PERM) |
| <input type="checkbox"/> | CERTIFICATE OF OCCUPANCY (TEMP) |
| <input type="checkbox"/> | GRADING PERMIT APPROVAL |
| <input type="checkbox"/> | PAVING PERMIT APPROVAL |
| <input type="checkbox"/> | WORK ORDER APPROVAL |
| <input type="checkbox"/> | OTHER (specify) _____ |

WAS A PRE-DESIGN CONFERENCE ATTENDED?

- | | |
|--------------------------|---------------|
| <input type="checkbox"/> | YES |
| <input type="checkbox"/> | NO |
| <input type="checkbox"/> | COPY PROVIDED |

DATE SUBMITTED:

10-7-03

BY:


Gregory J. Krenik, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 10, 1995

Mark Goodwin
Mark Goodwin & Associates
P.O. Box 90606
Albuquerque, New Mexico 87199

RE: ENGINEER CERTIFICATION FOR V.A. PHARMACY BUILDING (L16-D23D)
ENGINEER'S CERTIFICATION STATEMENT DATED 6/23/95.

Dear Mr. Goodwin:

Based on the information provided on your June 27, 1995
submittal, Engineer Certification for the above referenced site
is acceptable.

If I can be of further assistance, please feel free to contact me
at 768-2667.

Sincerely,

Bernie J. Montoya, CE
Engineering Associate

BJM/mq

c: Andrew Garica
file

DRAINAGE INFORMATION SHEET

216/023D

PROJECT TITLE: V.A Pharmacy Building ZONE ATLAS/DRNG, FILE#: L16D23D
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: Tract 7A, CAVAN Sunport Center
CITY ADDRESS: International & Centre Avenue

ENGINEERING FIRM: Mark Goodwin & Associates, PA CONTACT: Mark Goodwin, PE
ADDRESS: PO Box 90606 PHONE: 345-2010
OWNER: Veteran's Administration CONTACT: _____
ADDRESS: 105 4th Street SW PHONE: 843-9639
ARCHITECT: Design Collaborative SW CONTACT: Doug Heller
ADDRESS: 105 4th Street SW PHONE: 843-9639
SURVEYOR: Harris Surveying CONTACT: Tony Harris
ADDRESS: 2412 Monroe NE PHONE: 889-8056
CONTRACTOR: Klinger Constructors, Inc. CONTACT: Rick Murphy
ADDRESS: 8701 Washington NE PHONE: 822-9990

TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION
☐ OTHER

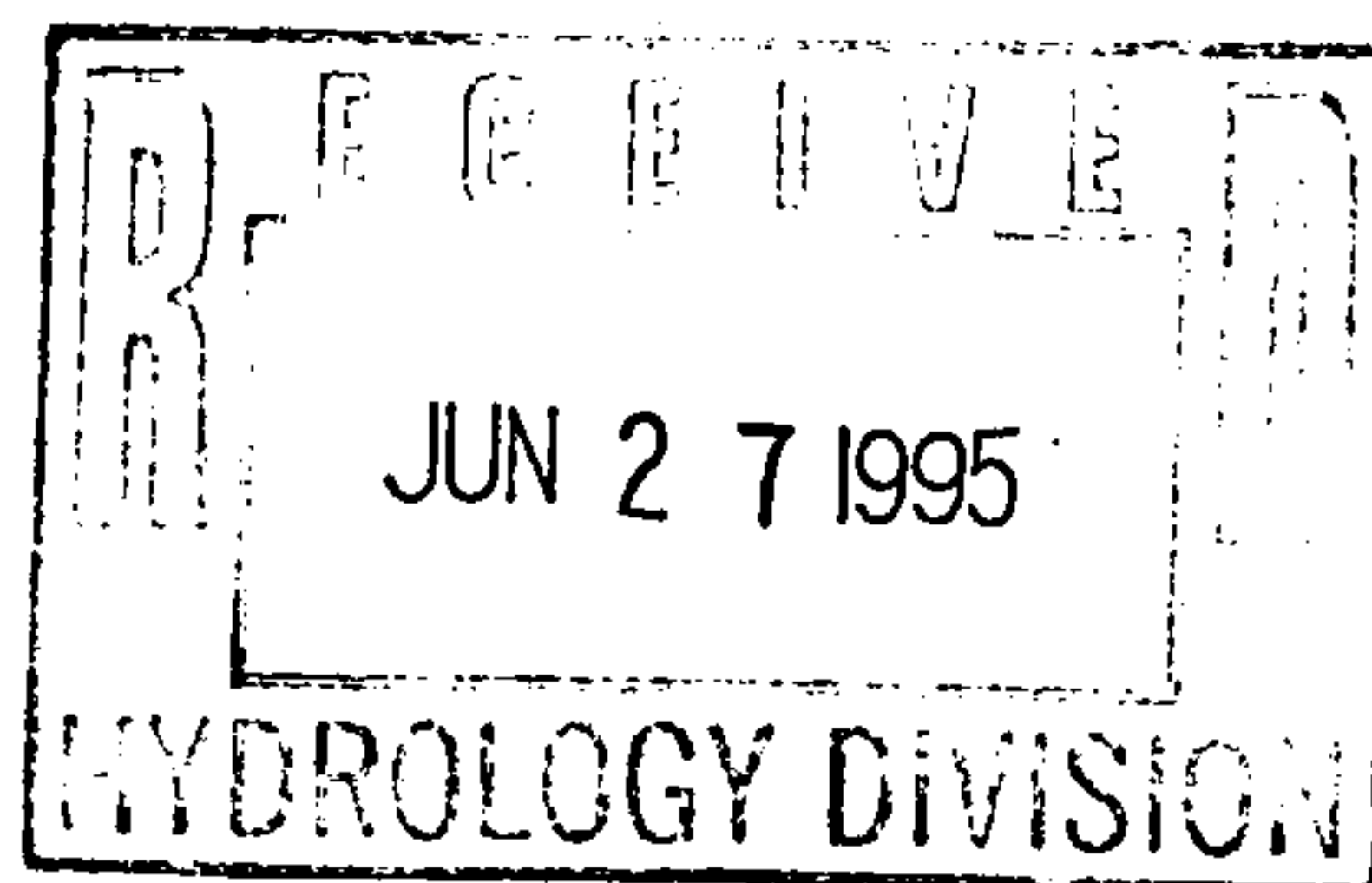
☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATION OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (Specify)

PRE-DESIGN MEETING:

☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 6/23/95

BY: Mark Goodwin
Mark Goodwin, PE





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 14, 1994

Mark Goodwin
Mark Goodwin & Associates
P.O. Box 90606
Albuquerque, NM 87199

RE: DRAINAGE PLAN FOR V.A. PHARMACY RESEARCH BUILDING
(L16-D23D) ENGINEER'S STAMP DATED 12/2/94.

Dear Mr. Goodwin:

Based on the information provided on your December 5, 1994
submittal, listed are some concerns that will need to be
addressed prior to final approval:

1. Indicate on the plan drawing your calculations for the
flow rate and volume from the AHYMO run.
2. Capacity of the proposed concrete run-down on the west
side of the building. Compute the entrance capacity
using the orifice equation.
3. Please identify the different basins and where each one
is draining to.

If I can be of further assistance, please feel free to contact me
at 768-2667.

Sincerely,

Bernie J. Montoya, CE
Engineering Associate

BJM/dl

c: Andrew Garcia
File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: V.A Pharmacy Building ZONE ATLAS/DRNG, FILE#: L-16D23D
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: Tract 7A, CAVAN Sunport Center
CITY ADDRESS: International & Centre Avenue

ENGINEERING FIRM: Mark Goodwin & Associates, PA CONTACT: Mark Goodwin, PE
ADDRESS: PO Box 90606 PHONE: 345-2010
OWNER: Veteran's Administration CONTACT: _____
ADDRESS: 105 4th Street SW PHONE: 843-9639
ARCHITECT: Design Collaborative SW CONTACT: Doug Heller
ADDRESS: 105 4th Street SW PHONE: 843-9639
SURVEYOR: Harris Surveying CONTACT: Tony Harris
ADDRESS: 2412 Monroe NE PHONE: 889-8056
CONTRACTOR: Klinger Constructors, Inc. CONTACT: Rick Murphy
ADDRESS: 8701 Washington NE PHONE: 822-9990

TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

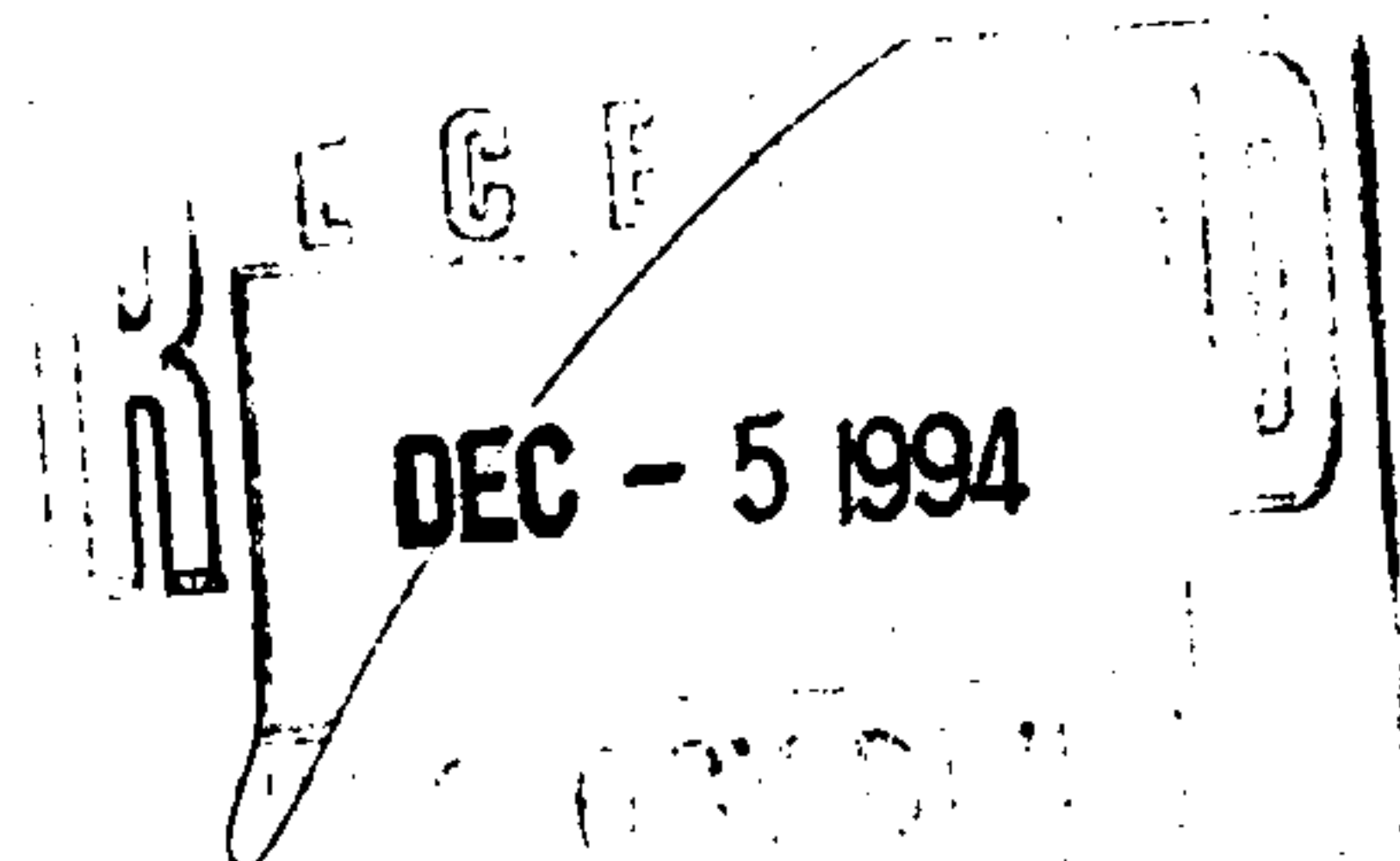
☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATION OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (Specify)

PRE-DESIGN MEETING:

☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 12/5/94

BY: Mark Goodwin
Mark Goodwin, PE



DRAINAGE INFORMATION SHEET

PROJECT TITLE: V.A. Pharmacy Research ZONE ATLAS/DRNG, FILE#: L-16/023d

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 7A, Yale Business Park

CITY ADDRESS: NE Corner of Yale & Gibson

ENGINEERING FIRM: Mark Goodwin & Associates, PA CONTACT: Mark Goodwin, PE

ADDRESS: PO Box 90606 PHONE: 345-2010

OWNER: Veteran's Administration CONTACT: _____

ADDRESS: 105 4th Street SW PHONE: 843-9639

ARCHITECT: Design Collaborative SW CONTACT: Marc Schiff

ADDRESS: 105 4th Street SW PHONE: 843-9639

SURVEYOR: Harris Surveying CONTACT: Tony Harris

ADDRESS: 2412 Monroe NE PHONE: 889-8056

CONTRACTOR: N/A CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT
____ DRAINAGE PLAN
☒ CONCEPTUAL GRADING & DRAINAGE PLAN
____ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERTIFICATION
____ OTHER

PRE-DESIGN MEETING:

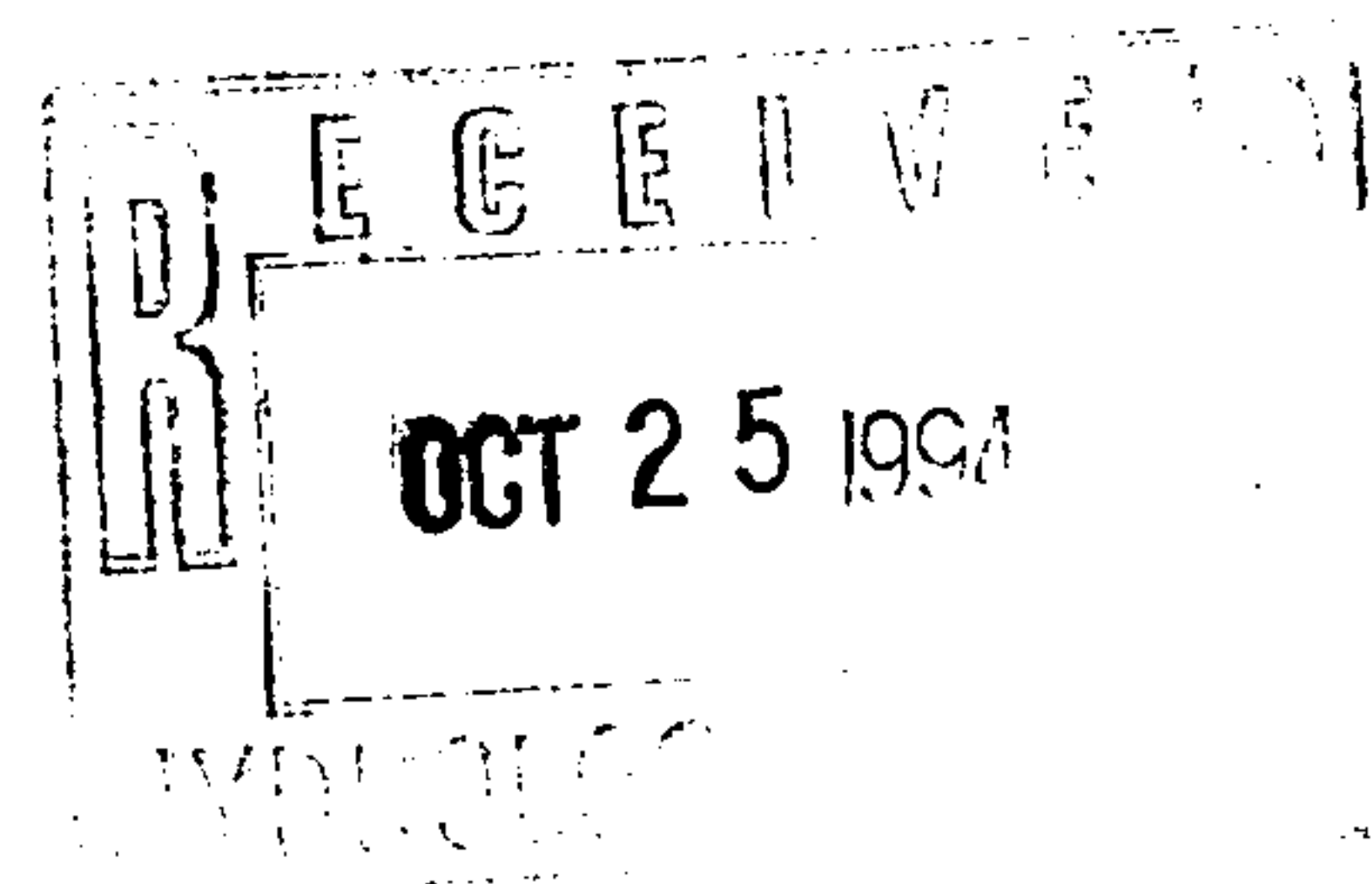
____ YES
☒ NO
____ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

____ SKETCH PLAT APPROVAL
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D APPROVAL
☒ S. DEV. PLAN FOR BLDG PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
____ BUILDING PERMIT APPROVAL
____ CERTIFICATION OF OCCUPANCY APPROVAL
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ S.A.D. DRAINAGE REPORT
____ DRAINAGE REQUIREMENTS
____ OTHER _____ (Specify)

DATE SUBMITTED: 10/24/94

BY: Mark Goodwin
Mark Goodwin, PE





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 29, 1994

Greg Krenik
Mark Goodwin & Associates
P.O. Box 90606
Albuquerque, NM 87199

RE: CONCEPTUAL DRAINAGE PLAN FOR V.A. PHARMACY RESEARCH
(L16-D23D) ENGINEER'S STAMP DATED 10/24/94.

Dear Mr. Krenik:

Based on the information provided on your October 25, 1994 submittal, the above referenced site is approved for Site Development for Building Permit.

Please be advised that prior to Building Permit release, the following must be addressed:

1. Top of curb and flowline elevation on the streets around perimeter. Elevation at property line must be one foot above the flowline, critical areas are at the proposed driveways.
2. Extend roof leaders through the curb onto the asphalt areas.
3. Check your slope on the west side of property, 3:1 slope must be kept or a retaining wall will be required.

If you have any questions, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya
Bernie J. Montoya, CE
Engineering Associate

BJM/dl

c: Andrew Garcia
File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 6, ~~1994~~
1995

Mark Goodwin
Mark Goodwin & Associates
P.O. Box 90606
Albuquerque, NM 87199

RE: REVISED DRAINAGE PLAN FOR V.A. PHARMACY RESEARCH BUILDING
(L16-D23D) REVISION DATED 12/20/~~95~~.
94.

Dear Mr. Goodwin:

Based on the information provided on your December 20, 1994 resubmittal, the above referenced site is approved for Foundation and Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the D.P.M. checklist will be required.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE
Engineering Associate

BJM/dl

c: Andrew Garcia
File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: V.A Pharmacy Building ZONE ATLAS/DRNG, FILE#: L161230
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: Tract 7A, CAVAN Support Center
CITY ADDRESS: International & Centre Avenue

ENGINEERING FIRM: Mark Goodwin & Associates, PA CONTACT: Mark Goodwin, PE
ADDRESS: PO Box 90606 PHONE: 345-2010
OWNER: Veteran's Administration CONTACT: _____
ADDRESS: 105 4th Street SW PHONE: 843-9639
ARCHITECT: Design Collaborative SW CONTACT: Doug Heller
ADDRESS: 105 4th Street SW PHONE: 843-9639
SURVEYOR: Harris Surveying CONTACT: Tony Harris
ADDRESS: 2412 Monroe NE PHONE: 889-8056
CONTRACTOR: Klinger Constructors, Inc. CONTACT: Rick Murphy
ADDRESS: 8701 Washington NE PHONE: 822-9990

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT
X DRAINAGE PLAN
____ CONCEPTUAL GRADING & DRAINAGE PLAN
X GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERTIFICATION
____ OTHER

PRE-DESIGN MEETING:

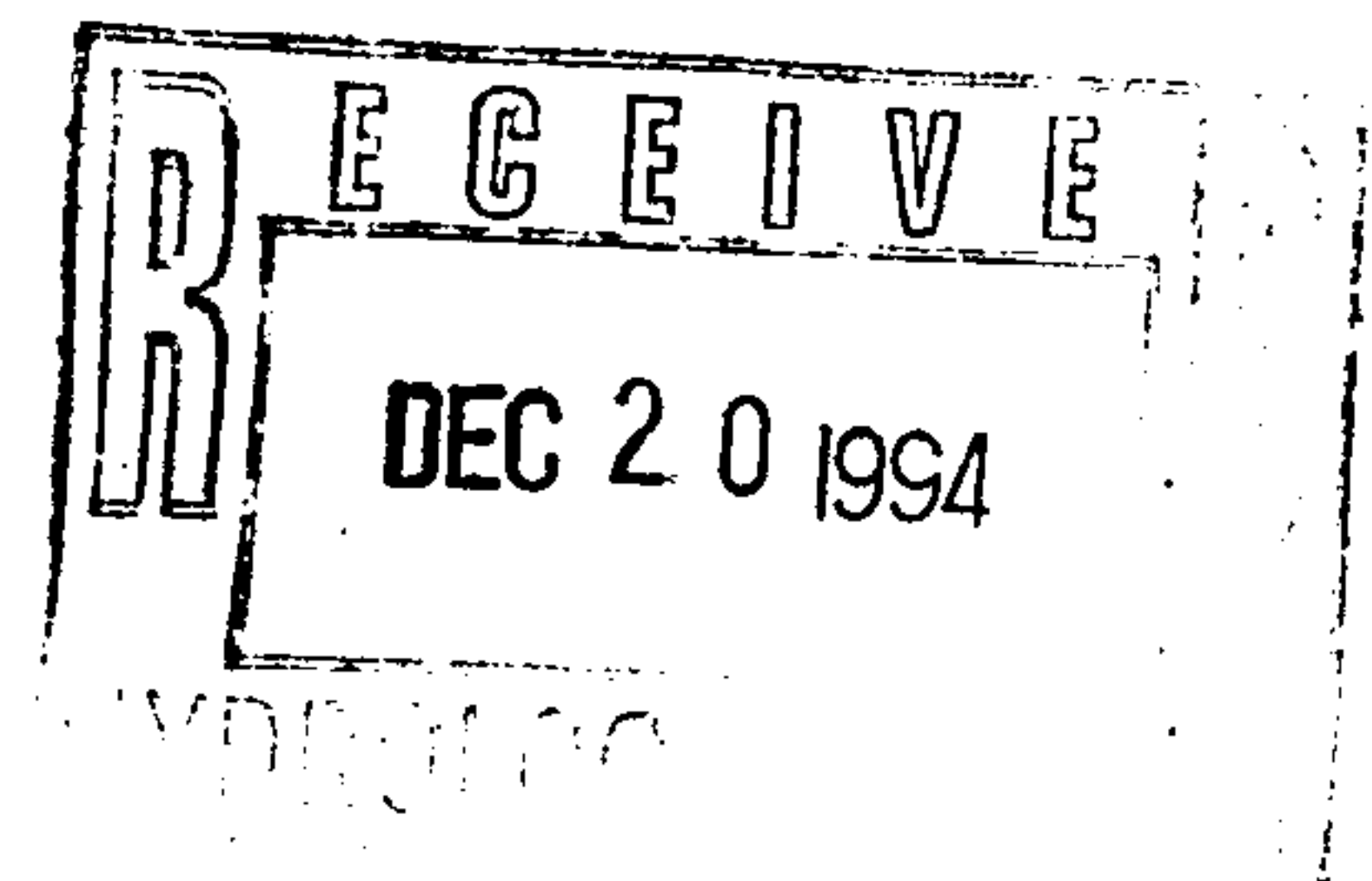
____ YES
X NO
____ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

____ SKETCH PLAT APPROVAL
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D APPROVAL
____ S. DEV. PLAN FOR BLDG PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
X FOUNDATION PERMIT APPROVAL
X BUILDING PERMIT APPROVAL
____ CERTIFICATION OF OCCUPANCY APPROVAL
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ S.A.D. DRAINAGE REPORT
____ DRAINAGE REQUIREMENTS
____ OTHER _____ (Specify)

DATE SUBMITTED: 12/20/94

BY: Mark Goodwin
Mark Goodwin, PE





D. Mark Goodwin & Associates, P.A.
Consulting Engineers and Surveyors

PROJECT VA Pharmacy
SUBJECT Drainage
BY MG DATE 12/20/94
CHECKED _____ DATE _____
SHEET 1 OF 1

Response to CoA comments of 12/14:

1. Calc's. are now on drawing
2. Entrance Capacity of Channel as
A Weir:

$$Q = CLH^{3/2} = 2.9(3)(.5)^{3/2} = 3.08 \text{ cfs}$$

$$\text{Design } Q = 0.3 \text{ cfs } \text{O.K.}$$

$$\text{Total } Q \text{ in Channel} = 1.8 \text{ cfs}$$

$$\text{Capacity per Manning @ 1\%} = 5 \text{ cfs } \text{O.K.}$$

3. Basins have been Added

