

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 23, 2003

Gregory Krenik, P.E. Mark Goodwin & Associates, PA P.O. Box 90606 Albuquerque, NM 87199

Re: VA Pharmacy – Phase II, 2400/2412 International Ave., Grading and Drainage

Plan

Engineer's Stamp dated 10-07-03 (L16/D23D)_____

Dear Mr. Krenik,

Based upon the information provided in your submittal received 10-07-03, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit (SO#19) is required for construction within City Right of Way. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. Refer to the attachment that is provided with this letter for details. If you have any questions please feel free to call the Public Works Hydrology section at 768-3654 (Charles Caruso) or 768-3645 (Brian Wolfe).

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro

Engineering Associate, Planning Dept.

Development and Building Services

Matt Cline, Arroyo Maintenance

Pam Lujan, Excavation Permits

Charles Caruso, Public Works Hydrology

file

ok-per Mott Clin

L-16/D23D

10/26/04 Marson Coff 5 pm CITY OF ALBUQUERQUE PERMIT FOR EXCAVATION, CONSTRUCTION AND BARRICADING

CONTRACTOR LICENSE ADDRESS

CAMBRO CONSTRUCTION

GAOS

7424 2ND ST. N.W.

ALBUQUERQUE, NM 87107

345-1133

2412 INTERNATIONAL AV SE

PERMIT AND DETOUR PLAN COMMENTS

SO #19 LETTER ON FILE DATED 11/7/03 VA PHARMACY PHASE II, NO LAME CLOSURES PERMIT NUMBER

PROJECT NUMBER

PERMITISSUE DATE

BARRICADED BY

BLUESTAKE

PAVING BY

EXCAVATION 443008-5810000

SIDEWALK 443012-5810000

DRIVEPAD 443011-5810000

CURB/GUTTER 443010-5810000

BARRICADING 443009-5810000

RESTORATION 443017-5810000

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05/13/2004	05/14/2004	05/14/2004	08/01/2004	12/31/2004	

VOID UNTIL VALIDATED BY CITY TREASURER

ISSUED BY

APPLICANT/

PERMITTEE AGREES TO ASSUME ALL LIABILITY, INCLUDING INDEMNIFYING, DEFENDING AND HOLDING THE CITY HARMLESS FOR ALL DAMAGES OR INJURY TO PERSONS OR PROPERTY RESULTING FROM PERMITTEE'S EXCAVATION AND/OR BARRICADE WORK. THIS PERMIT IS GRANTED IN CONSIDERATION OF PERMITTEE'S ASSUMING SAID LIABILITY AND IS APPROVED FOR THE WORK DESCRIBED. ABOVE. IN ACCORDANCE WITH SECTION 6-5-2-1 ET SEQ. R.O. (1994), PERMITTEE AGREES TO COMPLY WITH ALL APPLICABLE CITY RULES, REGULATIONS AND ORDINANCES, AND WHEN EXCAVATING, TO PATCH OR PLATE PRIOR TO OPENING TO TRAFFIC IN ACCORDANCE WITH APPLICABLE RULES, REGULATIONS AND ORDINANCES. PLEASE CALL 924-3400 FOR ADDITIONAL INFORMATION.

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P.O. BOX 1293 **ALBUQUERQUE, NEW MEXICO 87103**

November 7, 2003

Gregory Krenik, P.E. Mark Goodwin & Associates, PA P.O. Box 90606 Albuquerque, NM 87199

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Development and Building Services

Matt Cline, Arroyo Maintenance Pam Lujan, Excavation Permits Charles Caruso, Public Works Hydrology file



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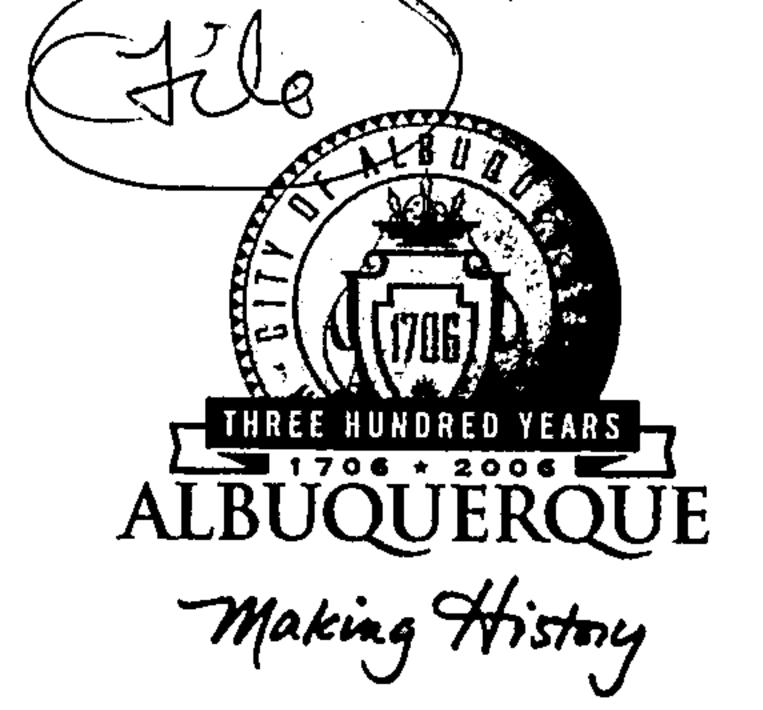
Sincerely,

Engineering Associate, Planning Dept.

Development and Building Services

C: Matt Cline, Arroyo Maintenance
Pam Lujan, Excavation Permits
Charles Caruso, Public Works Hydrology
file

CITY OF ALBUQUERQUE



Planning Department Transportation Development Services Section

November 3, 2004

Marc E. Schiff, Registered Architect 320 Central Ave SW Albuquerque, NM 87102

Re:

Certification Submittal for Final Building Certificate of Occupancy for

VA Pharmacy Addition, [L-16/D23D]

2412 International Ave. SE

Architect's Stamp Dated 11/03/04

Dear Mr. Schiff:

P.O. Box 1293

The TCL / Letter of Certification submitted on November 3, 2004 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103

Nilo E. Salgado-Fernandez, P.E.

Senior Traffic Engineer

Development and Building Services

www.cabq.gov

Planning Department

c: Engineer
Hydrology file
CO Clerk

(REV. 1/28/2003rd) VA PHARMACY ADDITION ZONE MAP/DRG. FILE #: DRB #: ____ **WORK ORDER#:** LEGAL DESCRIPTION: CITY ADDRESS: 440 GOODWIN & ASSOC. **ENGINEERING FIRM:** ADDRESS: -0. BOX 90606 PHONE: CITY, STATE: ALBUQUERQUE, NM ZIP CODE: OWNER: MORELAND CORPORATION CONTACT:____ ADDRESS:_____ PHONE:____ CITY, STATE:___ ZIP CODE:_____ CONTACT: LOWE MARTWEZ ADDRESS: 320 CENTRAL AVE GW PHONE: CITY, STATE: ALBUQUERRUE, NM ZIP CODE: 87/02 SURVEYOR: CONTACT:____ ADDRESS _____ PHONE:____ CITY, STATE:____ ZIP CODE:______ CONTRACTOR: CONTACT:____ ADDRESS: PHONE:____ CITY, STATE:_____ ZIP CODE: CHECK TYPE OF SUBMITTAL: CHECK TYPE OF APPROVAL SOUGHT: DRAINAGE REPORT SIA / FINANCIAL GUARANTEE RELEASE DRAINAGE PLAN 1st SUBMITTAL, REQUIRES TCL or equal PRELIMINARY PLAT APPROVAL DRAINAGE PLAN RESUBMITTAL S. DEV. PLAN FOR SUB'D. APPROVAL CONCEPTUAL GRADING & DRAINAGE PLAN S. DEV. PLAN FOR BLDG. PERMIT APPROVAL **GRADING PLAN** SECTOR PLAN APPROVAL EROSION CONTROL PLAN FINAL PLAT APPROVAL ENGINEER'S CERTIFICATION (HYDROLOGY) FOUNDATION PERMIT APPROVAL CLOMR/LOMR BUILDING PERMIT APPROVAL TRAFFIC CIRCULATION LAYOUT (TCL) CERTIFICATE OF OCCUPANCY (PERM.) ENGINEERS CERTIFICATION (TCL) CERTIFICATE OF OCCUPANCY (TEMP.) ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN) **GRADING PERMIT APPROVAL** OTHER PAVING PERMIT APPROVAL WORK ORDER APPROVAL OTHER (SPECIEY) (S) 這 [] [V] NOV 0 3 2004 WAS A PRE-DESIGN CONFERENCE ATTENDED: YES NO HYDROLOGY SECTION COPY PROVIDED DATE SUBMITTED:

Requests for approvals of Site Development Plans and/or/Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

(5)

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five

acres. 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



November 3, 2004

Mr. Nelo Selgado
Building Department - Transportation
City of Albuquerque

Letter of Certification

DESIGN COLLABORATIVE SOUTHWEST, INC.

Marc E. Schiff AlA
Principal
Architect / Interior Designer

Project No. 727781
VA Pharmacy Addition
2412 International Ave. SE
Albuquerque, NM 87106

Dear Mr. Selgado:

Re:

J. David Dekker AIA
Principal / Architect

Robert Gerard Heiser AIA
Principal
Architect / Interior Designer

In regards to the above referenced project we are writing this letter of certification to demonstrate our belief that the project has reached a level of substantial compliance. We are also submitting a copy of the approved Site Plan for your records.

Thank you for your attention in this matter.

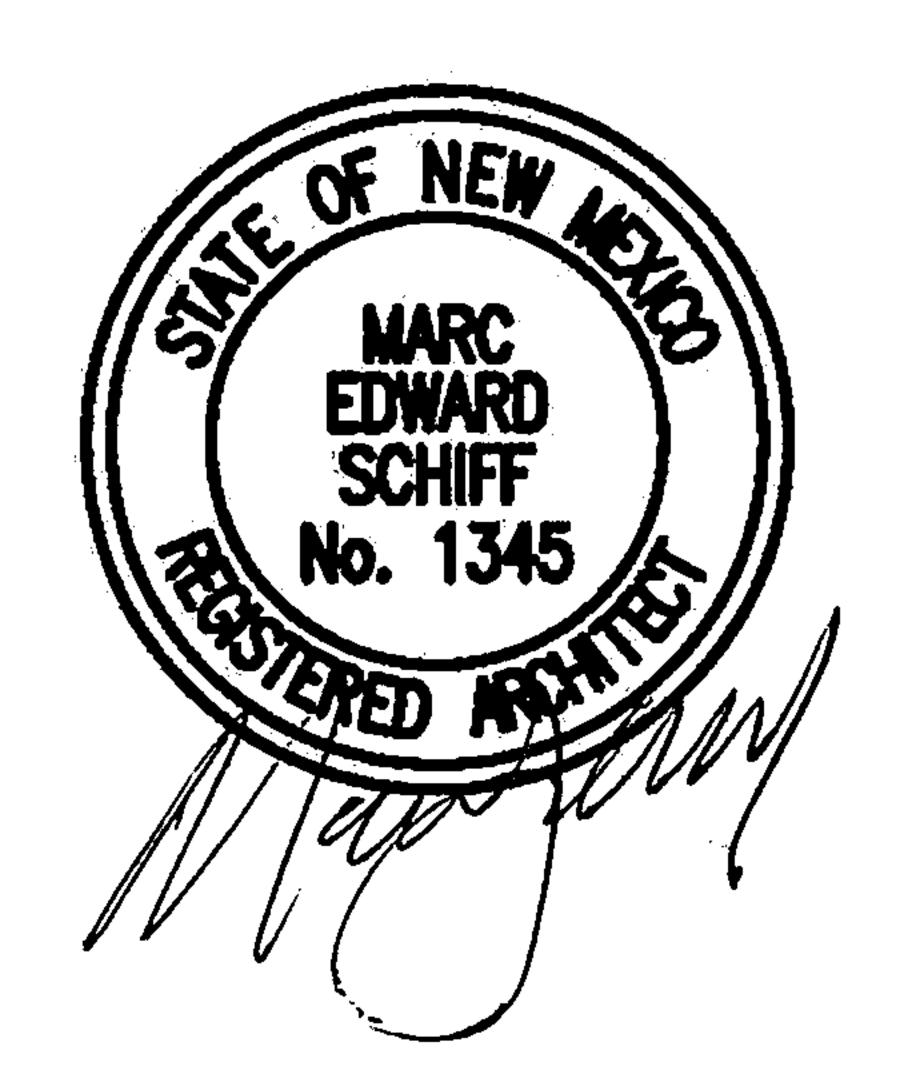
Del L. Dixon Principal / Architect

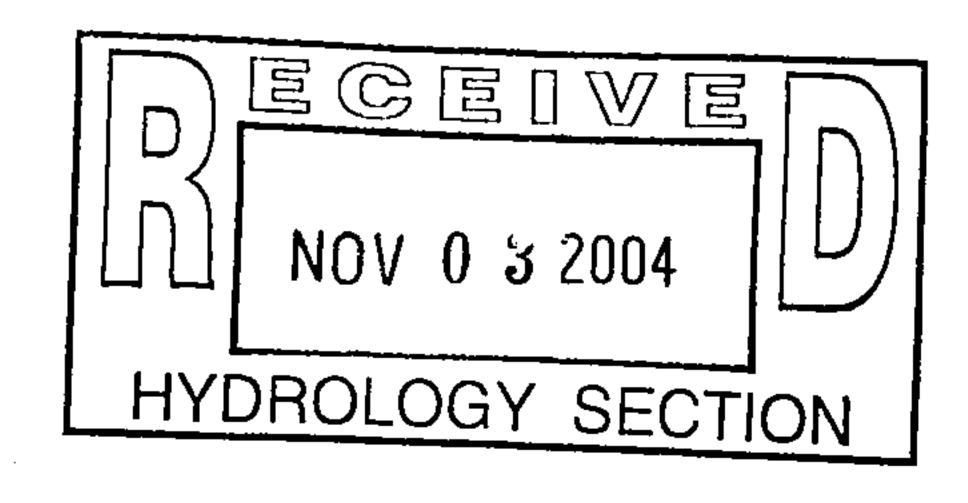
Richard Braun AIA Principal / Architect Marc/E. Schiff

Sincerely/

DCSW Architects, Inc.

Agent for the Moreland Corporation





\\Server-2600-1\\Projects\\0317 Moreland VA Cooperative Studies in ABQ\\01-Correspondence\\3-Government, Service, Utilities\\3.02 City, County\\041103 Selgado - Letter of Certification.doc

CITY OF ALBUQUERQUE



October 26, 2004

Mr. Greg Krenik, P.E.

MARK GOODWIN & ASSOCIATES
P.O. Box 90606
Albuquerque, NM 87199

Re: VA PHARMACIES, PHASE II

2400/2412 INTERNATIONAL AVENUE SE

Approval of Permanent Certificate of Occupancy (C.O.)

Engineer's Stamp dated 11/03/2003 (L-16/D23D)

Certification dated 10/13/2004

P.O. Box 1293

Dear Greg,

Albuquerque

Based upon the information provided in your submittal received 10/26/2004, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology

New Mexico 87103

If you have any questions, you can contact me at 924-3982.

Sincerely,

www.cabq.gov

Arlene V. Portillo

Plan Checker, Planning Dept. - Hydrology

Development and Building Services

 \mathbf{C} :

Phyllis Villanueva

File

(REV. 1/28/2003rd)

PROJECT TITLE:	VA Pharmacy - Phase II	ZONE MAP/DRG #: L-16
DRB#: /0028	373 EPC #:	03 EPC- 01324 W.O.#:
LEGAL DESCRIPTION:	Tract 5A, Cavan Sunport Cente	er
CITY ADDRESS:		
ENGINEERING FIRM:	Mark Goodwin & Associates, PA	CONTACT:
ADDRESS:	PO Box 90606	PHONE: 828-2200
CITY, STATE:	Albuquerque, NM	ZIP CODE: 87199
OWNER:	Veterans Administration	CONTACT: Marc E. Schiff
ADDRESS:	320 Central SW	PHONE: 843-9639
CITY, STATE:	Albuquerque, NM 87102	ZIP CODE: 87102
ARCHITECT:	DCSW, INC	CONTACT: Marc E. Schiff
ADDRESS:	320 Central SW	PHONE: 843-9639
CITY, STATE:	Albuquerque, NM 87102	ZIP CODE: 87102
SURVEYOR:		CONTACT:
ADDRESS:		PHONE:
CITY, STATE:		ZIP CODE:
CONTRACTOR:		CONTACT:
ADDRESS:	•	PHONE:
CITY, STATE:		ZIP CODE:
CHECK TYPE OF SUBMITT		CHECK TYPE OF APPROVAL SOUGHT: SIA / FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN	1 ST SUBMITTAL, req. TCL or equal	PRELIMINARY PLAT APPROVAL
DRAINAGE PLAN	RESUBMITTAL	S. DEV. PLAN FOR SUB'D. APPROVAL
CONCEPTUAL GR	RADING & DRAINAGE PLAN	S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
GRADING PLAN		SECTOR PLAN APPROVAL
EROSION CONTR	OL PLAN	FINAL PLAT APPROVAL
ENGINEER'S CERT	TIFICATION (HYDROLOGY)	FOUNDATION PERMIT APPROVAL
CLOMR/LOMR		BUILDING PERMIT APPROVAL
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ATE SUBMITTED:	10-28-04	BY:
		Gregory J. Krenik, PE

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
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(REV. 1/28/2003rd)

PROJECT TITLE:	VA Pharmacy - Phase II	ZONE MAP/DRG #: L-16
DRB#: /0028	73 EPC #:	03 EPC-01324/ W.O.#:
LEGAL DESCRIPTION:	Tract 5A, Cavan Sunport Cente	er
CITY ADDRESS:		
ENGINEERING FIRM:	Mark Goodwin & Associates, PA	CONTACT:
ADDRESS:	PO Box 90606	PHONE: 828-2200
CITY, STATE:	Albuquerque, NM	ZIP CODE: 87199
OWNER:	Veterans Administration	CONTACT: Marc E. Schiff
ADDRESS:	320 Central SW	PHONE: 843-9639
CITY, STATE:	Albuquerque, NM 87102	ZIP CODE: 87102
ARCHITECT:	DCSW, INC	CONTACT: Marc E. Schiff
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CITY, STATE:	Albuquerque, NM 87102	ZIP CODE: 87102
SURVEYOR:		CONTACT:
ADDRESS:		PHONE:
CITY, STATE:	·	ZIP CODE:
CONTRACTOR:		CONTACT:
ADDRESS:		PHONE:
CITY, STATE:		ZIP CODE:
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OTHER		PAVING PERMIT APPROVAL
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(REV. 1/28/2003rd)

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DRB#: 10028	373 EPC #: 03	EAC-	01324	W.O.#:	
LEGAL DESCRIPTION:	Tract 5A, Cavan Sunport Center				.)
CITY ADDRESS:	<u></u>				
ENGINEERING FIRM:	Mark Goodwin & Associates, PA		CONTACT:		
ADDRESS:	PO Box 90606		– PHONE:	828-2200	,
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DDRESS:	320 Central SW	•	- PHONE:	843-9639	
ITY, STATE:	Albuquerque, NM 87102		ZIP CODE:	87102	-
RCHITECT:	DCSW, INC	· · · · · · · · · · · · · · · · · · ·	CONTACT:	Marc E. Schiff	•
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URVEYOR:			CONTACT:		•
DDRESS:			PHONE:		
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TY, STATE:			ZIP CODE:		
	1 ST SUBMITTAL, req. TCL or equal		PRELIMINARY PLAT	APPROVAL	
DRAINAGE PLAN	1 ST SUBMITTAL, req. TCL or equal		PRELIMINARY PLAT	APPROVAL	
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Spoke w/ matt Cline. Request for inspection has not been done. Left message for John McKenzie. (Dreg away) to contact Contractor.

CITY OF ALBUQUERQUE PERMIT FOR EXCAVATION, CONSTRUCTION AND BARRICADING

CAMBRO COMSTRUCTION

ISSUED BY

CAOS 7424 2ND ST. N.W. ALBUQUERQUE, NM 87107	PERMITAISSUEIDATE 05/12/2004
345-1133	
2412 INTERNATIONAL AV SE	DWNCES CON
SO #19 LETTER ON FILE DATED 11/7/03 VA PHARMACY PHASE II, NO LANE CLOSU	
SINGER COMPLETION PATE PERMITS PRE	SE INSURANCE EXPIRES EONDEXPIRES ZONEZOES
	Treasury Division
05/13/2004 05/14/2004 05/14/2004	12/31/2004
V	OID UNTIL VALIDATED BY CITY TO ASSURER
APPLICANT	RECEIPT# 00026400-00026400 PERMIT# 2082774 TRSLJS
	Trans Ant \$67.00

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Excavation

\$42.00



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Cambro Permit # 2052774

November 7, 2003

Gregory Krenik, P.E. Mark Goodwin & Associates, PA P.O. Box 90606 Albuquerque, NM 87199

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Engineering Associate, Planning Dept.

Development and Building Services

C: Matt Cline, Arroyo Maintenance
Pam Lujan, Excavation Permits
Charles Caruso, Public Works Hydrology
file

(REV. 1/28/2003rd) PROJECT TITLE: VA Pharmacy - Phase II ZONE MAP/DRG #: L-16 1002873 03 EPC-01324 DRB#: EPC #: W.O.#: LEGAL DESCRIPTION: Tract 5A, Cavan Sunport Center CITY ADDRESS: **ENGINEERING FIRM:** Mark Goodwin & Associates, PA CONTACT: ADDRESS: PO Box 90606 PHONE: 828-2200 CITY, STATE: Albuquerque, NM ZIP CODE: 87199 OWNER: Veterans Administration CONTACT: Marc E. Schiff ADDRESS: 320 Central SW PHONE: 843-9639 CITY, STATE: Albuquerque, NM 87102 ZIP CODE: 87102 DCSW, INC ARCHITECT: CONTACT: Marc E. Schiff ADDRESS: 320 Central SW PHONE: 843-9639 CITY, STATE: Albuquerque, NM 87102 ZIP CODE: 87102 SURVEYOR: CONTACT: ADDRESS: PHONE: CITY, STATE: ZIP CODE: CONTRACTOR: CONTACT: ADDRESS: PHONE: CITY, STATE: ZIP CODE: CHECK TYPE OF SUBMITTAL: CHECK TYPE OF APPROVAL SOUGHT: DRAINAGE REPORT SIA / FINANCIAL GUARANTEE RELEASE DRAINAGE PLAN 1ST SUBMITTAL, req. TCL or equal PRELIMINARY PLAT APPROVAL DRAINAGE PLAN RESUBMITTAL S. DEV. PLAN FOR SUB'D. APPROVAL **CONCEPTUAL GRADING & DRAINAGE PLAN** S. DEV. PLAN FOR BLDG. PERMIT APPROVAL GRADING PLAN SECTOR PLAN APPROVAL EROSION CONTROL PLAN FINAL PLAT APPROVAL ENGINEER'S CERTIFICATION (HYDROLOGY) FOUNDATION PERMIT APPROVAL CLOMR/LOMR **BUILDING PERMIT APPROVAL** TRAFFIC CIRCULATION LAYOUT (TCL) CERTIFICATE OF OCCUPANCY (PERM) ENGINEER'S CERTIFICATION (TCL) CERTIFICATE OF OCCUPANCY (TEMP) ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN) GRADING PERMIT APPROVAL OTHER PAVING PERMIT APPROVAL WATER LINES AND CALL WORK ORDER APPROVAL GUTS FOR TOP OF SAME PER OTHER (specify) WAS A PRE-DESIGN CONFERENCE ATTENDED? EPC COMMENTS 1 NON 0 4 5003 *HYDROLOGY SECTION ' YES NO COPY PROVIDED DATE SUBMITTED: BY: Gregory J. Krenik, PE

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 19, 2004

Gregory Krenik, P.E.
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 87199

Re: VA Pharmacy – Phase II, 2400/2412 International Ave., Temporary Certificate of Occupancy (L16/D23D)

Dear Mr. Krenik,

Based upon the information provided in your letter received 5-19-04, the above referenced project is approved for release of 30-day temporary Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3981.

Kristal D. Metro

Sincerely,

Engineering Associate, Planning Dept. Development and Building Services

C: Phyllis Villanueva file



D. Mark Goodwin & Associates, P.A. Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199 (505) 828-2200 FAX 797-9539 e-mail: goodwinengrs@comcast.net

L-16/0230

May 19, 2004

Ms. Arlene Portillo
Plan Checker, Hydrology Division
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: VA Pharmacy ~ Phase II (L18/D23D)

Dear Ms. Portillo:

Per our conversation from this morning, I am submitting this letter of request for a Temporary Certificate of Occupancy for the referenced project. After personally visiting the above referenced site, I have determined that the project is in substantial compliance according to the plans, except for a small retaining wall on the back side of the building. We are requesting a Temporary Certificate of Occupancy at this time. A final asbuilt submittal will be made shortly.

Please contact our office if you have any questions.

Sincerely,

MARK GOODWIN & ASSOCIATES, P.A.

Greeny J. Krenik, PE Vice President NMPE 11929

GJK/bs

CC;

Crystal Metro, COA/ Hydrology

Par 19/04

facsimile TRANSMITTAL

to:

Arlene Portillo ~ Hydrology / Chrystal Metro, Hydrology

fax#

924-3864

re:

VA Pharmacy ~ Phase II

date:

May 19, 2004

pages:

2, including this cover sheet.

Please call me if you have any questions.

From the desk of.....

Gregory J. Krenik, PE Vice President

Mark Goodwin & Associates, PA PO Box 90606 Albuquerque, NM 87199

(505) 828-2200 fax (505) 797-9539 goodwinengrs@comcast.net



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 23, 2003

Gregory Krenik, P.E. Mark Goodwin & Associates, PA P.O. Box 90606 Albuquerque, NM 87199

Re:

VA Pharmacy – Phase II, 2400/2412 International Ave., Grading and Drainage

Plan

Engineer's Stamp dated 10-07-03 (L16/D23D)

Dear Mr. Krenik,

Based upon the information provided in your submittal received 10-07-03, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit (SO#19) is required for construction within City Right of Way. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. Refer to the attachment that is provided with this letter for details. If you have any questions please feel free to call the Public Works Hydrology section at 768-3654 (Charles Caruso) or 768-3645 (Brian Wolfe).

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro

Engineering Associate, Planning Dept.

Development and Building Services

Matt Cline, Arroyo Maintenance Pam Lujan, Excavation Permits Charles Caruso, Public Works Hydrology

file

(REV. 1/28/2003rd)

DRB#: EPC #: W.O.#: LEGAL DESCRIPTION: Tract 5A, Cavan Sunport Center CITY ADDRESS: ENGINEERING FIRM: Mark Goodwin & Associates, PA CONTACT: ENGINEERING FIRM: Mark Goodwin & Associates, PA CONTACT: ADDRESS: PO Box 90606 PHONE: 828-2200 CITY, STATE: Albuquerque, NM ZIP CODE: 87199 CWHER: Veterans Administration CONTACT: Marc E. Schiff ADDRESS: 320 Central SW PHONE: 843-9639 CITY, STATE: Albuquerque, NM 87102 ZIP CODE: 87102 CITY, STATE: Albuquerque, NM 87102 ZIP CODE: 87102 SURVEYOR: CONTACT: PHONE: ADDRESS: PHONE: ZIP CODE: CITY, STATE: ZIP CODE: ZIP CODE: CONTACT: ZIP CODE: ZI	PROJECT TITLE:	VA Pharmacy - Phase II	ZONE MAP/DRG #: L-16 DOZ
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- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 10, 1995

Mark Goodwin Mark Goodwin & Associates P.O. Box 90606 Albuqueque, New Mexico 87199

RE: ENGINEER CERTIFICATION FOR V.A. PHARMACY BUILDING (L16-D23D)

ENGINEER'S CERTIFICATION STATEMENT DATED 6/23/95.

Dear Mr. Goodwin:

Based ont he information provided on your June 27, 1995 submittal, Engineer Certification for the above referenced site is acceptable.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE Engineering Assiciate

BJM/mq

c: Andrew Garica

DRAINAGE INFORMATION SHEET

116/0230

PROJECT TITLE: V.A Pharmacy Building	ZONE ATLAS/DRNG,FILE#: L-16D23D
DRB #: EPC #:	WORK ORDER #:
LEGAL DESCRIPTION: Tract 7A, CAVAN Sunport	
CITY ADDRESS: <u>International & Centre Avenue</u>	
	· · · · · · · · · · · · · · · · · · ·
ENGINEERING FIRM: Mark Goodwin & Associates, P.	A CONTACT: Mark Goodwin, PE
ADDRESS: <u>PO Box 90606</u>	PHONE: 345-2010
OWNER: Veteran's Administration	CONTACT:
ADDRESS: 105 4th Street SW	PHONE: 843-9639
ARCHITECT: Design Collaborative SW .	CONTACT: Doug Heller
ADDRESS: 105 4th Street SW	PHONE: 843-9639
SURVEYOR: Harris Surveying	CONTACT: Tony Harris
ADDRESS: 2412 Monroe NE	PHONE: 889-8056
CONTRACTOR: Klinger Constructors, Inc.	CONTACT: Rick Murphy
ADDRESS: 8701 Washington NE	PHONE: 822-999()
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SKETCH PLAT APPROVAL
DRAINAGE PLAN	PRELIMINARY PLAT APPROVAL
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BY: //acs/orden	JUN 2 7 1995
Mark Goodwin, PE	LIVEDOIO DE MINIORO
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P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 14, 1994

Mark Goodwin & Associates P.O. Box 90606 Albuquerque, NM 87199

RE: DRAINAGE PLAN FOR V.A. PHARMACY RESEARCH BUILDING (L16-D23D) ENGINEER'S STAMP DATED 12/2/94.

Dear Mr. Goodwin:

Based ont he information provided on your December 5, 1994 submittal, listed are some concerns that will need to be addressed prior to final approval:

- 1. Indicate on the plan drawing your calculations for the flow rate and volume from the AHYMO run.
- 2. Capacity of the proposed concrete run-down on the west side of the building. Compute the entrance capacity using the orfice equation.
- 3. Please identify the different basins and where each one is draining to.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Sernie J. Montoya, CE Engineering Associate

BJM/dl

c: Andrew Garcia File

DRAINAGE INFORMATION SHEET

PROJECT TITLE:	V.A Pharmacy Building		ZONE ATLA	S/DRNG,FILE#:	L-16/D23D
DRB #:	EPC #:		WORK ORDER #:		
LEGAL DESCRIPTION	: Tract 7A, CAVAN Sunpor	t Center		·	-
CITY ADDRESS:	International & Centre Avenue				
ENGINEERING FIRM:	Mark Goodwin & Associates, l	P A	CONTACT:	Mark Goodwin,	PΕ
ADDRESS:	PO Box 90606		•	345-2010	
OWNER: Vetera	n's Administration		CONTACT:		
ADDRESS:	105 4th Street SW	•	PHONE:	843-9639	•
ARCHITECT: De	sign Collaborative SW .		CONTACT:	Doug Heller	
ADDRESS:	105 4th Street SW		PHONE:	843-9639	
SURVEYOR: Ha	rris Surveying			Tony Harris	
ADDRESS:	2412 Monroe NE	•	PHONE:	889-8056	
CONTRACTOR:	Klinger Constructors, Inc.		CONTACT:	Rick Murphy	
ADDRESS:	8701 Washington NE		PHONE:	822-9990	
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DRAINAGE INFORMATION SHEET

PROJECT TITLE:	V.A. Pharmacy Research		ZONE ATLA	S/DRNG,FILE#:I	-16/0
DRB #:	EPC #:		WORK ORDER #:		
LEGAL DESCRIPT	ION: Lot 7A, Yale Business Park	- -			.
CITY ADDRESS:	NE Corner of Yale & Gibson		e de la companya della companya della companya della companya de la companya della companya dell		
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ENGINEERING FIR	M: Mark Goodwin & Associates, P	Α	CONTACT:	Mark Goodwin, PE	
ADDRESS	PO Box 90606	•	PHONE:	345-2010	
OWNER: Ve	eteran's Administration		CONTACT:		
ADDRESS	. 105 4th Street SW		PHONE: _	843-9639	
ARCHITECT:	Design Collaborative SW		CONTACT:	Marc Schiff	
ADDRESS	: 105 4th Street SW		PHONE:	843-9639	
SURVEYOR:	Harris Surveying		CONTACT:	Tony Harris	· .
ADDRESS	: 2412 Monroe NE		PHONE:	889-8056	
CONTRACTOR: _	N/A		CONTACT:	•	
ADDRESS			PHONE:	·	-
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DATE SUBMITTE				25 1994	
BY: Mach		,			
Mark	Goodwin, PE				



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 29, 1994

Greg Krenik Mark Goodwin & Associates P.O. Box 90606 Albuquerque, NM 87199

RE: CONCEPTUAL DRAINAGE PLANFOR V.A. PHARMACY RESEARCH (L16-D23D) ENGINEER'S STAMP DATED 10/24/94.

Dear Mr. Krenik:

Based on the information provided on your October 25, 1994 submittal, the above referenced site is approved for Site Development for Building Permit.

Please be advised that prior to Building Permit release, the following must be addressed:

- 1. Top of curb and flowline elevation on the streets around perimeter. Elevation at property line must be one foot above the flowline, critical areas are at the proposed drivepads.
- 2. Extend roof leasers through the curb onto the asphalt areas.
- 3. Check your slope on the west side of property, 3:1 slope must be kept or a retaining wall will be required.

If you have any questions, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE Engineering Associate

BJM/dl

c: Andrew Garcia File



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 6, 1994 1995

Mark Goodwin & Associates P.O. Box 90606 Albuquerque, NM 87199

RE: REVISED DRAINAGE PLAN FOR V.A. PHARMACY RESEARCH BUILDING (L16-D23D) REVISION DATED 12/20/95.

Dear Mr. Goodwin:

Based on the information provided on your December 20, 1994 resubmittal, the above referenced site is approved for Foundation and Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the D.P.M. checklist will be required.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE Engineering Associate

BJM/dl

c: Andrew Garcia File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: _	V.A Pharmacy Building		ZONE ATLA	S/DRNG,FILE#:	(KSCH)1.
DRB #:	EPC #:	· 	WORK ORDER #:		
LEGAL DESCRIPTION	ON: Tract 7A, CAVAN Sunpor	t Center	·		
CITY ADDRESS:	International & Centre Avenue	-,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,			,
ENGINEERING FIRM ADDRESS: OWNER:Veto ADDRESS:	1:Mark Goodwin & Associates,] PO Box 90606 eran's Administration 105 4th Street SW Design Collaborative SW 105 4th Street SW	PA	PHONE: CONTACT: PHONE: CONTACT: PHONE: PHONE:	843-9639 Doug Heller 843-9639 Tony Harris 889-8056	PE
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DATE SUBMITTED:	12/20/94				*
BY: Mars	Joules .	-			

Mark Goodwin, PE

DEC 2 0 1994

D. Mark Goodwin & Associates; P.A.
Consulting Engineers and Surveyors

PROJECT_	VA Pharmacy	
	MAINAGE	
BY	MG DATE 12/20/9	4
CHECKED_	DATE	
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Essponse to CoA Comments of 12/14:

2. Enfrance Capacity of Channel as

 $Q = CLH^{3/2} = 2.9(3)(.5)^{3/2} = 3.08 \text{ cfs}$ Design Q = 0.3 cfs o.k.

Total Q in Channel = 1.8 cfs

Capacity per Manning Q = 5 cfs o.k.

3. Basins have been Added

