



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 27, 2001

Scott McGee, P.E.
Isaacson & Arfman
128 Monroe NE
Albuquerque, NM 87109

**RE: BANDELIER ELEMENTARY SCHOOL - NEW MAIN ENTRANCE (L16-D28A).
Revised GRADING PLAN FOR BUILDING PERMIT APPROVAL. ENGINEER'S
STAMP DATED April 24, 2001.**

Dear Mr. McGee:

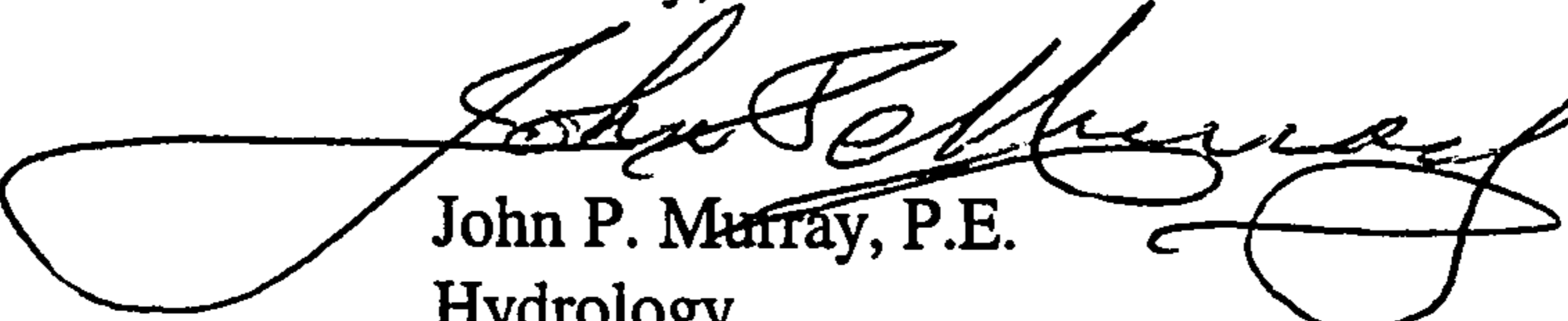
Based on the information provided on your April 25, 2001 resubmittal, the above referenced project is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: Terri Martin
File

DR DRAINAGE INFORMATION SHEET

PROJECT NAME: BANDE LIER ELEMENTARY ENTRY

ZONE ATLAS/DRNG. FILE#: L-16/D28A

DRB # _____ EPC # _____ WORK ORDER # _____

LEGAL DESCRIPTION: BANDE LIER ELEMENTARY SCHOOL

CITY ADDRESS: 3309 PERSHING AVE SE

ENGINEERING FIRM: Isaacson & Arfman, P.A. CONTACT: SCOTT MCGEE

ADDRESS: 128 Monroe Street NE PHONE: 268-8828

CITY, STATE: Albuquerque, NM ZIP CODE: 87108

OWNER: APS CONTACT: PAT McMURRAY

ADDRESS: 915 LOCUST SE PHONE: 764-9726

CITY, STATE: ALBUQ., NM ZIP CODE: 87106

ARCHITECT: MORROW REARDON WILKINSON CONTACT: DENNIS WILKINSON

ADDRESS: 210 LA VETA NE PHONE: 268.2266

CITY, STATE: ALBUQ., NM ZIP CODE: 87108

SURVEYOR: JMA CONTACT: CHUCK CALA

ADDRESS: 6010 MIDWAY PARK NE PHONE: 345-4250

CITY, STATE: ALBUQ., NM ZIP CODE: 87109

CONTRACTOR: NA CONTACT: _____

ADDRESS: _____ PHONE: _____

CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION
- OTHER

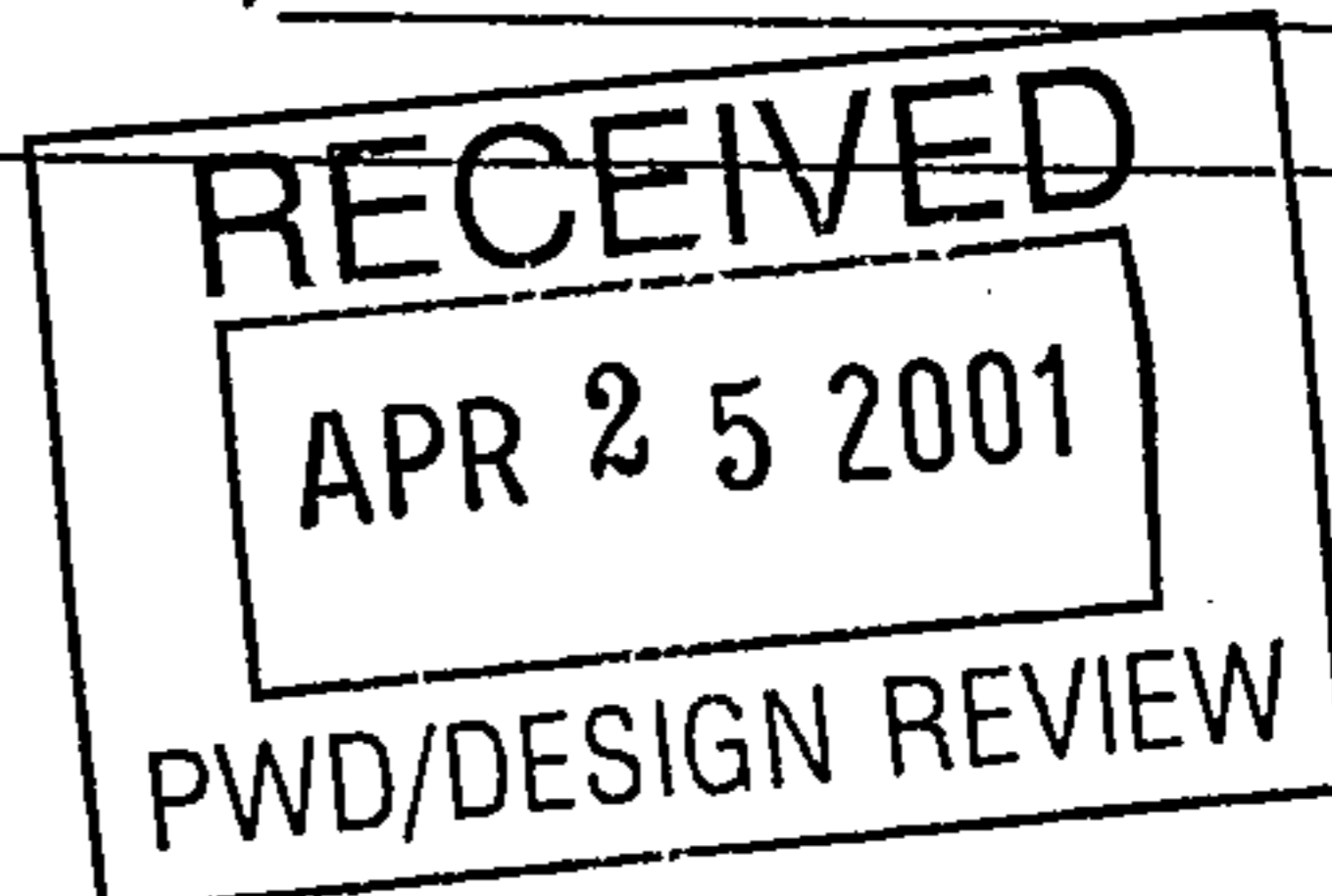
CHECK TYPE OF APPROVAL SOUGHT:

- SKETCH PLAT APPROVAL
- PRELIMINARY PLAT APPROVAL
- S.DEV. PLAN FOR SUB'D. APPROVAL
- S.DEV. PLAN FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- S.A.D. DRAINAGE REPORT
- DRAINAGE REQUIREMENTS
- OTHER (SPECIFY) _____

PRE-DESIGN MEETING:

- YES
- NO
- COPY PROVIDED

DATE SUBMITTED: 4-25-01
BY: Scott M McGee
FOR ISAACSON & ARFMAN, P.A.





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 10, 2001

Scott McGee, PE
Isaacson & Arfman
128 Monroe NE
Albuquerque, NM 87108

**Re: Bandelier Elementary School New Main Entrance Grading Plan
Engineer's Stamp dated 3-28-01, (L16/D28)**

Dear Mr. McGee,

Based upon the information provided in your submittal dated 3-30-01, the above referenced site is for Building Permit. The submittal dated 2-20-01 is now void.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions about my comments, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Hydrology

C: file

DR DRAINAGE INFORMATION SHEET

PROJECT: BANDE LIER ELEMENTARY ENTRY

ZONE ATLAS/DRNG. L-16/D28A
FILE#:

DRB # _____ EPC # _____ WORK ORDER # _____

LEGAL DESCRIPTION: BANDE LIER ELEMENTARY SCHOOL

CITY ADDRESS: 3309 PERSHING AVE SE

ENGINEERING FIRM: Isaacson & Arfman, P.A. CONTACT: SCOTT MCGEE

ADDRESS: 128 Monroe Street NE PHONE: 268-8828

CITY, STATE: Albuquerque, NM ZIP CODE: 87108

OWNER: APS CONTACT: PAT McMURRAY

ADDRESS: 915 LOCUST SE PHONE: 764-9726

CITY, STATE: ALBUQ., NM ZIP CODE: 87106

ARCHITECT: MORROW REARDON WILKINSON CONTACT: DENNIS WILKINSON

ADDRESS: 210 LA VETA NE PHONE: 268.2266

CITY, STATE: ALBUQ., NM ZIP CODE: 87108

SURVEYOR: JMA CONTACT: CHUCK CALA

ADDRESS: 6010 MIDWAY PARK NE PHONE: 345-4250

CITY, STATE: ALBUQ., NM ZIP CODE: 87109

CONTRACTOR: NA CONTACT: _____

ADDRESS: _____ PHONE: _____

CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

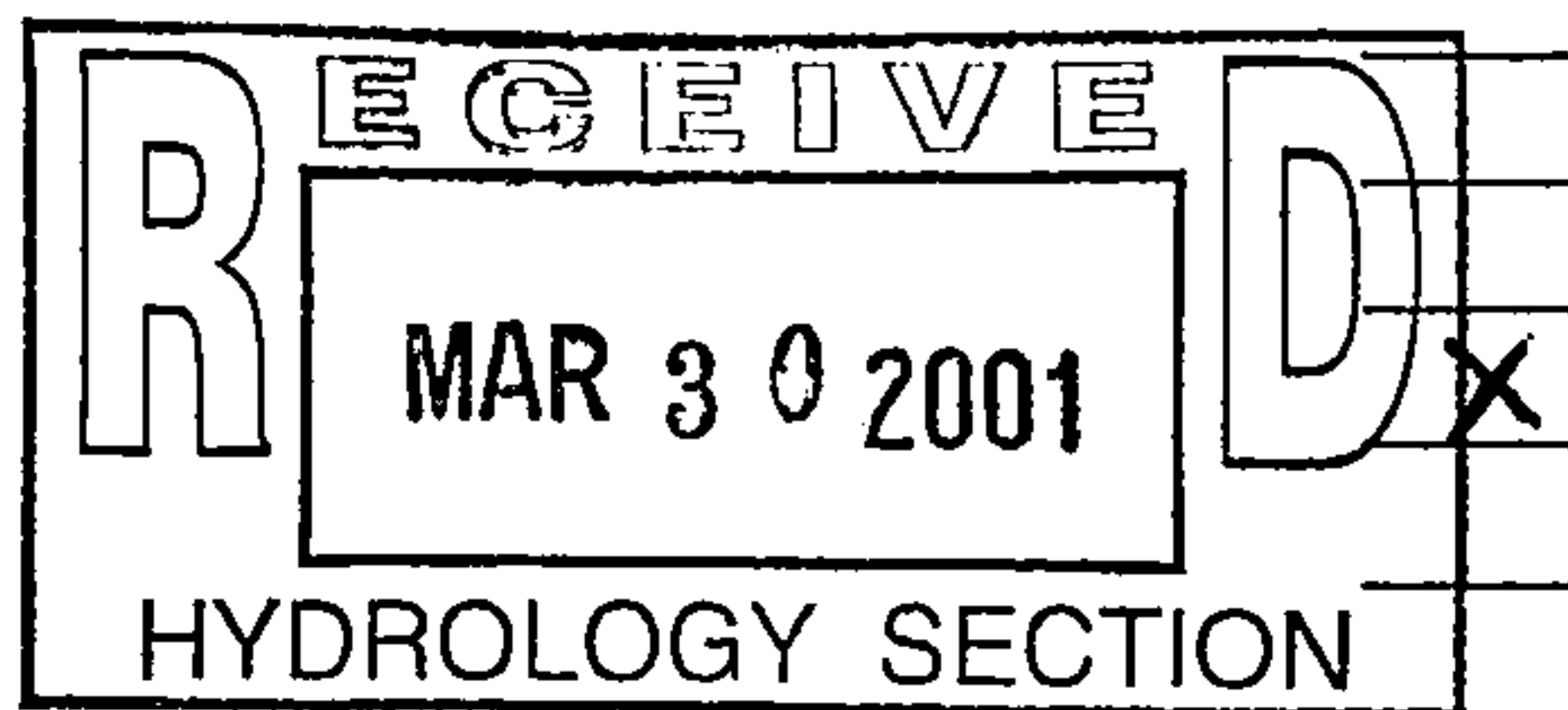
- DRAINAGE REPORT
- DRAINAGE PLAN
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION
- OTHER

PRE-DESIGN MEETING:

- YES
- NO
- COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- SKETCH PLAT APPROVAL
- PRELIMINARY PLAT APPROVAL
- S.DEV. PLAN FOR SUB'D. APPROVAL
- S.DEV. PLAN FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- S.A.D. DRAINAGE REPORT
- DRAINAGE REQUIREMENTS
- OTHER (SPECIFY) _____



DATE SUBMITTED: 3/30/01
BY: Scott M McGee
FOR ISAACSON & ARFMAN, P.A.

March 12, 2001

Loren Meinz, P.E.,
Head Hydrology Division
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

- **Case No:** L16-D028A
- **Submittal dated:** February 20, 2001 by Isaacson Arfman
- **Project Title:** Bandelier Elementary School
- **Location:** 3309 Pershing SE
- **Approval Type:** Building Permit

- **Note:** *This submittal concerns the development of the existing unpaved parking area and discharge to proposed on-site detention ponds.*

Dear Mr. Meinz:

Based on the submittal stamped February 12th, 2001, the proposed grading and drainage report does not appear to be sufficient and should not be approved at this time. The Plan refers all calculations to the 1993 master drainage plan. There are a few items that require some clarification:

- The site plan is split between two sections without being connected on the sheet. It is not possible to ascertain how the two are related with the information given.
- No basin map is included on the Plan.
- No floodplain map is included on the Plan.
- No discussion of the proposed improvements is noted on the Plan.
- It is not clear if the proposed improvements are in accordance with the 1993 master plan.
- Flood Hazard Zone X does not mean that the site is in the 100-year floodplain.

If you have any questions regarding this letter or need any clarification concerning the above project, please feel free to call me at 296-0461.

Sincerely,

Mark H. Burak, P.E.
Hydrology Consultant

DRAINAGE INFORMATION SHEET

PROJECT: BANDE LIER ELEMENTARY ENTRY

ZONE ATLAS/DRNG. L-16/D028A
FILE#:

DRB # _____ EPC # _____ WORK ORDER # _____

LEGAL DESCRIPTION: BANDE LIER ELEMENTARY SCHOOL

CITY ADDRESS: 3309 PERSHING AVE SE

ENGINEERING FIRM: Isaacson & Arfman, P.A.

ADDRESS: 128 Monroe Street NE

CITY, STATE: Albuquerque, NM

OWNER: APS

ADDRESS: 915 LOCUST SE

CITY, STATE: ALBUQ., NM

ARCHITECT: MORROW REARDON WILKINSON

ADDRESS: 210 LA VETA NE

CITY, STATE: ALBUQ., NM

SURVEYOR: JMA

ADDRESS: 6010 MIDWAY PARK NE

CITY, STATE: ALBUQ., NM

CONTRACTOR: NA

ADDRESS: _____

CITY, STATE: _____

- TYPE OF SUBMITTAL:
- DRAINAGE REPORT
 - DRAINAGE PLAN
 - CONCEPTUAL GRADING & DRAINAGE PLAN
 - GRADING PLAN
 - EROSION CONTROL PLAN
 - ENGINEER'S CERTIFICATION
 - OTHER

- PRE-DESIGN MEETING:
- YES
 - NO
 - COPY PROVIDED

- CHECK TYPE OF APPROVAL SOUGHT:
- SKETCH PLAT APPROVAL
 - PRELIMINARY PLAT APPROVAL
 - S.DEV. PLAN FOR SUB'D. APPROVAL
 - S.DEV. PLAN FOR BLDG. PERMIT APPROVAL
 - SECTOR PLAN APPROVAL
 - FINAL PLAT APPROVAL
 - FOUNDATION PERMIT APPROVAL
 - BUILDING PERMIT APPROVAL
 - CERTIFICATE OF OCCUPANCY APPROVAL
 - GRADING PERMIT APPROVAL
 - PAVING PERMIT APPROVAL
 - S.A.D. DRAINAGE REPORT
 - DRAINAGE REQUIREMENTS
 - OTHER (SPECIFY)

R E C E I V E D

FEB 20 2001

CONTACT: SCOTT MCGEE

PHONE: 268-8828

HYDROLOGY SECTION

ZIP CODE: 87108

CONTACT: PAT McMURRAY

PHONE: 764-9726

ZIP CODE: 87106

CONTACT: DENNIS WILKINSON

PHONE: 268.2266

ZIP CODE: 87108

CONTACT: CHUCK CALA

PHONE: 345-4250

ZIP CODE: 87109

CONTACT: _____

PHONE: _____

ZIP CODE: _____

DATE SUBMITTED: 2/20/01

BY: Scott M McGee

FOR ISAACSON & ARFMAN, P.A.

R E C E I V E D

FEB 20 2001

HYDROLOGY SECTION

11/21/2008

L/6/2028

Olson, Greg R.

From: Olson, Greg R.
Sent: Friday, November 21, 2008 4:44 PM
To: Verlyn Miller
Cc: Bingham, Brad L.; jo@va-architects.com; golson@cabq.gov
Subject: RE: Bandelier DI Issue
Attachments: bandelier_DI_asbuilt.pdf

Verlyn,

I think this is going to work given the existing conditions we're trying to deal with. If you want to grout the inverts to facilitate cleaning I'll leave that up to you and APS. I would not grout too much, so that there is still room for the inevitable sediment to stop in the inlet rather than being backed up in the pipe.

Prior to CO approval, we still need the full site grading plan (not just these area details), including As-Built grades and certified by a NM Registered P.E.

Call if you have any questions.

Thanks,

Greg Olson

Planning/Hydrology Section

Ph: 505-924-3981 /Fax: 924-3964

 - Please consider the environment before printing this email.

From: Verlyn Miller [mailto:vmiller@mecnm.com]
Sent: Friday, November 21, 2008 8:44 AM
To: Olson, Greg R.
Cc: Bingham, Brad L.; jo@va-architects.com
Subject: Bandelier DI Issue

Hi Greg,

The contractor has made an attempt to fix the drop inlet at Bandelier Elementary School. Attached is the as-built as submitted by Chuck Cala of High Mesa. They have hit all of the elevations this time with the exception of invert #5 on the attached sketch. The inlet pipe invert elevation is 0.14 feet lower than the outlet pipe invert elevation. I'm still not real comfortable with elevation #5 being nearly 2 tenth off and it being lower than the outlet pipe. The contractor has asked if they can try to address this by grouting the invert of the inlet. It doesn't seem like this will fix the situation. Would you take a look at it and let me know your thoughts? As you know they have been trying to get a CO for several weeks now so I'm getting a lot of pressure, but don't feel comfortable certifying this improvement without input from the City.

Thanks, Verlyn Miller

Miller Engineering Consultants, Inc.
3500 Comanche, NE
Building F
Albuquerque, NM 87107
Phone (505) 888-7500
Fax (505) 888-3800

11/24/2008

L16/D028

Project: Bardclier E.S. Dr. Cert Survey

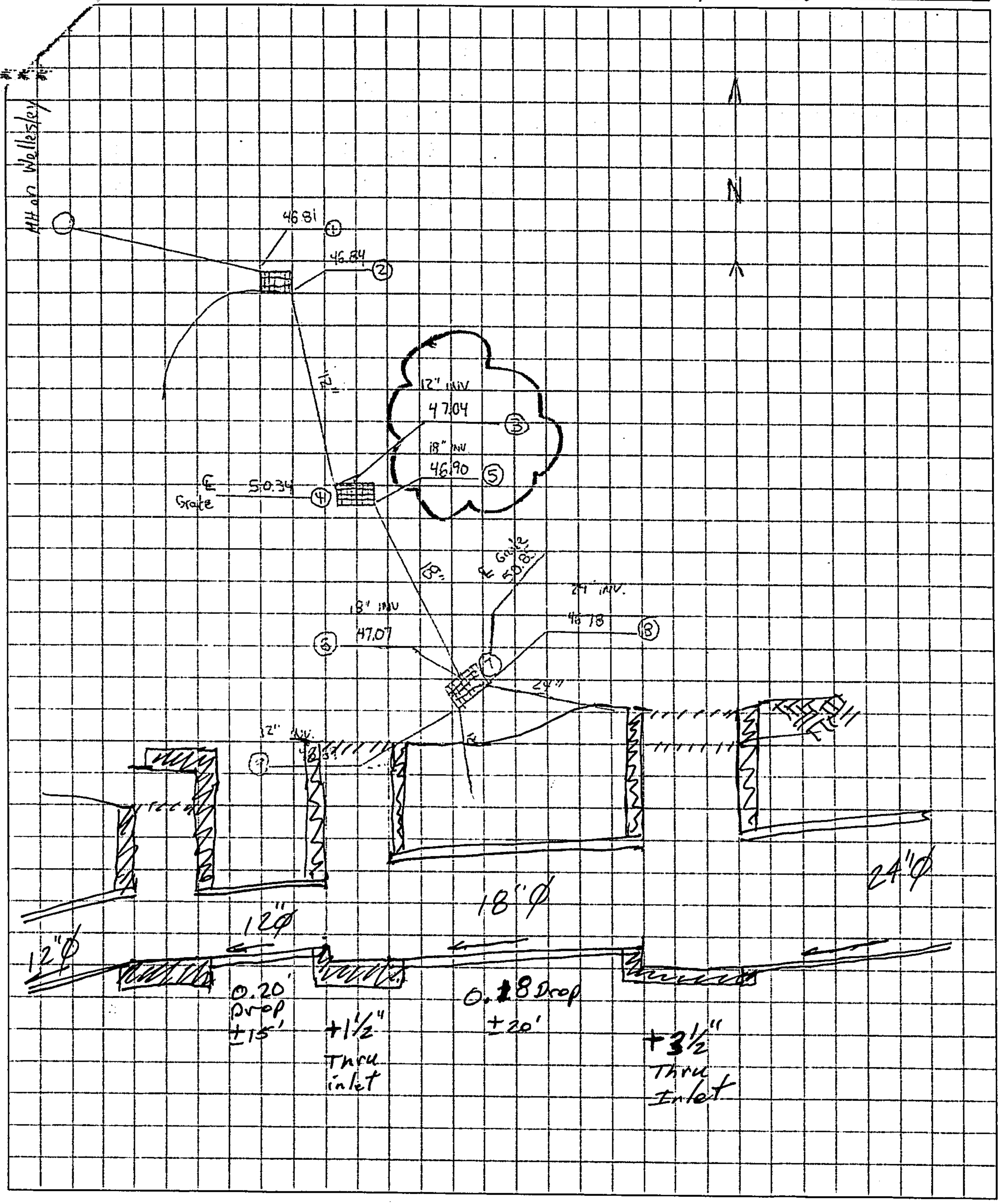
Sheet No. 1 of 2

Prepared By: Dio Dominguez Chk'd By: Chuck

Date: 11/12/08 Job No: 2008.182.7

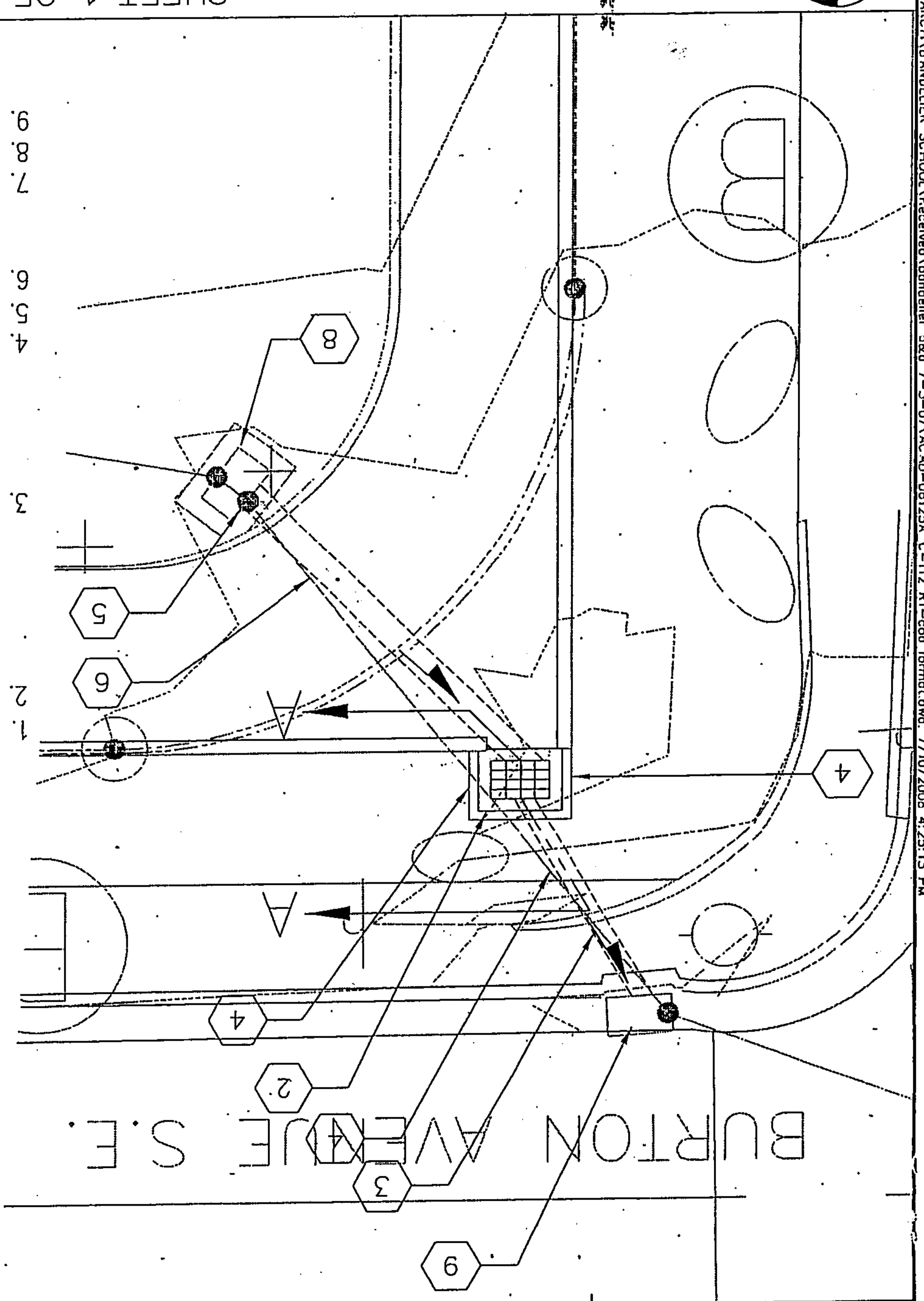
A Consulting Group

Associates, Inc.
Way Park Blvd. NE • Albuquerque, NM 87109
505.4250 • Fax: 505.345.4254 • www.highmesacg.com

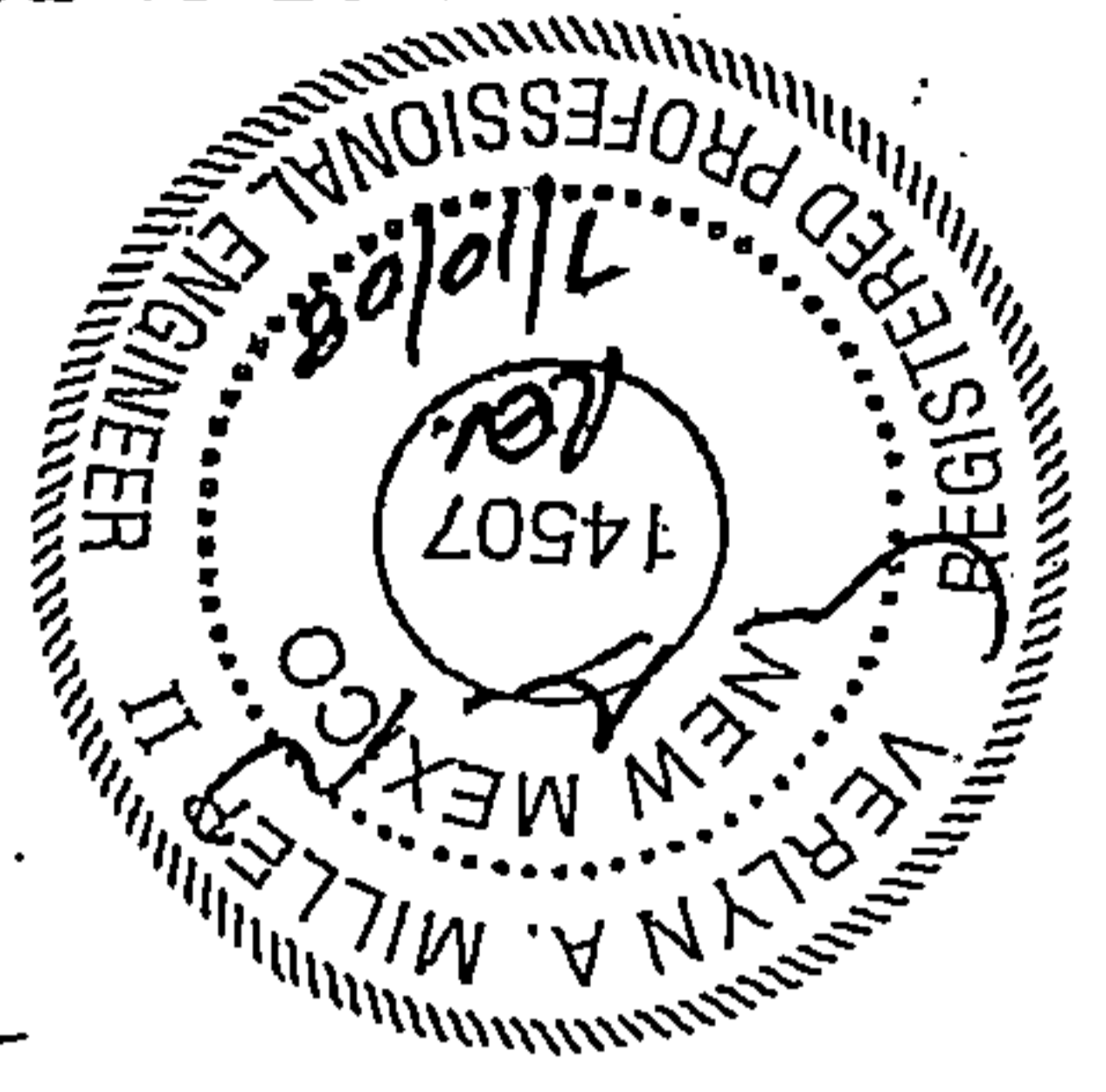




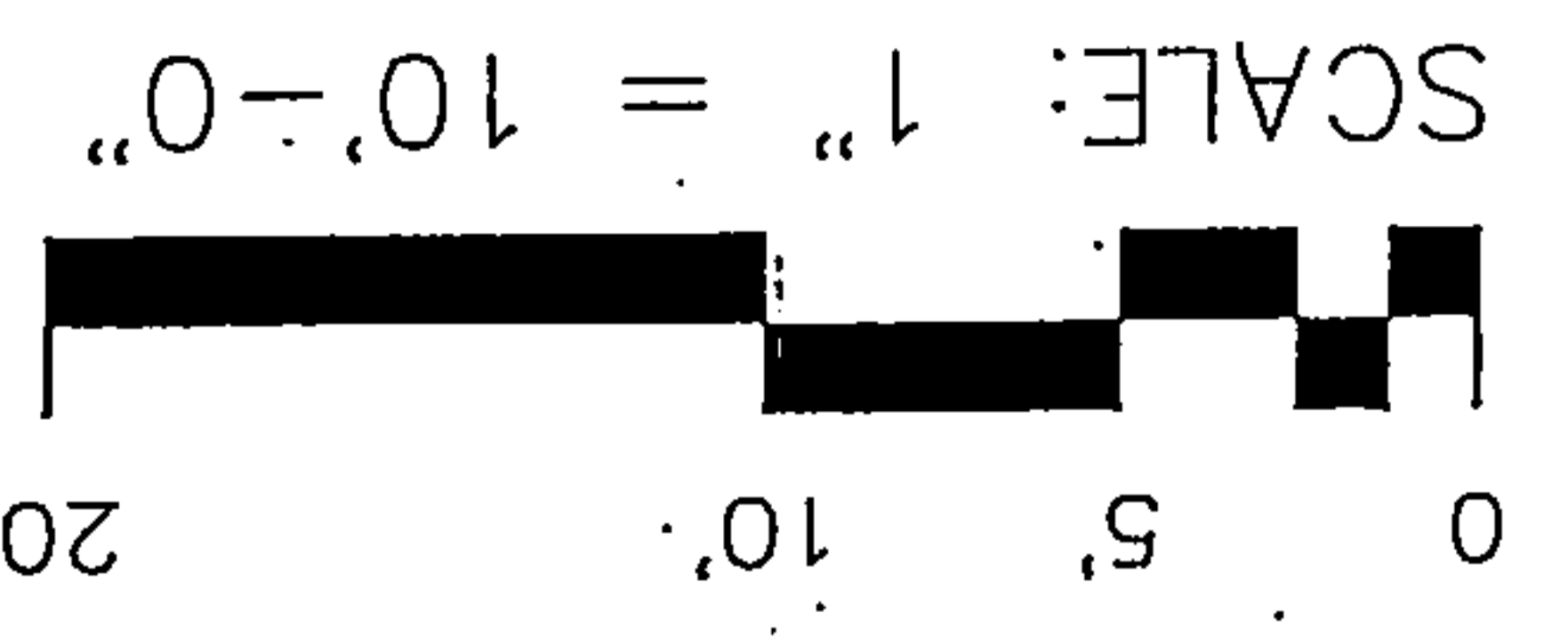
BANDELIER ELEMENTARY SCHOOL
CHANGE ORDER #1, SHEET C-112 R1



1. DELETED.
2. NEW SINGLE TYPE "D" DRAIN INLET PER COA STANDARD DRAWING #2206
TOP OF GRATE=~~50.3~~ **50.30**
INVERT (IN)=~~47.01~~ **47.08**
INVERT (OUT)=~~47.01~~ **47.08**
N: 5630.69
E: 5040.99
3. NEW 12" ϕ x 13' HDPE STORM DRAIN PIPE, S=1.5%, CONNECT TO EXISTING CURB DI IN STREET. CONTRACTOR TO FIELD VERIFY INVERT OF EXISTING CURB DI PRIOR TO CONSTRUCTION.
INVERT(IN)=~~47.01~~ **47.06**
INVERT(OUT)=~~46.81~~ **46.94**
SEE ORIGINAL STAMPED DRAWING.
4. SEE ORIGINAL STAMPED DRAWING.
5. SEE ORIGINAL STAMPED DRAWING.
6. NEW 18" ϕ x 22' HDPE STORM DRAIN PIPE, S=~~0.15%~~ **0.1%**
INVERT(IN)=~~47.11~~ **47.07**
INVERT(OUT)=~~47.01~~ **47.06**
7. DELETED.
8. SEE ORIGINAL STAMPED DRAWING.
9. EXISTING CURB DI. REMOVE ALL SILT AND DEBRIS AND FILL INVERT OF DI TO EXISTING DRAIN PIPE ELEVATION (INVERT=46.71) WITH CONCRETE, SLOPE INVERT TO DRAIN TO EXISTING DRAIN PIPE.



NOTE: SEE SHEET 2 OF 2 FOR SECTION A-A
AND NOTED



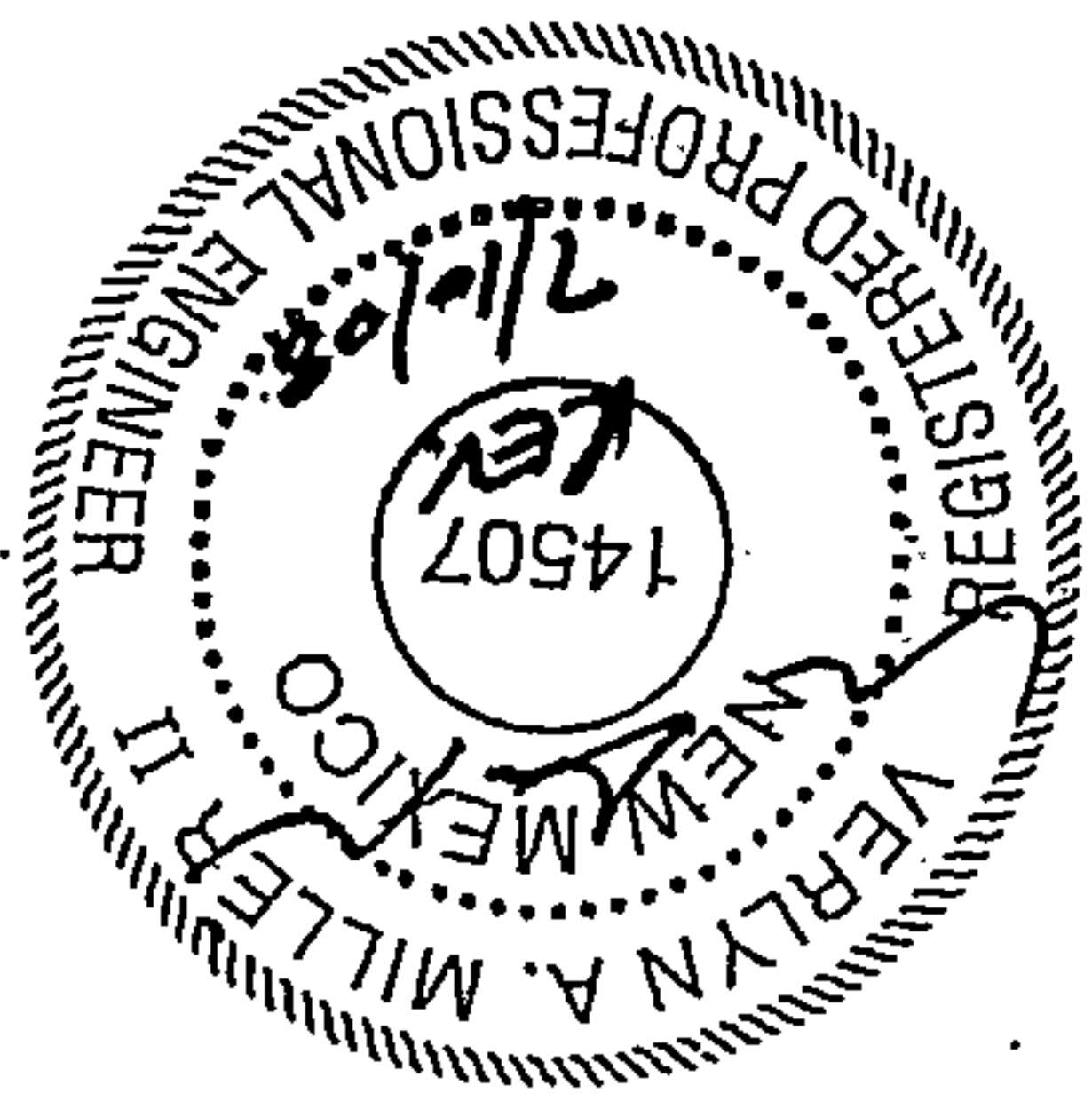
T:\Clients\ASA ARCH\BANDELLER SCHOOL\Received\ban-jeller.dwg 7-1-07\ACAD-08125A-C-112 R1-000 formol.dwg 7/10/2008 4:23:49 PM



MILLER ENGINEERING CONSULTANTS
Engineers • Planners

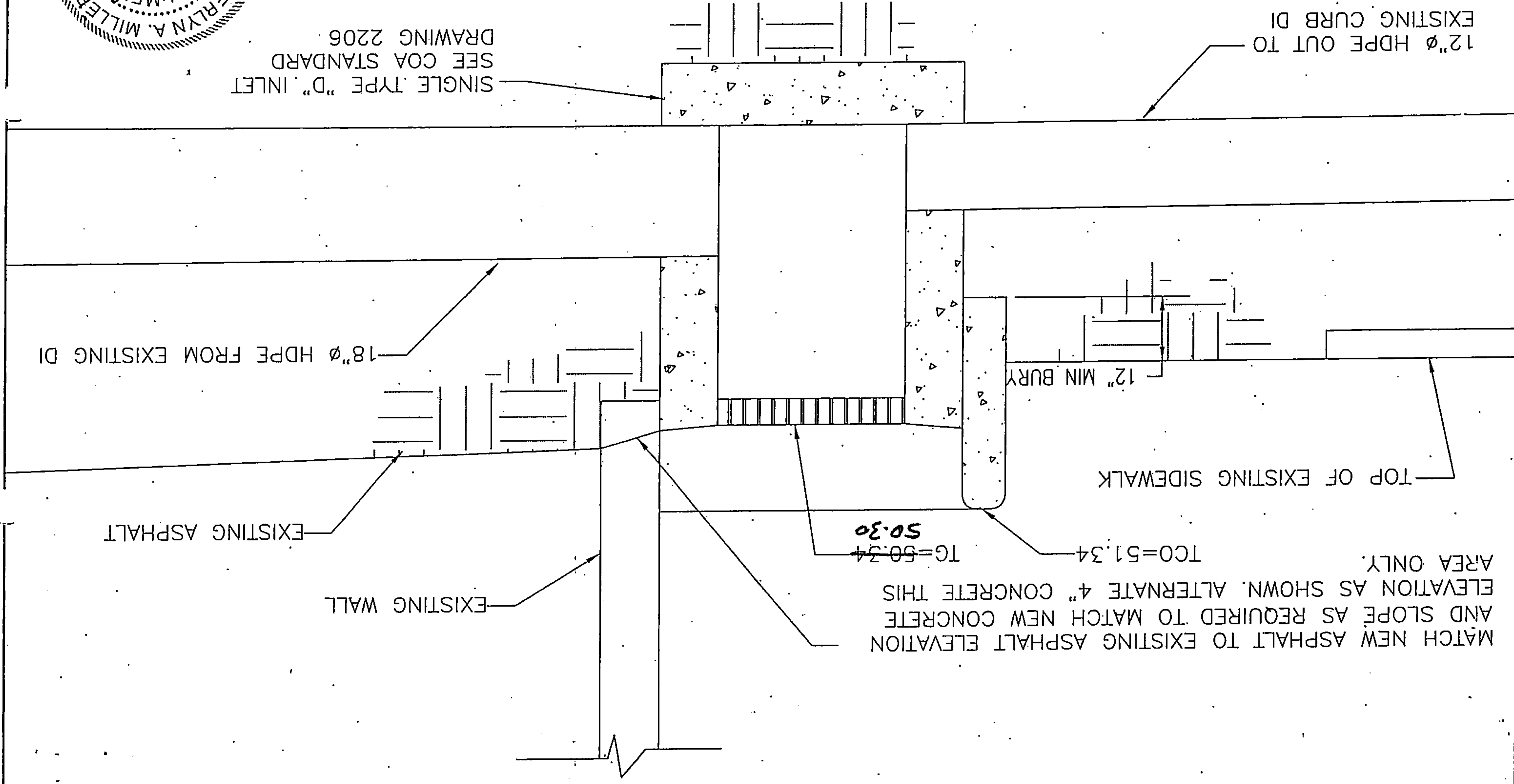
SHEET 2 OF 2
7-10-08

BANDELLER ELEMENTARY SCHOOL
CHANGE ORDER #1, SHEET C-112 R1



SINGLE TYPE "D" INLET
SEE COA STANDARD
DRAWING 2206

SECTION A-A



12" Ø HDPE OUT TO
EXISTING CURB DI

12" MIN BURY

TOP OF EXISTING SIDEWALK

18" Ø HDPE FROM EXISTING DI

EXISTING ASPHALT

EXISTING WALL

MATCH NEW ASPHALT TO EXISTING ASPHALT ELEVATION
AND SLOPE AS REQUIRED TO MATCH NEW CONCRETE
ELEVATION AS SHOWN. ALTERNATE 4" CONCRETE THIS
AREA ONLY.

TCO=51.34
TG=50.34
50.30

City of Albuquerque
Planning Department
505-924-3900 (main number)
505-924-3864 (fax number)
Development and Building Services (One Stop Shop)
Plaza Del Sol Building, 2nd Floor
600 2nd Street NW
Albuquerque, NM 87102

**City of Albuquerque
Planning Dept.
Dev. & Bldg. Svcs.**

Fax

To: RANDY CLOUD From: GREG OLSON

Copies to:

Fax: 888-3800 Pages Sent: 3 (including this page)

Phone: _____ Date: _____

Time: _____

Urgent For Review Please Comment Please Reply Please Recycle

COMMENTS: Attached

Pg 2 Part of JMA Master Plan 3/93

Pg 3 Part of your Plan with recent
survey Grades

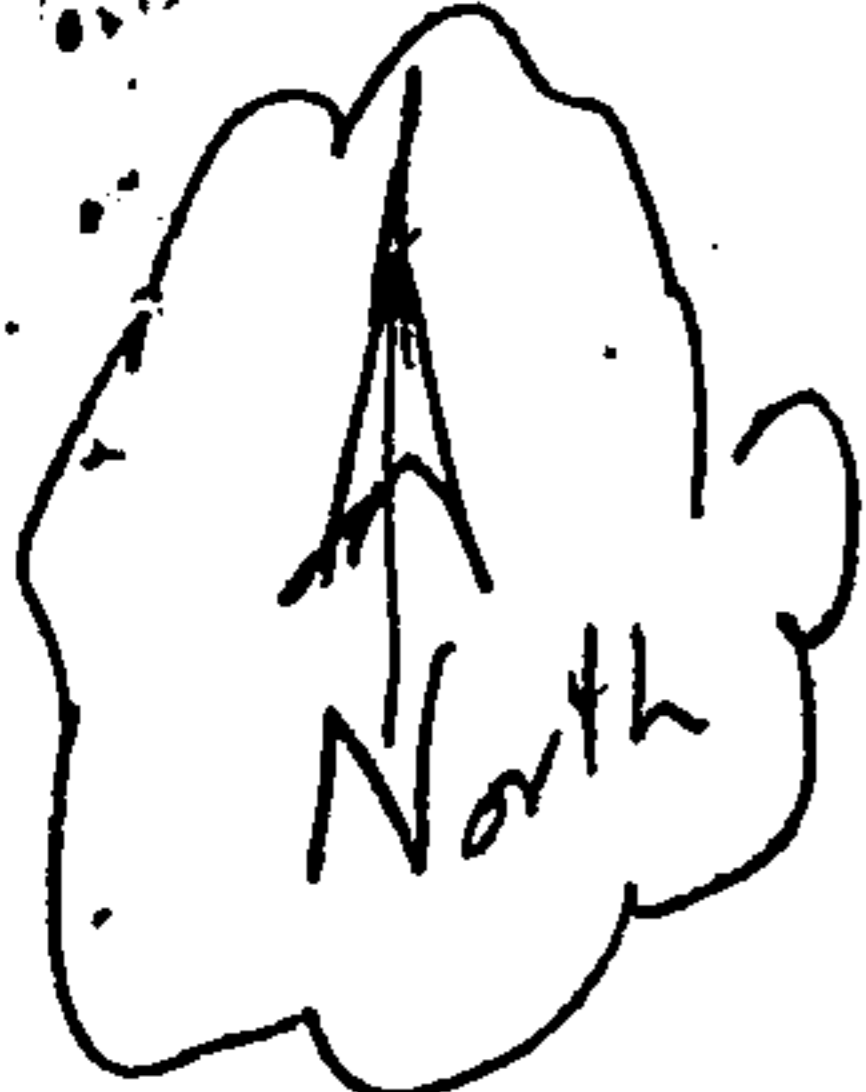
I have a meeting @ 1:30

Let's talk about 2:30(??)

Greg

①

Portion of
 Jeff Mortensen & Assoc
 Master Plans 3-25-93
 For BANDLER Elem. Site



CONSTRUCT SINGLE 'D' STORM INLET
 PER C.O.A. STD. DWG 2206
 W/8.5" DRIFCE PLATE; GRATE @ 54.10
 INV. IN @ 50.61; INV. OUT @ 50.51
 SEE SHEET 1 FOR ORIFICE
 INSTALLATION SECTION

EXISTING STORM INLET
 CONNECT 12" DIA. S.D. TO
 STORM INLET PER C.O.A. STD.
 DWG. 2237
 INV. @ 45.60

INSTALL 200 ± LF. 24" S.D. @ S=0.018

TC 49.66
 TG 48.70
 INV. 45.10

BURTON

49.2
 S-74

24" TC 51.52
 FL 50.90

FL 54.21

TC 49.79
 FL 49.14

EAST

INSTALL 30± LF
 12" STORM DRAIN
 @ S=0.0403
 @ CAP @ 49.66

L-16

CONSTRUCT SINGLE 'D' STORM INLET PER C.O.A. STD. DWG. NO. 2206.
 GRATE @ 50.95
 INV. IN (24") @ 46.81
 INV. IN (12") @ 47.01
 INV. OUT @ 46.81
 BOTTOM @ 44.81

INSTALL 41± L.F.
 12" S.D. @ S=0.0200

TC 54.14
 FL 53.53

EXIST. STORM INLET TO REMAIN.
 EXIST. 4.5" DIA. PIPE @
 OUTLET TO BE ABANDONED
 IN PLACE. GRATE @ 53.0.
 INV. OUT @ 47.83.

REMOVE AND REPLACE EXISTING
 PAVEMENT PER C.O.A. D.P.M.
 SECTION 701.8. TRENCH
 EXCAVATIONS TO CONFORM WITH
 CONDITIONS OF C.O.A. SECTION 701.10.

INSTALL 105±
 LF 24" STOR
 DRAIN @
 S=0.018

EXISTING
 PAVING
 TO BE
 REMOVED.

WELLESLEY DRIVE S.E.
 I V E

TC 58.46
 FL 57.83

EXISTING ASPHALT

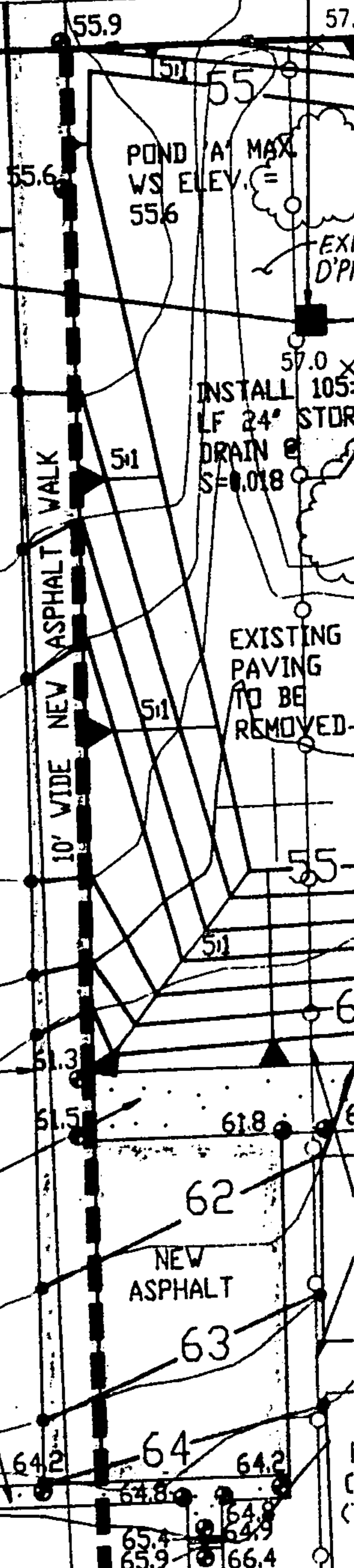
NEW CONCRETE SIDEWALK

EXISTING SIDEWALK

MATCH EXISTING GRADE, TYP.

10' WIDE NEW ASPHALT WALK

NEW ASPHALT





MILLER ENGINEERING CONSULTANTS

Engineers • Planners

FAX TRANSMITTAL COVER SHEET

TO: GREGORY R. OLSON

FAX NO.: 924 3864 DATE: 7-8-8

FROM: RANDY CLOUD / VERLYN MILLER

FAX NO.: (505) 888-3800 TELEPHONE NO.: (505) 888-7500

This transmission will have 2 pages, including this cover sheet. If you do not receive all pages, please call (505) 888-7500.

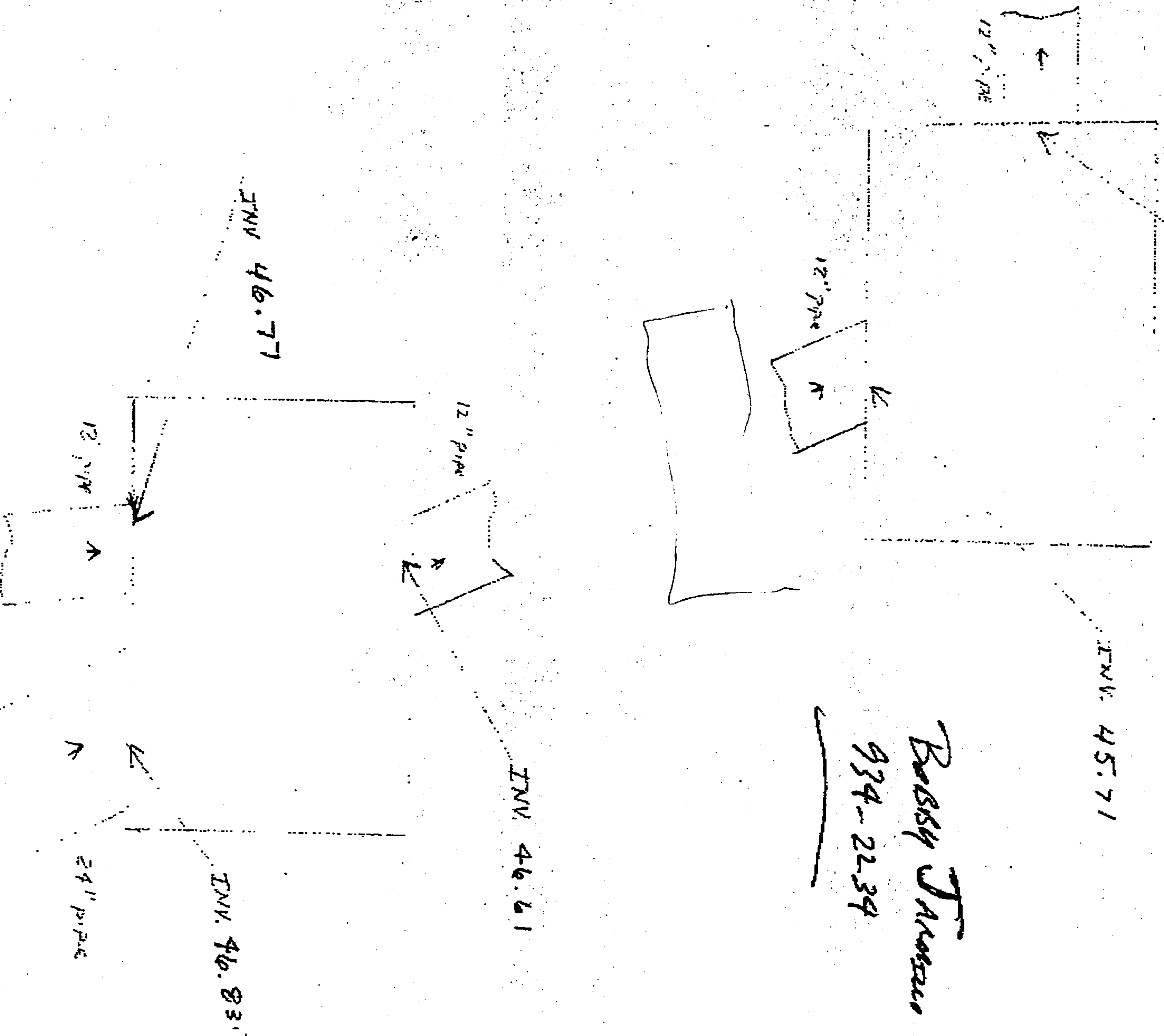
RE: BANELIER ELEM. DROP INLET(S)

NOTES: FOLLOWING PLEASE FIND SKETCH OF
DI'S WITH INVERTS PER YOUR CONVERSATION
WITH VERLYN.

THANK YOU
RANDY CLOUD

★ INV. 46.71

Handwritten notes: *Handwritten notes*



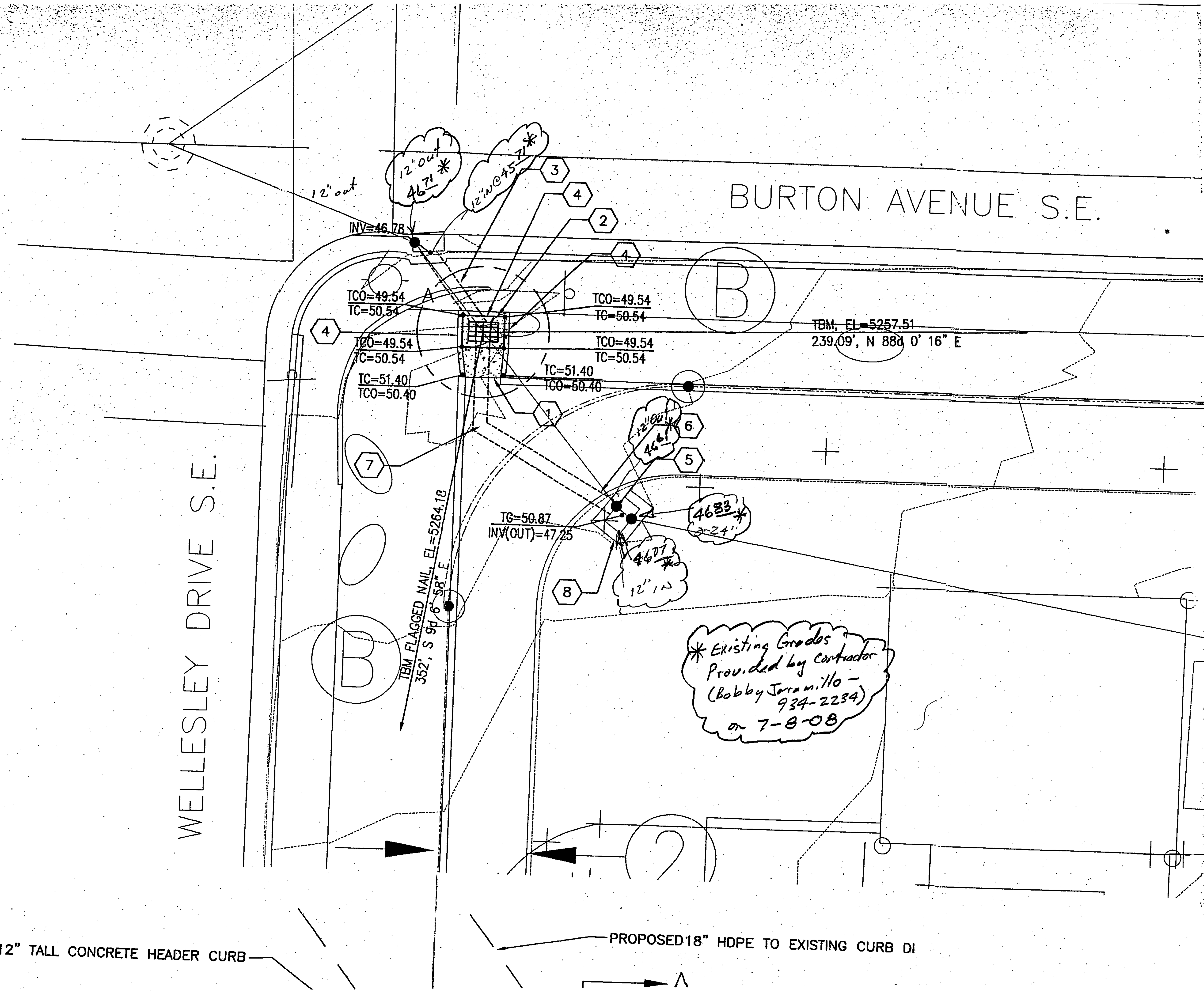
Bobby Thomas
934-2234

D
C

12" TALL CONCRETE HEADER CURB

WELLESLEY DRIVE S.E.

BURTON AVENUE S.E.



11

Hydrology

Tyler Ashton, PE
Wilson & Co.
4900 Lang Ave NE
Albuquerque, NM 87109

Hydrology

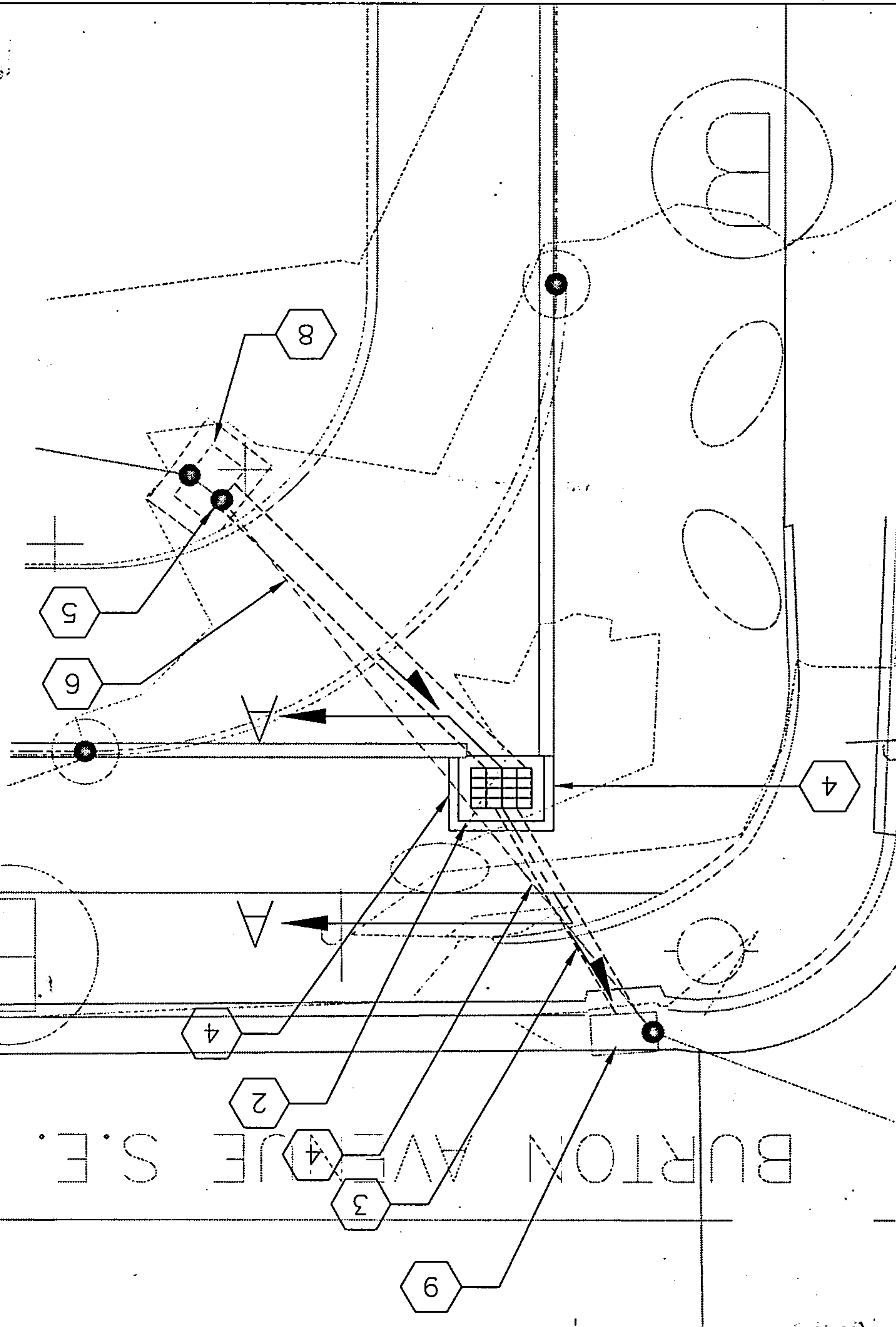
Jeffery G. Mortensen, P.E.
High Mesa Consulting Group
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

T:\Clients\ASA ARCH\BANDELLER SCHOOL\Received\Banderer - 3rd 7-1-07\ACAD-06125A C-112.dwg 10/2008 4:25:13 PM

WELLESLEY DR.



MILLER ENGINEERING CONSULTANTS
Engineers • Planners



SHEET 1 OF 2
7-10-08

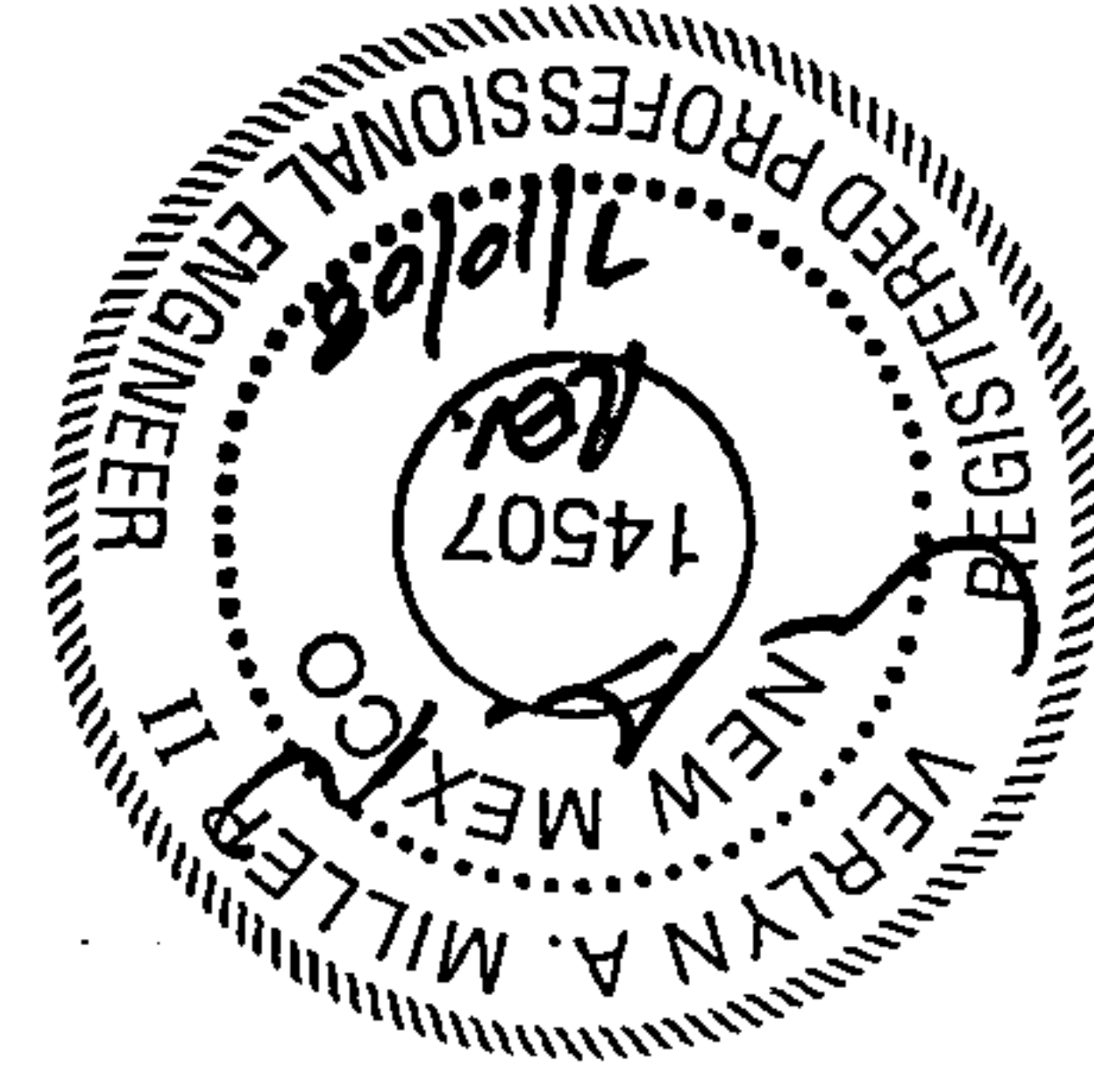
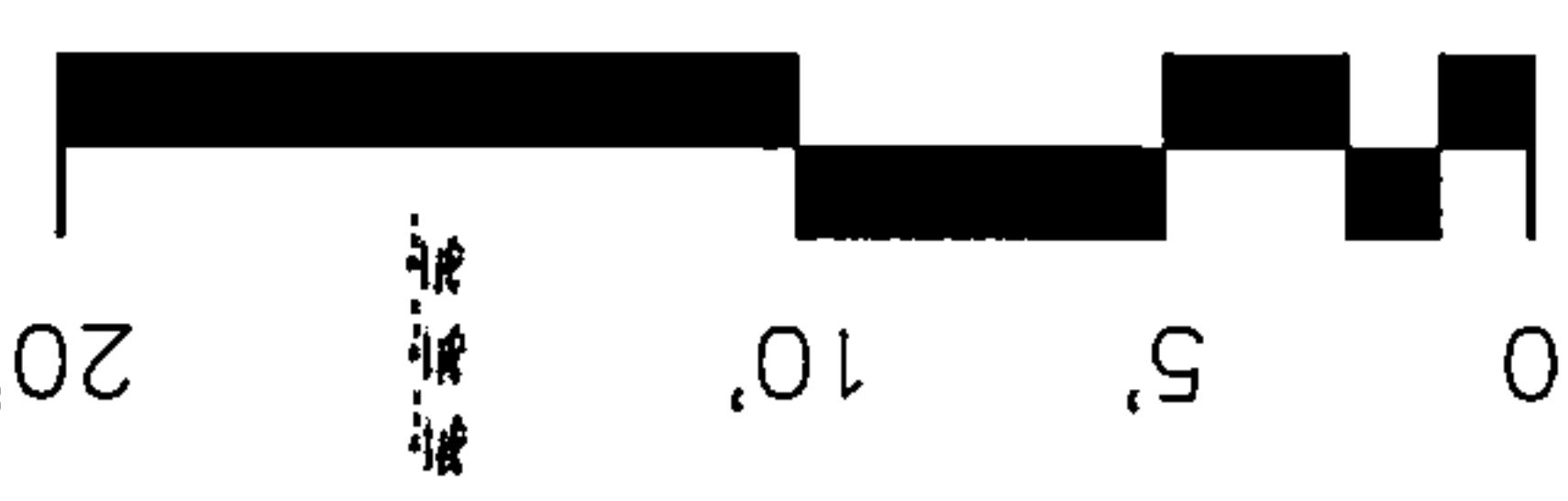
BANDELLER ELEMENTARY SCHOOL
CHANGE ORDER #1, SHEET C-112 R1

- 1. DELETED.
- 2. NEW SINGLE TYPE "D" DRAIN INLET PER COA STANDARD DRAWING #2206
TOP OF GRATE=50.34
INVERT (IN)=47.01
INVERT (OUT)=47.01
N: 5630.69
E: 5040.99
- 3. NEW 12"Ø x 13' HDPE STORM DRAIN PIPE, S=1.5%, CONNECT TO EXISTING CURB DI IN STREET. CONTRACTOR TO FIELD VERIFY INVERT OF EXISTING CURB DI PRIOR TO CONSTRUCTION.
INVERT(IN)=47.01
INVERT(OUT)=46.81
- 4. SEE ORIGINAL STAMPED DRAWING.
INVERT(IN)=47.11
INVERT(OUT)=47.01
- 5. SEE ORIGINAL STAMPED DRAWING.
- 6. NEW 18"Ø x 22' HDPE STORM DRAIN PIPE, S=0.45%
INVERT(IN)=47.11
INVERT(OUT)=47.01
- 7. DELETED.
- 8. SEE ORIGINAL STAMPED DRAWING.
- 9. EXISTING CURB DI. REMOVE ALL SILT AND DEBRIS AND FILL INVERT OF DI TO EXISTING DRAIN PIPE ELEVATION (INVERT=46.71) WITH CONCRETE, SLOPE INVERT TO DRAIN TO EXISTING DRAIN PIPE. *Seal w/ Non-Sunk Grout*

RECEIVED
JUL 11 2008
HYDROLOGY SECTION

NOTE: SEE SHEET 2 OF 2 FOR SECTION A-A
AND NOTED

SCALE: 1" = 10'-0"



T:\Clients\ASA ARCH\BANDIELER SCHOOL\Received\bandelier 3rd 7-3-07\ACAD-06125A-C-112 R1-coa format.dwg 7/10/2008 4:23:49 PM



MILLER ENGINEERING CONSULTANTS
Engineers • Planners

SHEET 2 OF 2
7-10-08

BANDELER ELEMENTARY SCHOOL
CHANGE ORDER #1, SHEET C-112 R1



SINGLE TYPE "D" INLET
SEE COA STANDARD
DRAWING 2206

SECTION A-A

12" Ø HDPE OUT TO
EXISTING CURB DI

12" MIN BURY

TOP OF EXISTING SIDEWALK

MATCH NEW ASPHALT TO EXISTING ASPHALT ELEVATION
AND SLOPE AS REQUIRED TO MATCH NEW CONCRETE
ELEVATION AS SHOWN. ALTERNATE 4" CONCRETE THIS
AREA ONLY.

TCO=51.34
TG=50.34

EXISTING WALL

EXISTING ASPHALT

18" Ø HDPE FROM EXISTING DI

RECEIVED
JUL 11 2008
HYDROLOGY
SECTION

CITY OF ALBUQUERQUE



December 21, 2007

Verlyn Miller, PE
Miller Engineering Consultants
3500 Comanche Blvd NE, Bldg F
Albuquerque, NM 87107

**Re: Bandelier Elementary School Grading and Drainage Plan Addendum
3309 Pershing SE
Engineer's Stamp dated 12-12-07, (L16/D28)**

Dear Mr. Miller,

Based upon the information provided in your submittal dated 12-12-07, the above referenced plan is approved for SO#19 Permit. This work must be certified and accepted by the City Storm Drain Inspector (Duane Schmitz, 235-8016) prior to issuance of the Certificate of Occupancy of the main project.

If you have any questions, please contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Principal Engineer, Planning Dept
Development and Building Services

C: Duane Schmitz, Storm
Antoinette Baldonado, Permits
file

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

L-16/1028

PROJECT TITLE: BANDELIER ELEMENTARY ZONE MAP/DRG. FILE # L-16-2
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: BLOCKS 9, 10, & 11 MONTEREY ADDITION
CITY ADDRESS: 3309 Porching

ENGINEERING FIRM: MILLER ENGINEERING CONTACT: JOHN JACQUEZ
ADDRESS: 3500 COMANCHE NE PHONE: 888-7500
CITY, STATE: ALBUQUERQUE, NM 87107 ZIP CODE: 87107

OWNER: APS CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: ASA ARCHITECTS CONTACT: JOE MONTEGUE
ADDRESS: 1630 4477 IRVING NW, SUITE A PHONE: 890-5030
CITY, STATE: ALBUQ., NM ZIP CODE: 87114

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

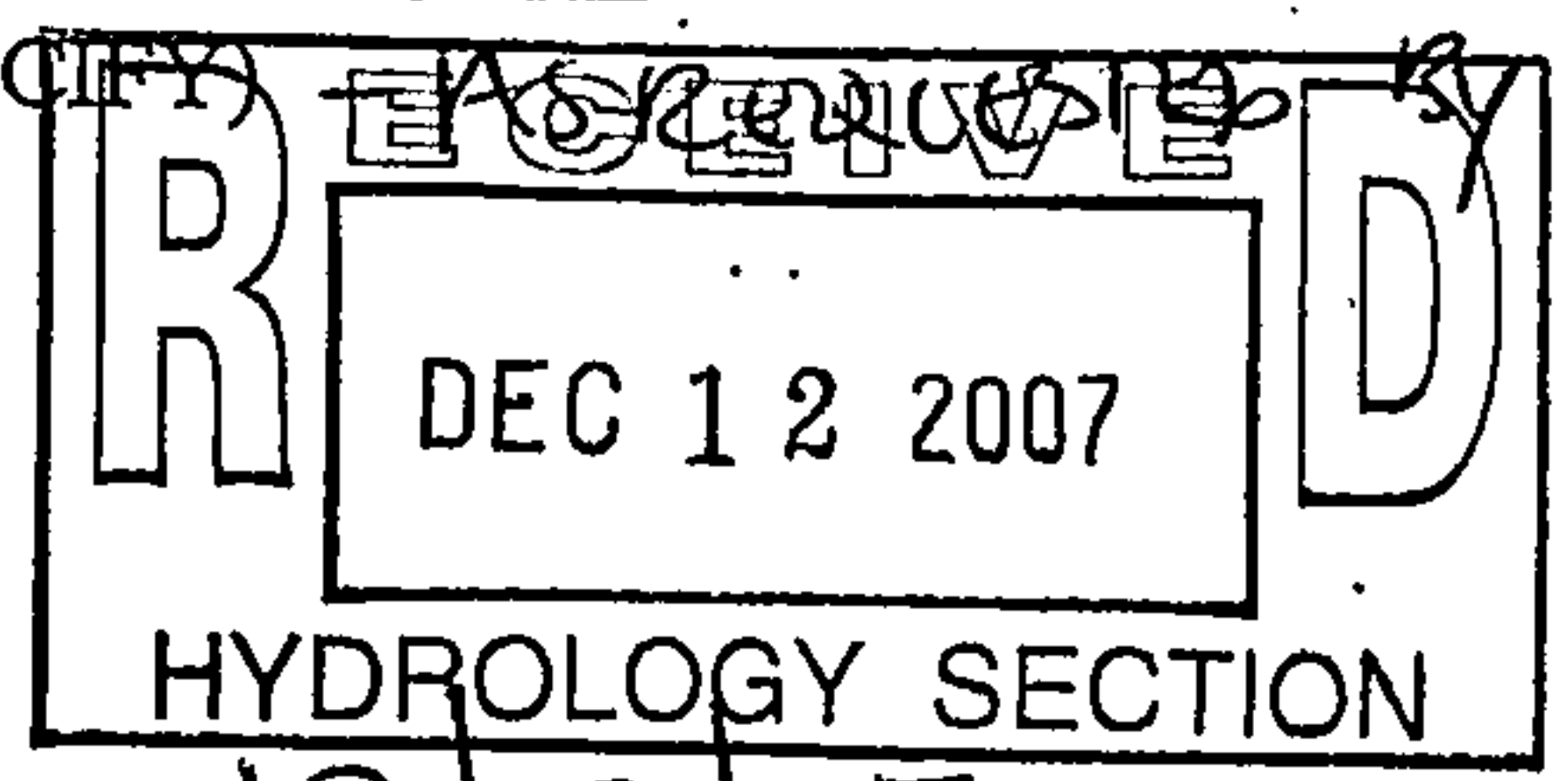
CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

- TYPE OF SUBMITTAL:
- DRAINAGE REPORT
 - DRAINAGE PLAN 1st SUBMITTAL
 - DRAINAGE PLAN RESUBMITTAL
 - CONCEPTUAL G & D PLAN
 - GRADING PLAN
 - EROSION CONTROL PLAN
 - ENGINEER'S CERT (HYDROLOGY)
 - CLOMR/LOMR
 - TRAFFIC CIRCULATION LAYOUT
 - ENGINEER/ARCHITECT CERT (TCL)
 - ENGINEER/ARCHITECT CERT (DRB S.P.)
 - ENGINEER/ARCHITECT CERT (AA)
 - OTHER (SPECIFY)

- CHECK TYPE OF APPROVAL SOUGHT:
- SIA/FINANCIAL GUARANTEE RELEASE
 - PRELIMINARY PLAT APPROVAL
 - S. DEV. PLAN FOR SUB'D APPROVAL
 - S. DEV. FOR BLDG. PERMIT APPROVAL
 - SECTOR PLAN APPROVAL
 - FINAL PLAT APPROVAL
 - FOUNDATION PERMIT APPROVAL
 - BUILDING PERMIT APPROVAL
 - CERTIFICATE OF OCCUPANCY (PERM)
 - CERTIFICATE OF OCCUPANCY (TEMP)
 - GRADING PERMIT APPROVAL
 - PAVING PERMIT APPROVAL
 - WORK ORDER APPROVAL
 - OTHER (SPECIFY)

R

SD-17



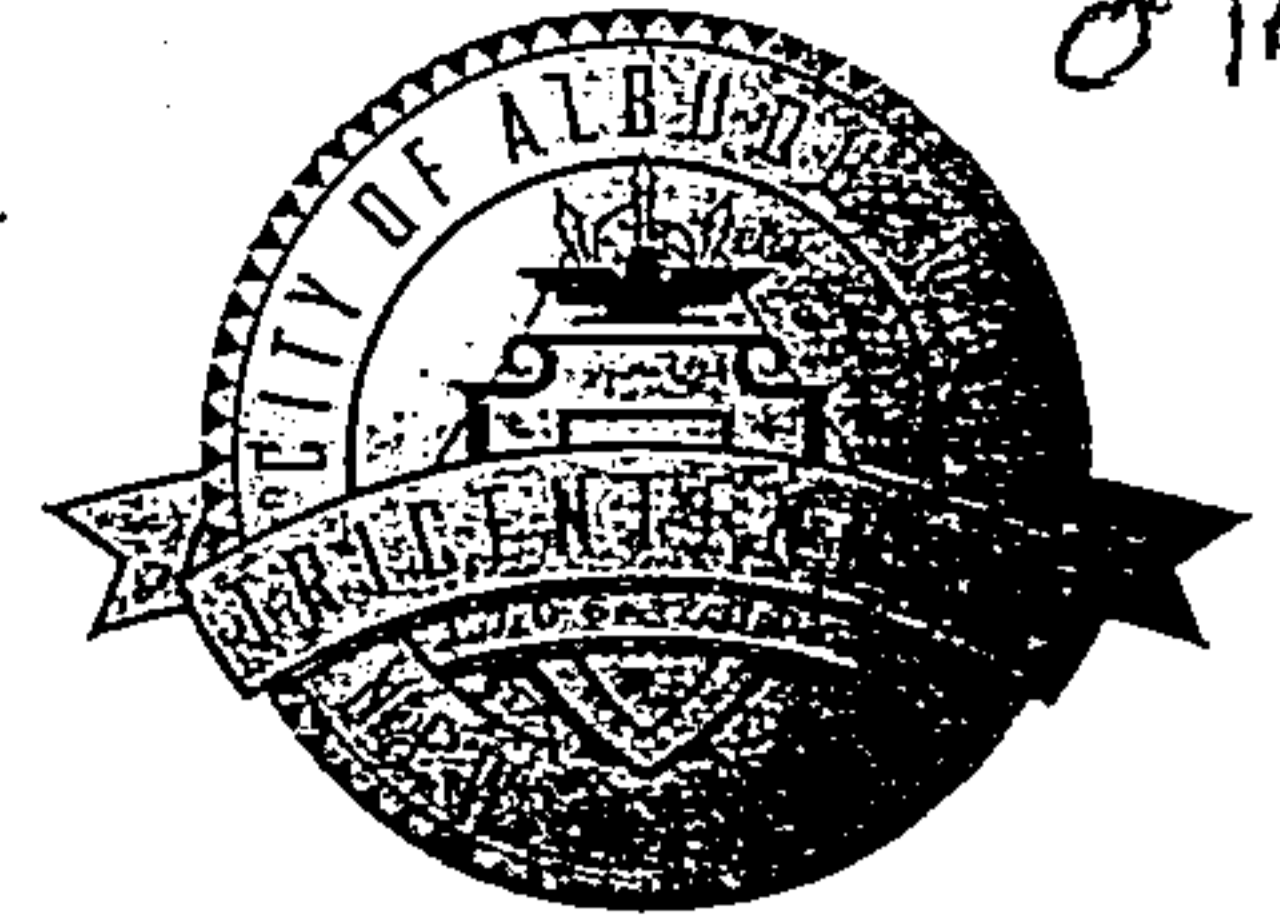
WAS A PRE-DESIGN CONFERENCE ATTENDED:..
 YES
 NO
COPY PROVIDED

SUBMITTED BY: Diana Zell DATE: 12/12/07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



September 17, 2007

Verlyn A. Miller, P.E.
Miller Engineering Consultants
3500 Comanche Blvd. NE, Bldg F
Albuquerque, NM 87107

Re: Bandelier Elementary School Ph. II Addition and Renovations Grading and Drainage Plan

Engineer's Stamp dated 9-13-07 (L16/D028)

Dear Mr. Miller,

Based upon the information provided in your submittal dated 9-17-07, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release:

- Engineer Certification per the DPM checklist will be required.
- A submittal must be received by Hydrology to install a Type "D" inlet in the northwest corner of the site and tie it into the back of the inlet in Burton Ave., as previously discussed.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Engineering Associate, Planning Dept.
Development and Building Services

C: file

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services



July 11, 2008

Mr. Verlyn A. Miller, P.E.
Miller Engineering Consultants
3500 Comanche Boulevard N.E., Bldg. F
Albuquerque, New Mexico 87107

RE: **Bandelier Elementary School - 3309 Pershing SE**
Change Order #1 to Grading & Drainage Plan
for Building Permit and SO-19

(L16-D 028)

(PE Stamped 07-10-08)

Dear Mr. Miller,

Based upon the information provided in your submittal received 7-11-08, the above referenced change order is approved for Building Permit & SO 19 Permit, with the condition that the pipe connection to existing City inlet must be sealed with non-shrink grout.

P.O. Box 1293

Please incorporate these revisions into the Certified Grading and Drainage Plan required for Certificate of Occupancy.

Albuquerque

A separate permit is required for the construction within City ROW and "SO-19" connection to the existing inlet. A copy of this approval letter must be on hand when applying for the excavation/barricading permit.

New Mexico 87103

To obtain a Building CO, an Engineer Certification of the Grading Plan is required per the DPM, and the storm drain work in the City ROW must be inspected and accepted.

Please contact Duane Schmitz, 235-8016, to schedule an inspection of the SO-19 work.

www.cabq.gov

If you have any questions, you can contact me at 924-3981.

Sincerely,

Handwritten signature of Gregory R. Olson, dated 7/11/08.

Gregory R. Olson, P.E.
Hydrology Section

XC: Bradley Bingham, COA-PLN/Hydrology
Antoinette Baldonado, Excavation and Barricading
Duane Schmitz, Street/Storm Drain Maintenance (w/ Copy of Plan)
Drainage file: L16 - D 028

WELLSLEY DR.

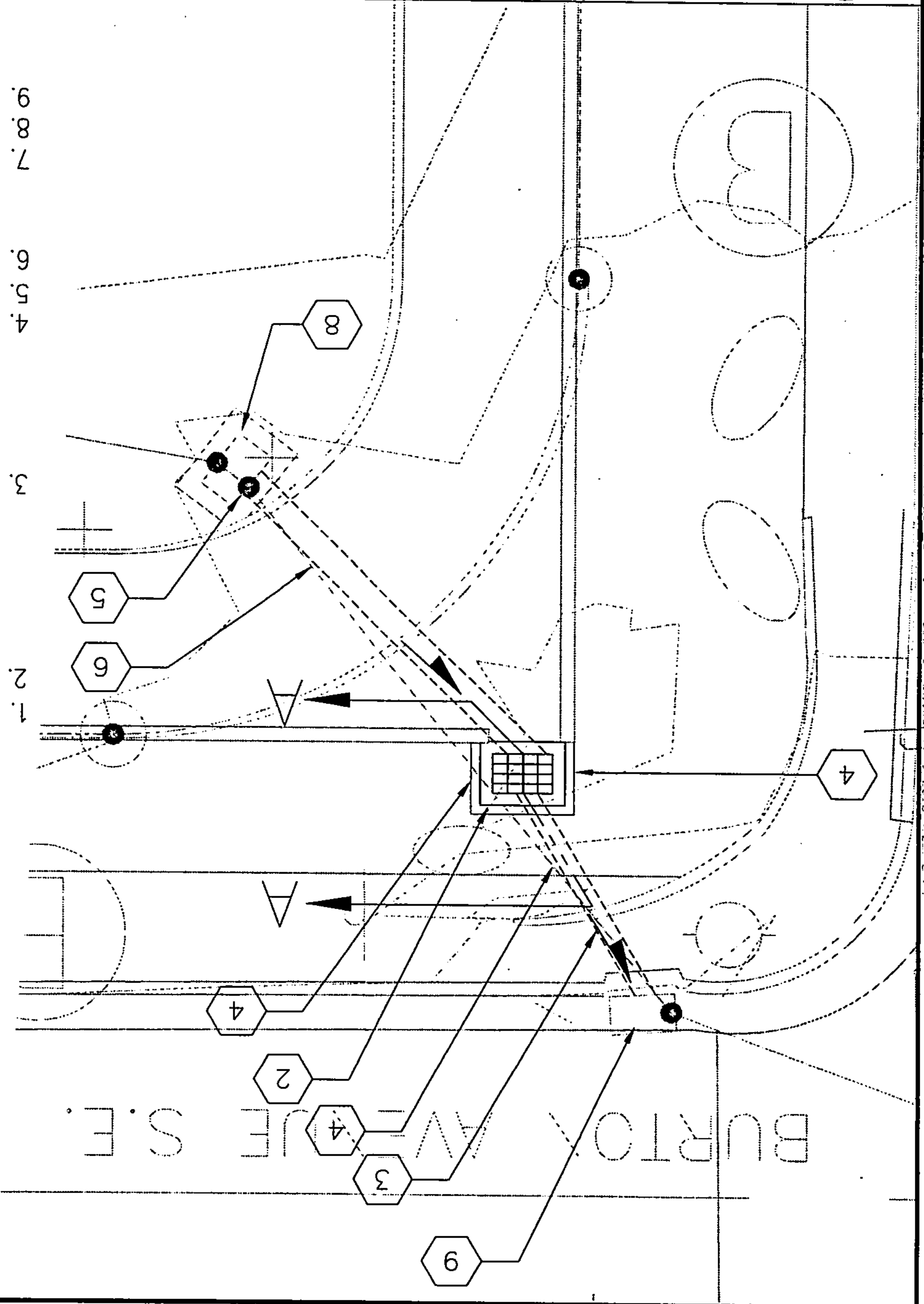
PLAN OF BANDAILED SCHOOL, BANDAILED, MASSACHUSETTS



MILLER ENGINEERING CONSULTANTS
Engineers • Planners

SHEET 1 OF 2
7-10-08

BANDELLER ELEMENTARY SCHOOL
CHANGE ORDER #1, SHEET C-112-R1

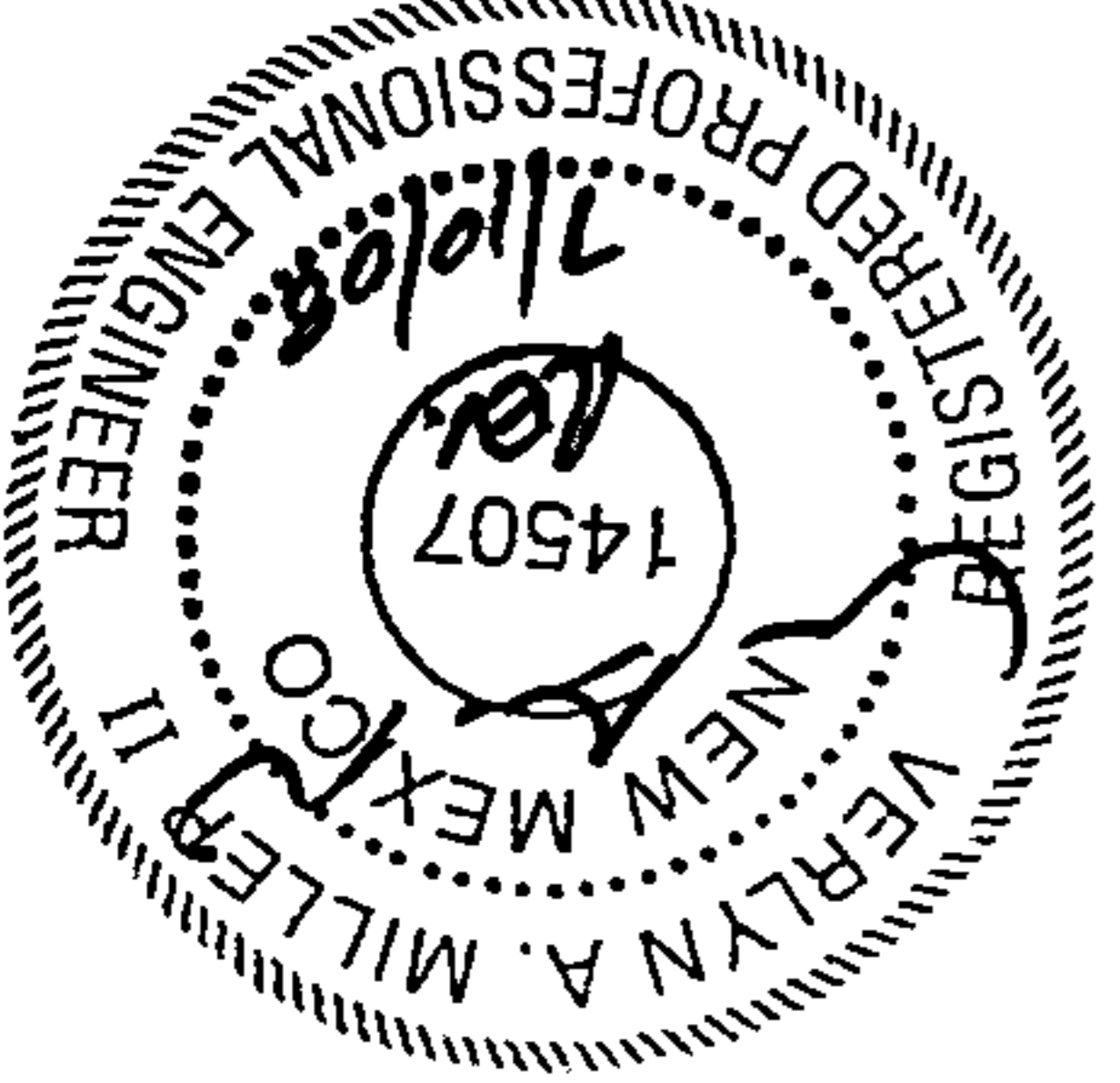
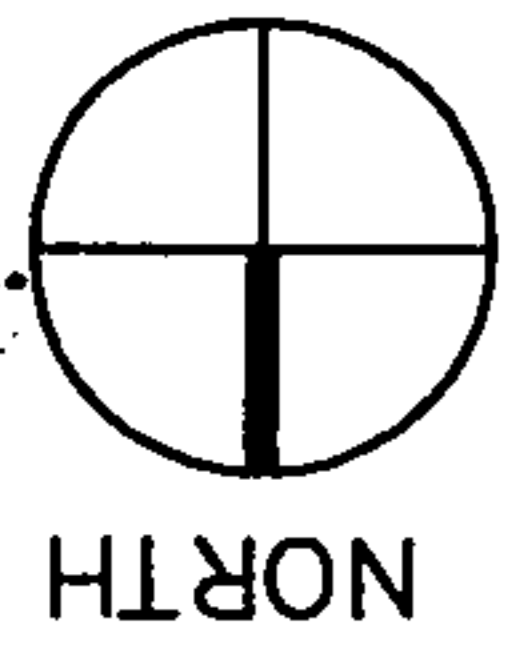
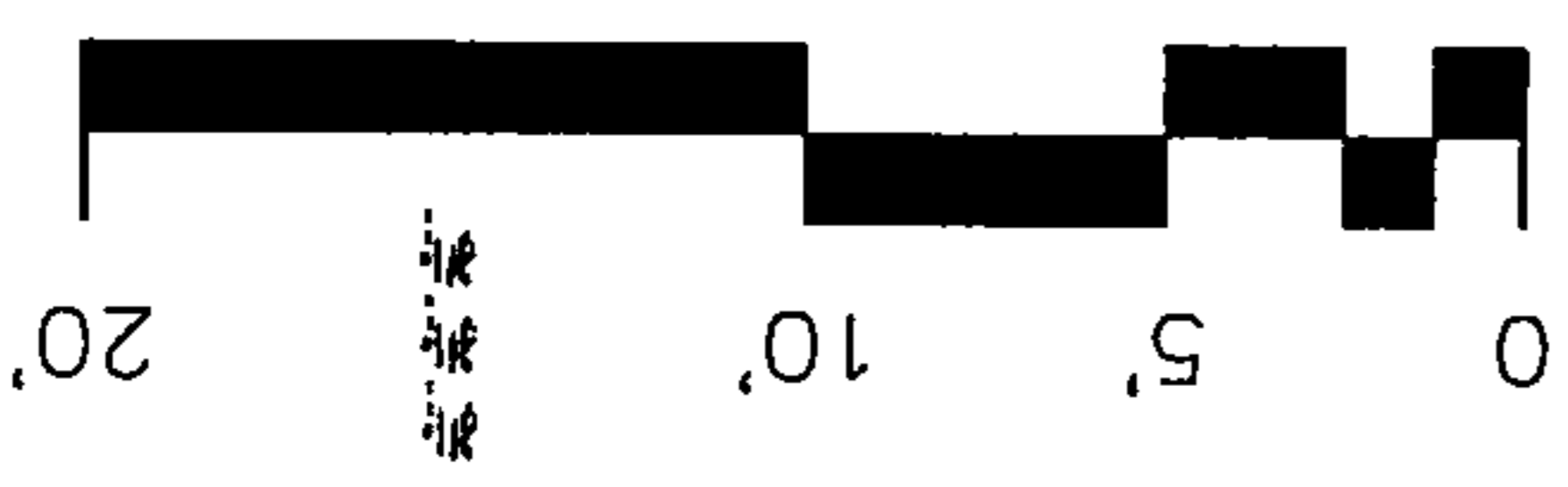


- 1. DELETED.
- 2. NEW SINGLE TYPE "D" DRAIN INLET PER COA STANDARD DRAWING #2206
TOP OF GRATE=50.34
INVERT (IN)=47.01
INVERT (OUT)=47.01
N: 5630.69
E: 5040.99
- 3. NEW 12" ϕ x 13' HDPE STORM DRAIN PIPE, S=1.5%, CONNECT TO
EXISTING CURB DI IN STREET. CONTRACTOR TO FIELD VERIFY INVERT OF
EXISTING CURB DI PRIOR TO CONSTRUCTION.
INVERT(IN)=47.01
INVERT(OUT)=46.81
- 4. SEE ORIGINAL STAMPED DRAWING.
INVERT(OUT)=46.81
- 5. SEE ORIGINAL STAMPED DRAWING.
- 6. NEW 18" ϕ x 22' HDPE STORM DRAIN PIPE, S=0.45%.
INVERT(IN)=47.11
INVERT(OUT)=47.01
- 7. DELETED.
- 8. SEE ORIGINAL STAMPED DRAWING.
- 9. EXISTING CURB DI. REMOVE ALL SILT AND DEBRIS AND FILL INVERT OF DI TO
EXISTING DRAIN PIPE ELEVATION (INVERT=46.71) WITH CONCRETE, SLOPE
INVERT TO DRAIN TO EXISTING DRAIN PIPE. *Seal w/ Non-Swink GROUT #10*

RECEIVED
JUL 11 2008
HYDROLOGY
SECTION

NOTE: SEE SHEET 2 OF 2 FOR SECTION A-A
AND NOTED

SCALE: 1" = 10'-0"

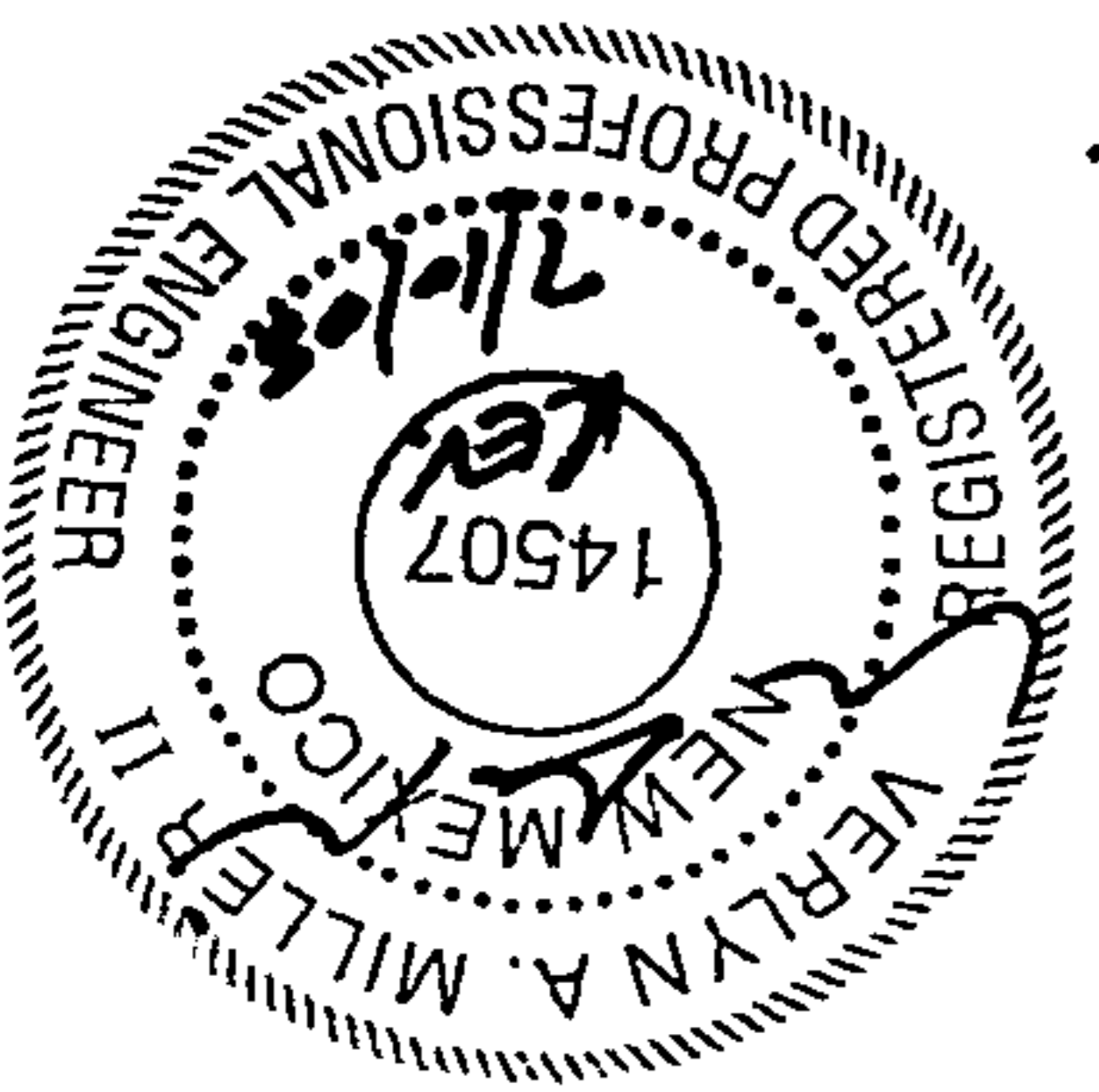




MILLER ENGINEERING CONSULTANTS
Engineers • Planners

SHEET 2 OF 2
7-10-08

BANDELIER ELEMENTARY SCHOOL
CHANGE ORDER #1, SHEET C-112 R1



SECTION A-A

SINGLE TYPE "D" INLET
SEE COA STANDARD
DRAWING 2206

12" Ø HDPE OUT TO
EXISTING CURB DI

18" Ø HDPE FROM EXISTING DI

12" MIN BURY

TOP OF EXISTING SIDEWALK

EXISTING ASPHALT

EXISTING WALL

MATCH NEW ASPHALT TO EXISTING ASPHALT ELEVATION
AND SLOPE AS REQUIRED TO MATCH NEW CONCRETE
ELEVATION AS SHOWN. ALTERNATE 4" CONCRETE THIS
AREA ONLY.

TCO=51.34

TG=50.34

RECEIVED
JUL 11 2008
HYDROLOGY
SECTION

14507 VERLYN A. MILLER REGISTERED PROFESSIONAL ENGINEER NEW MEXICO

07/11/2008 11:36 9243864

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

D 028

PROJECT TITLE: BANDELIER ELEMENTARY ZONE MAP: L-16-2
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: BLOCKS 9, 10 & 11 MONTEREY ADDITION
CITY ADDRESS: _____

ENGINEERING FIRM: MILLER ENGINEERING CONTACT: JOHN JACQUEZ
ADDRESS: 3500 COMANCHE NE BLDG. F PHONE: 888 7500
CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87107

OWNER: APS CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: ASA ARCHITECTS CONTACT: JO MONTEGUE
ADDRESS: 7477 IRVING NW SUITE A PHONE: 890 5030
CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87114

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1" SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- OTHER (SPECIFY)

CHECK TYPE OF APPROVAL SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TEMP)
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- OTHER (SPECIFY) CHANGE ORDER #1

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- YES
- NO
- COPY PROVIDED

DATE SUBMITTED: 7-11-08 BY: RANDY CLOUD

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



MILLER ENGINEERING CONSULTANTS

Engineers • Planners

LETTER OF TRANSMITTAL

TO GREGORY OLSON
CITY OF ALBUQUENQUE
HYDROLOGY SECTION

DATE	<u>11. JULY. 08</u>	JOB NO.	<u>E-07-030</u>
ATTENTION			
RE:	<u>BANDELIER ADDITION</u>		

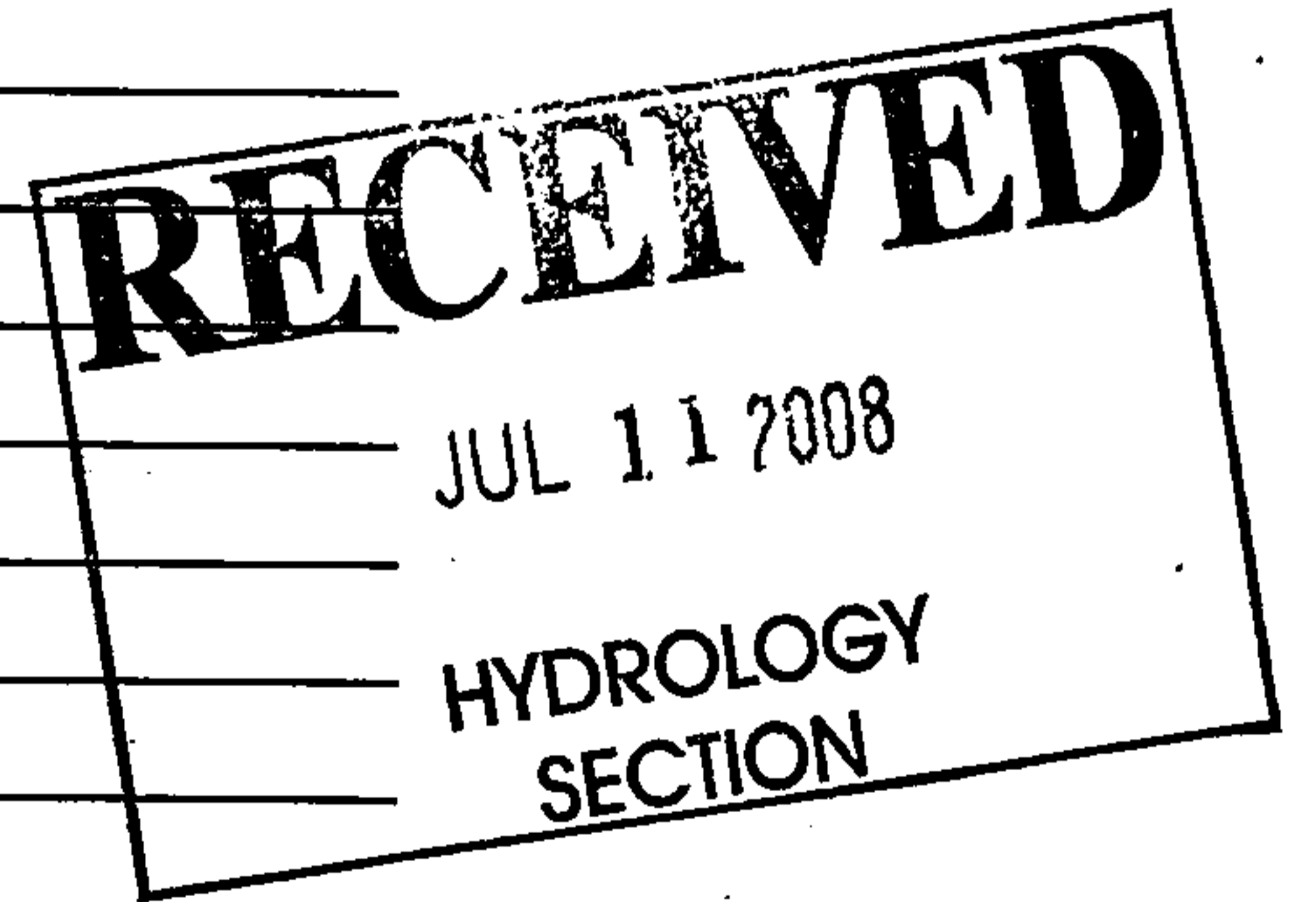
GENTLEMEN:
WE ARE SENDING YOU ATTACHED THE FOLLOWING ITEMS:

COPIES	DATE	NO.	DESCRIPTION
			<u>2 PAGES BANDELIER CHANGE ORDER #</u>

THESE ARE TRANSMITTED as checked below:

For Approval
 For Your Use
 As Requested
 For Review & Comment
 Other _____

REMARKS _____



COPY TO MEC FILE SIGNED: COLLIN RICHTER

CITY OF ALBUQUERQUE



September 17, 2007

Verlyn A. Miller, P.E.
Miller Engineering Consultants
3500 Comanche Blvd. NE, Bldg F
Albuquerque, NM 87107

Re: Bandelier Elementary School Ph. II Addition and Renovations Grading and Drainage Plan

Engineer's Stamp dated 9-13-07 (L16/D028)

Dear Mr. Miller,

Based upon the information provided in your submittal dated 9-17-07, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release:

- Engineer Certification per the DPM checklist will be required.
- A submittal must be received by Hydrology to install a Type "D" inlet in the northwest corner of the site and tie it into the back of the inlet in Burton Ave., as previously discussed.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Engineering Associate, Planning Dept.
Development and Building Services

C: file

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

FAX LETTER

TO

SD @ ASA Arch

FAX 890-5031

U

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 01/06)

PROJECT TITLE: BANDELIER ELEMENTARY ZONE MAP/DRG. FILE # 1-16-2028
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: BLOCKS 9, 10, & 11 MONTEKEY EDITION
 CITY ADDRESS: _____

ENGINEERING FIRM: MILLER ENGINEERING CONS. CONTACT: JOHN JACQUEZ
 ADDRESS: 3500 COMMUNHE NE, BLDG. F PHONE: 888-7500
 CITY, STATE: ALBUQ., NM 87107 ZIP CODE: _____

OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: ASA ARCHITECTS CONTACT: 30 MONTELUCE
 ADDRESS: 1630 ALAMEDA BLVD. NW PHONE: 896-5030
 CITY, STATE: ALBUQ., NM 87114 ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

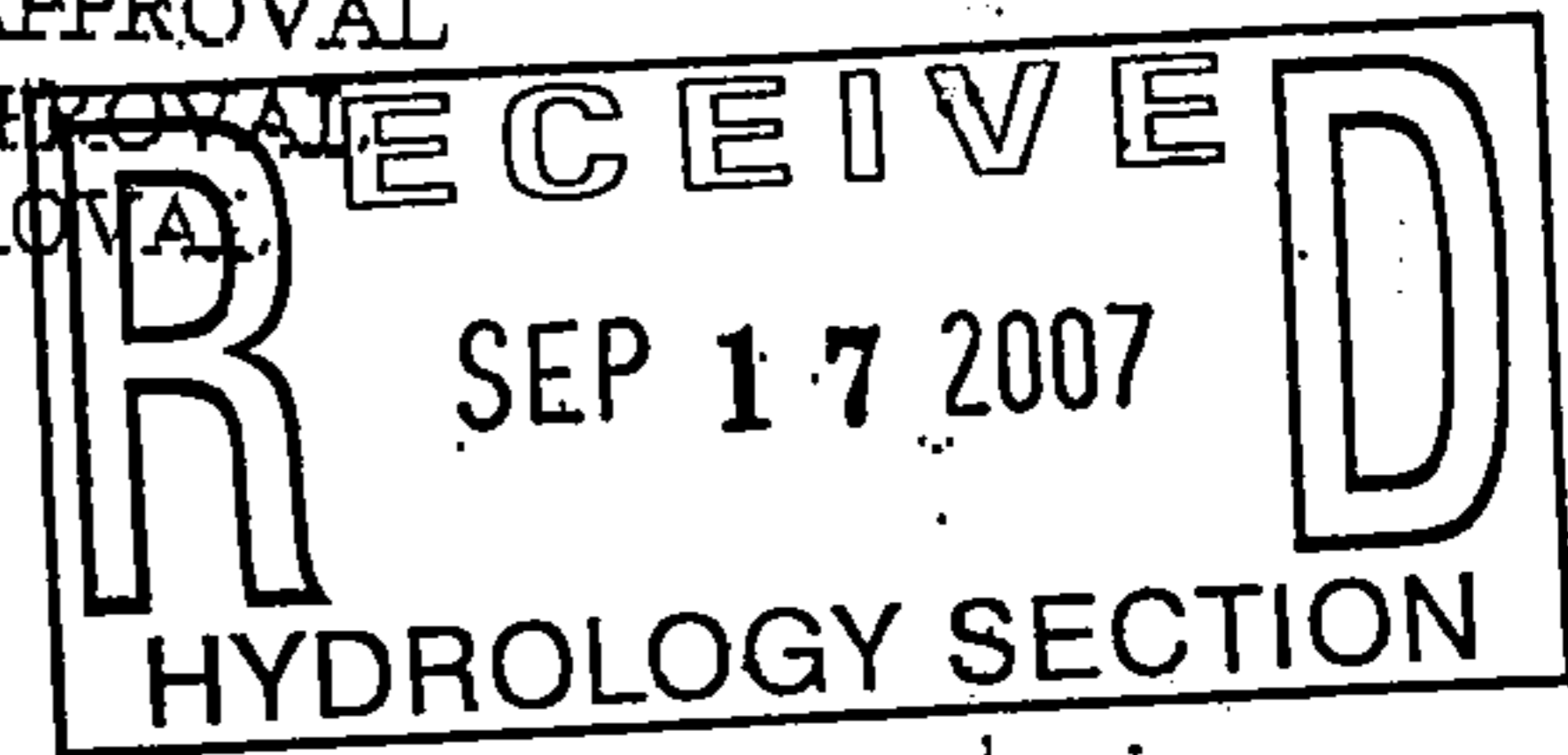
PROFESSIONAL LICENSED SURVEYOR SIGNATURE	LICENSE NO.	DATE

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

- TYPE OF SUBMITTAL:**
- DRAINAGE REPORT
 - DRAINAGE PLAN 1st SUBMITTAL
 - DRAINAGE PLAN RESUBMITTAL
 - CONCEPTUAL G & D PLAN
 - GRADING PLAN
 - EROSION CONTROL PLAN
 - ENGINEER'S CERT (HYDROLOGY)
 - CLOMR/LOMR
 - TRAFFIC CIRCULATION LAYOUT
 - ENGINEER/ARCHITECT CERT (TCL)
 - ENGINEER/ARCHITECT (DRB SITE PLAN)
 - OTHER

- CHECK TYPE OF APPROVAL SOUGHT:**
- SIA/FINANCIAL GUARANTEE RELEASE
 - PRELIMINARY PLAT APPROVAL
 - S. DEV. PLAN FOR SUB'D APPROVAL
 - S. DEV. FOR BLDG. PERMIT APPROVAL
 - SECTOR PLAN APPROVAL
 - FINAL PLAT APPROVAL
 - FOUNDATION PERMIT APPROVAL
 - BUILDING PERMIT APPROVAL
 - CERTIFICATE OF OCCUPANCY (PERM)
 - CERTIFICATE OF OCCUPANCY (TEMP)
 - GRADING PERMIT APPROVAL
 - PAVING PERMIT APPROVAL
 - WORK ORDER APPROVAL
 - OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:
 YES
 NO
 COPY PROVIDED



SUBMITTED BY: [Signature] DATE: 9/14/07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

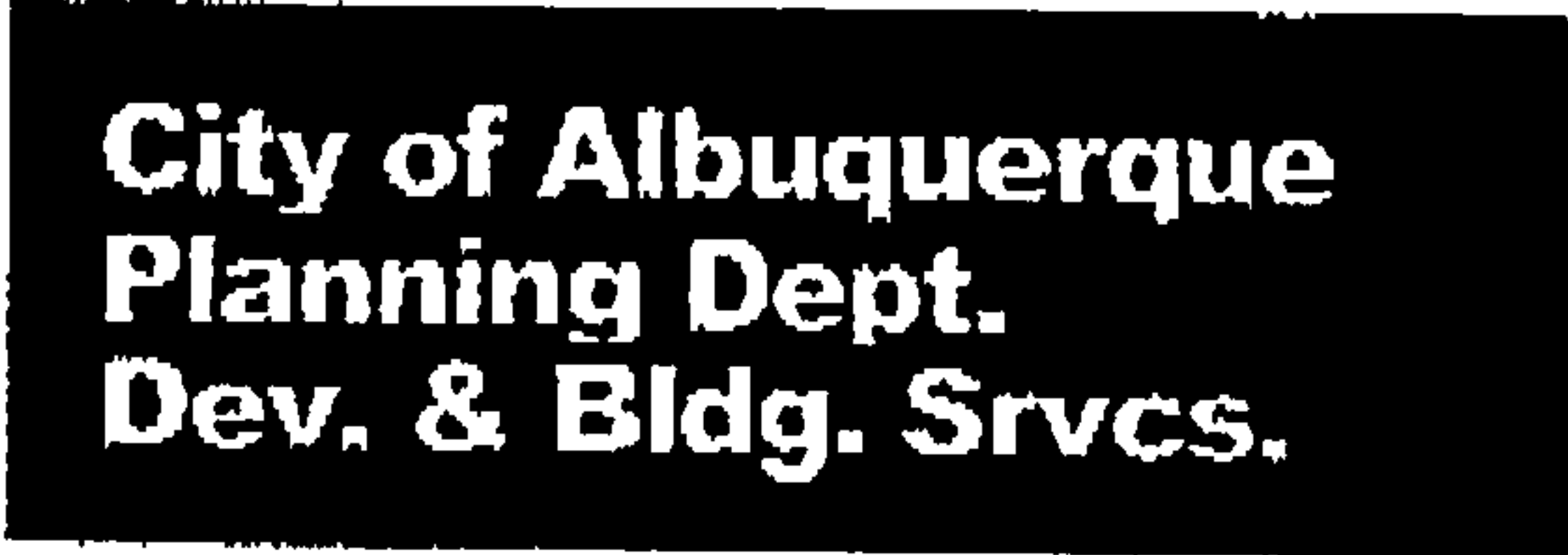
1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.

TRANSMISSION VERIFICATION REPORT

TIME : 09/17/2007 09:42
NAME :
FAX : 9243864
TEL : 5059243979
SER. # : BROL6J570919

DATE, TIME	09/17 09:42
FAX NO./NAME	98905031
DURATION	00:00:29
PAGE(S)	02
RESULT	OK
MODE	STANDARD ECM

City of Albuquerque
Planning Department
505-924-3900 (main number)
505-924-3864 (fax number)
Development and Building Services (One Stop Shop)
Plaza Del Sol Building, 2nd Floor
600 2nd Street NW
Albuquerque, NM 87102



Fax

To: Jo From: Curtis

Copies to: _____

Fax: 890 -5031 Pages Sent: _____ (including this page)

Phone: _____ Date: _____

Time: _____

Urgent For Review Please Comment Please Reply Please Recycle

COMMENTS:
Bondaker G & D



FAX TRANSMITTAL COVER SHEET

TO: Curtis Chern

FAX NO.: (505) 924-3864 DATE: 9-14-07

FROM: Hammett Miller

FAX NO.: (505) 888-3800 TELEPHONE NO.: (505) 888-7500

This transmission will have 2 pages, including this cover sheet. If you do not receive all pages, please call (505) 888-7500.

RE: Bandalier Elementary

NOTES:

RECEIVED
SEP 17 2007
HYDROLOGY SECTION



MILLER ENGINEERING CONSULTANTS

Engineers • Planners

September 14, 2007

Mr. Curtis A. Cherne, P.E.
Engineering Associate
City of Albuquerque, Planning Dept. Development and Building Services
P.O. Box 1293
Albuquerque, NM 87103

RE: Bandelier Elementary School Ph. II Additions and Renovations Grading and Drainage Plan (L16/D028)

Dear Mr. Cherne:

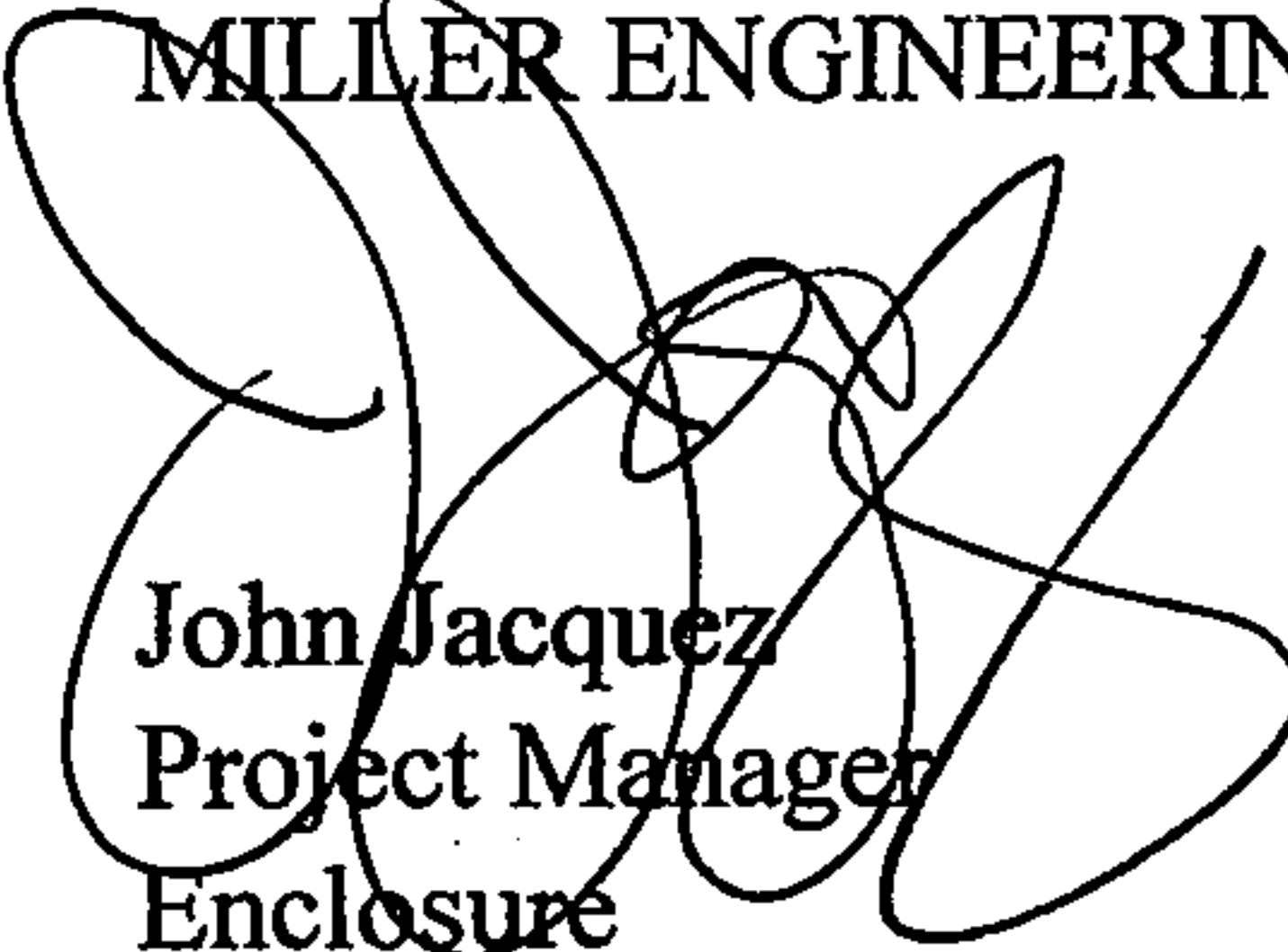
This letter is in response to your letter dated September 4, 2007. For simplification the comments have been addressed in the same order as your letter, as shown below:

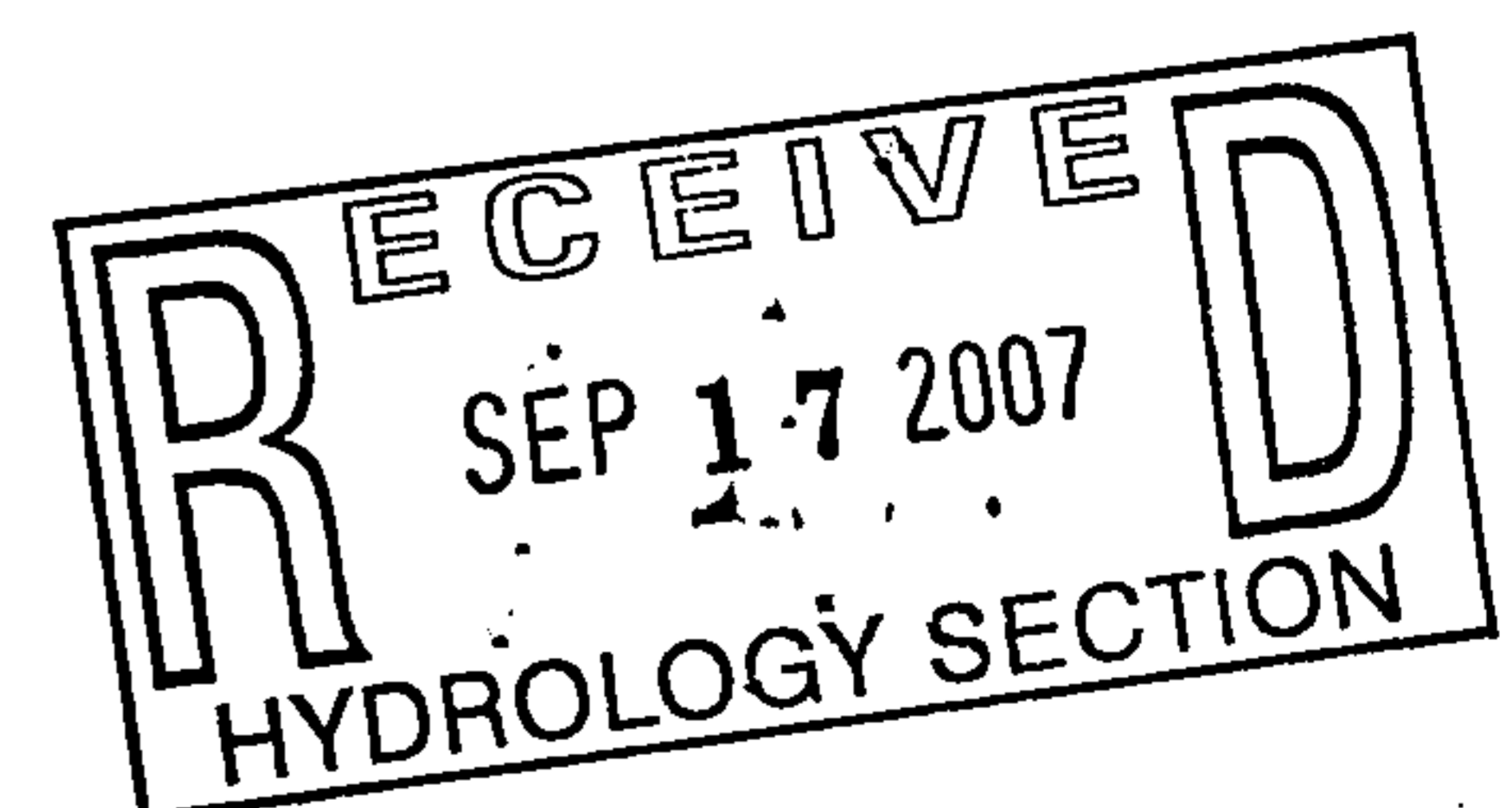
1. The building addition has now been added to the plan view with the finish floor shown. (See key note # 20) The Proposed Development Narrative, Drainage Data and the Conclusion have been corrected to address the building addition.
2. There is a portion of the wall exceeds 18" in height, top of wall elevations were added to that portion of the wall. (see sheet C-111)
3. Item #3 will be addressed in the future, prior to certificate of occupancy being issued. There will be a Grading and Drainage plan addressing item #3 submitted to the City of Albuquerque, that action will allow a certificate of occupancy to be issued if all other permits and regulations have been satisfied. As per phone conversation on September 4, 2007 between John Jacquez of Miller Engineering Consultants and Curtis Cherne, P.E. of City of Albuquerque.

Thank you for your timely review, and please feel free to contact our office if you have any questions or require additional information.

Sincerely,

MILLER ENGINEERING CONSULTANTS, INC.


John Jacquez
Project Manager
Enclosure



CITY OF ALBUQUERQUE



September 4, 2007

Verlyn A. Miller, P.E.
Miller Engineering Consultants
3500 Comanche Blvd. NE, Bldg F
Albuquerque, NM 87107

Re: Bandelier Elementary School Ph. II Addition and Renovations Grading and Drainage Plan

Engineer's Stamp dated 8-30-07 (L16/D028)

Dear Mr. Miller,

Based upon the information provided in your submittal dated 8-31-07, the above referenced plan cannot be approved for Building Permit or Grading Permit until the following comments are addressed:

- It appears from comparing this plan to the aerial view that an addition is being added to the building. Show the addition on the plan and add to the Proposed Development narrative. Provide the Finished Floor elevation of the existing building and the addition.
- Will the wall on the exterior of the loading dock be retaining more than 18" of earth? If so, state that it is a retaining wall and provide top of wall/bottom of wall elevation data.
- To improve drainage on this site and to prevent sediment from entering the City ROW, Hydrology would like this site to install a type "D" inlet in the northwest corner of the site and tie it into the back of the inlet in Burton Ave.

If you have any questions, you can contact me at 924-3695.

Sincerely,

A handwritten signature in cursive script that reads "Curtis A. Cherne".

Curtis A. Cherne, P.E.
Engineering Associate, Planning Dept.
Development and Building Services

C: file

TRANSMISSION VERIFICATION REPORT

TIME : 09/06/2007 10:38
NAME :
FAX : 9243864
TEL : 5059243979
SER.# : BROL6J570919

DATE, TIME
FAX NO./NAME
DURATION
PAGE(S)
RESULT
MODE

09/06 10:38
98883800
00:00:32
02
OK
STANDARD
ECM

City of Albuquerque
Planning Department
505-924-3900 (main number)
505-924-3864 (fax number)
Development and Building Services (One Stop Shop)
Plaza Del Sol Building, 2nd Floor
600 2nd Street NW
Albuquerque, NM 87102

City of Albuquerque
Planning Dept.
Dev. & Bldg. Svcs.

Fax

To: John Jacques From: Carlos Chene

Copies to:

Fax: 800-3006 Pages Sent: 2 (including this page)

Phone: Date: 9-6-07

Time: ~10:30

Urgent For Review Please Comment Please Reply Please Recycle

COMMENTS:

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

PROJECT TITLE: BANDELIER ELEM (Rev. 01/06) ZONE MAP/DRG. FILE # L-16-7D028
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: BLOCKS 9, 10 & 11 MONTEREY ADDITION
 CITY ADDRESS: _____

ENGINEERING FIRM: MILLER ENG. CONSULTANTS CONTACT: JOHN JACQUEZ
 ADDRESS: 3500 CUMMANCEA NE BLD. F PHONE: 888-1500
 CITY, STATE: ALB, NM 87107 ZIP CODE: _____

OWNER: APS CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: ASA ARCHITECTS CONTACT: JO MONTEGUE
 ADDRESS: 1630 ALAMEDA BLVD NW PHONE: 890-5030
 CITY, STATE: ALB, NM 87114 ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

PROFESSIONAL LICENSED SURVEYOR SIGNATURE	LICENSE NO.	DATE

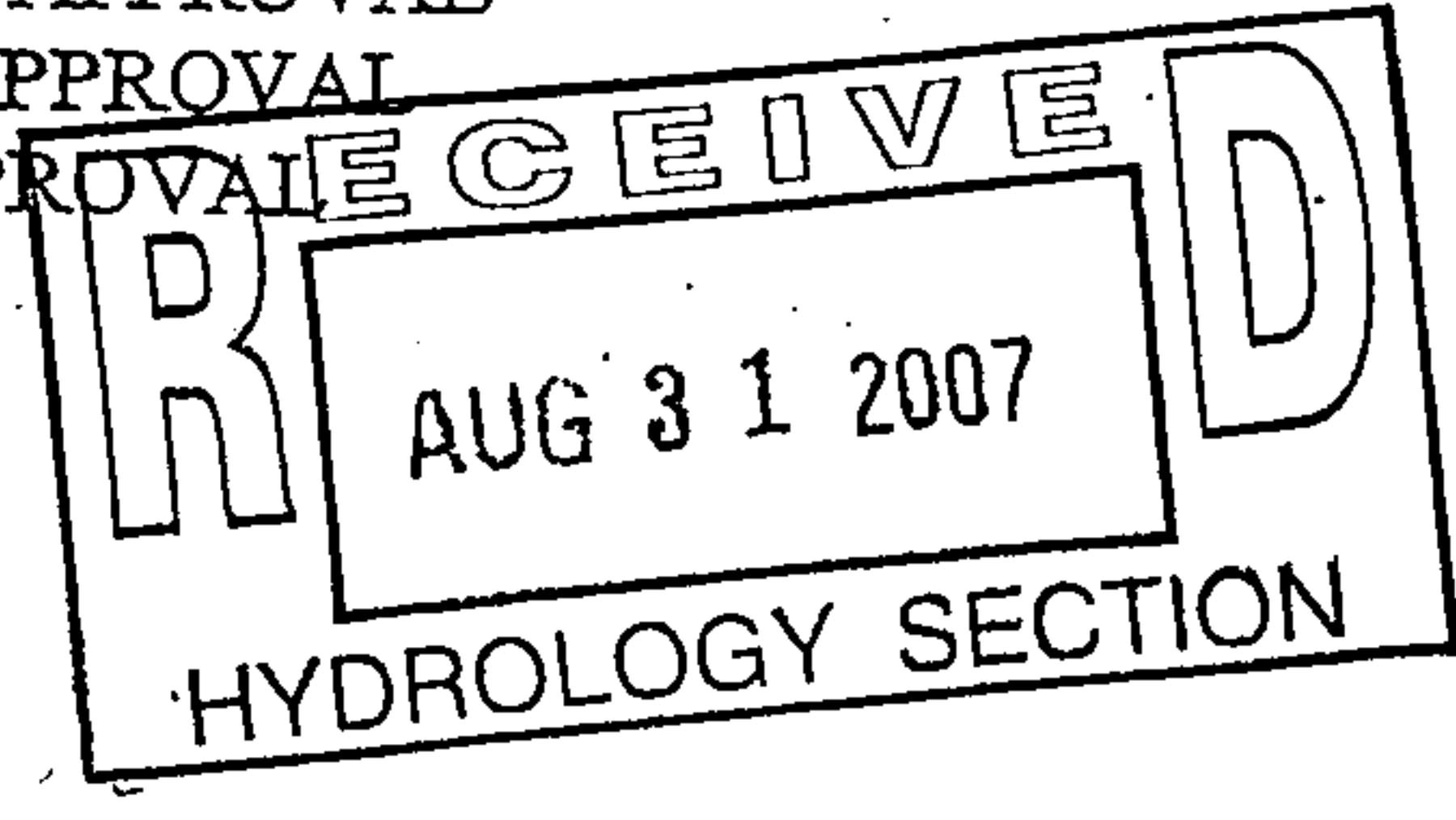
CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

- TYPE OF SUBMITTAL:**
- DRAINAGE REPORT
 - DRAINAGE PLAN 1st SUBMITTAL
 - DRAINAGE PLAN RESUBMITTAL
 - CONCEPTUAL G & D PLAN
 - GRADING PLAN
 - EROSION CONTROL PLAN
 - ENGINEER'S CERT (HYDROLOGY)
 - CLOMR/LOMR
 - TRAFFIC CIRCULATION LAYOUT
 - ENGINEER/ARCHITECT CERT (TCL)
 - ENGINEER/ARCHITECT (DRB SITE PLAN)
 - OTHER

- CHECK TYPE OF APPROVAL SOUGHT:**
- SIA/FINANCIAL GUARANTEE RELEASE
 - PRELIMINARY PLAT APPROVAL
 - S. DEV. PLAN FOR SUB'D APPROVAL
 - S. DEV. FOR BLDG. PERMIT APPROVAL
 - SECTOR PLAN APPROVAL
 - FINAL PLAT APPROVAL
 - FOUNDATION PERMIT APPROVAL
 - BUILDING PERMIT APPROVAL
 - CERTIFICATE OF OCCUPANCY (PERM)
 - CERTIFICATE OF OCCUPANCY (TEMP)
 - GRADING PERMIT APPROVAL
 - PAVING PERMIT APPROVAL
 - WORK ORDER APPROVAL
 - OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:
 YES
 NO
 COPY PROVIDED

50.00



SUBMITTED BY: [Signature] DATE: 8/30/07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than five (5) acres.

CITY OF ALBUQUERQUE



April 6, 2007

Scott McGee, P.E.
Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108

**Re: Bandelier Elementary School, 3309 Perishing Ave. SE,
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 06/28/05 (L16/D028)
Certification dated 04/05/07**

Based upon the information provided in your submittal received 4/06/07, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

P.O. Box 1293

If you have any questions, you can contact me at 924-3982.

Sincerely,

Albuquerque

New Mexico 87103

Timothy Sims
Plan Checker, Hydrology
Development and Building Services

www.cabq.gov

C: CO Clerk-Katrina Sigala
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: BANDELIER Elementary School
DRB #: _____ EPC #: _____

ZONE MAP / DRG. FILE #: L-16/D 28
WORK ORDER #: _____

LEGAL DESCRIPTION: BANDELIER ELEMENTARY SCHOOL, ALBUQUERQUE, NEW MEXICO
CITY ADDRESS: 3309 PERSHING AVE SE

ENGINEERING FIRM: Isaacson & Arfman, P.A.
ADDRESS: 128 Monroe St. NE
CITY, STATE: Albuquerque, NM

CONTACT: Scott McGee
PHONE: 268-8828
ZIP CODE: 87108

OWNER: APS
ADDRESS: 915 Locust SE
CITY, STATE: _____

CONTACT: Myron Johnson
PHONE: 242-5865
ZIP CODE: 87106

ARCHITECT NCA Architects
ADDRESS: 1306 Rio Grande Blvd NW
CITY, STATE: Albuquerque, New Mexico

CONTACT: John Layman
PHONE: 255-6400
ZIP CODE: 87104

SURVEYOR: Mortensen & Assocs.
ADDRESS: _____
CITY, STATE: Albuquerque, New Mexico

CONTACT: Chuck Cala # 11184
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

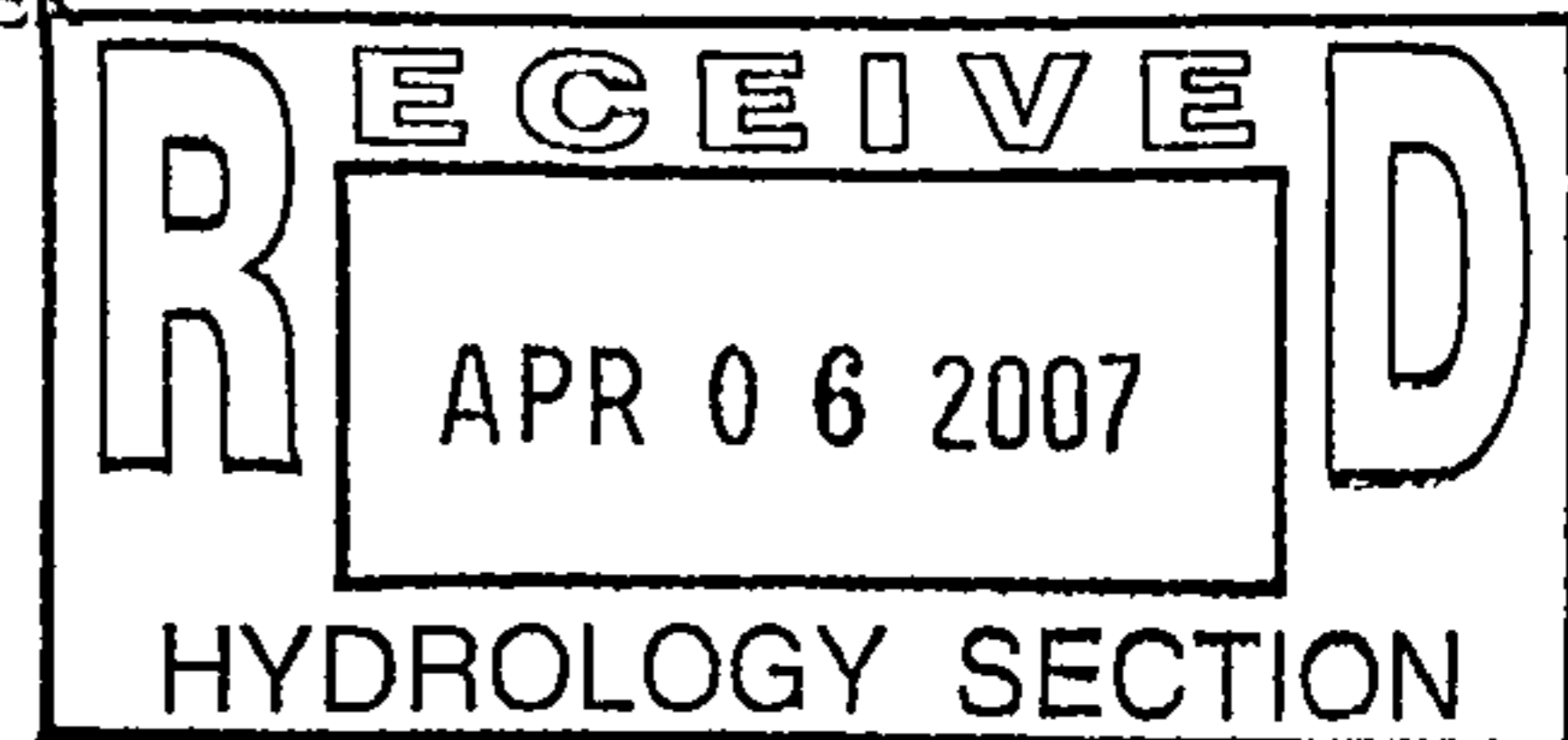
- DRAINAGE REPORT
DRAINAGE PLAN 1ST REQUIRES TCL or equal
DRAINAGE PLAN RESUBMITTAL
CONCEPTUAL GRADING & DRAINAGE PLAN
GRADING PLAN
EROSION CONTROL PLAN
XX ENGINEER'S CERTIFICATION (HYDROLOGY)
CLOMR / LOMR
TRAFFIC CIRCULATION LAYOUT (TCL)
ENGINEER'S CERTIFICATION (TCL)
ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN)
OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- SIA / FINANCIAL GUARANTEE RELEASE
PRELIMINARY PLAT APPROVAL
S. DEV. PLAN FOR SUB'D APPROVAL
S. DEV. PLAN FOR BLDG. PERMIT APPR.
SECTOR PLAN APPROVAL
FINAL PLAT APPROVAL
FOUNDATION PERMIT APPROVAL
BUILDING PERMIT APPROVAL
XX CERTIFICATE OF OCCUPANCY (PERM)
CERTIFICATE OF OCCUPANCY (TEMP)
GRADING PERMIT APPROVAL
PAVING PERMIT APPROVAL
WORK ORDER APPROVAL
OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- YES
NO
COPY PROVIDED

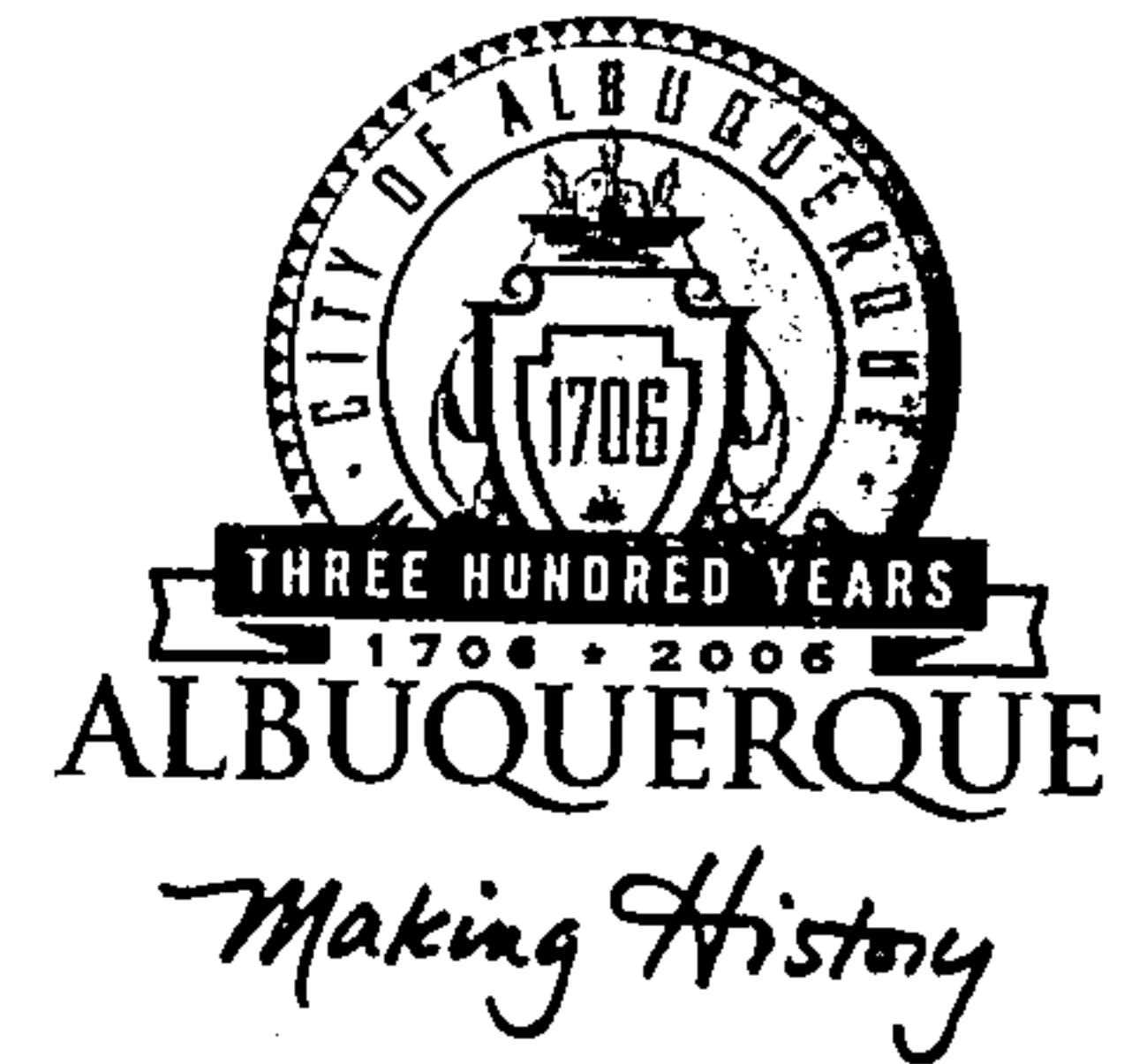


DATE SUBMITTED: Thursday, April 05, 2007 BY: Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and / or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five acres and Sector Plans
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five acres
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five acres or more.

CITY OF ALBUQUERQUE



July 5, 2005

Scott McGee, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, NM 87108

**Re: Bandelier Elementary School Kindergarten Building Addition, 3309
Pershing Avenue SE, Grading and Drainage Plan
Engineer's Stamp dated 6-28-05 (L16-D28)**

Dear Mr. McGee,

Based upon the information provided in your submittal received 6-28-05, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: BANDELIER ELEMENTARY SCHOOL
DRB #: _____ EPC #: _____

ZONE MAP / DRG. FILE #: L - 16 / D28
WORK ORDER #: _____

LEGAL DESCRIPTION: BANDELIER ELEMENTARY SCHOOL
CITY ADDRESS: 3309 PERSHING AVE SE

ENGINEERING FIRM: Isaacson & Arfman, P.A.
ADDRESS: 128 Monroe St. NE
CITY, STATE: Albuquerque, NM

CONTACT: SCOTT McGEE
PHONE: 268-8828
ZIP CODE: 87108

OWNER APS
ADDRESS:
CITY, STATE:

CONTACT:
PHONE:
ZIP CODE:

ARCHITECT: NCA ARCHITECTS
ADDRESS: 1306 RIO GRANDE BLVD NW
CITY, STATE: ABQ NM

CONTACT: JOHN LAYMAN
PHONE: 255 - 6400
ZIP CODE: 87104

SURVEYOR: MORTENSEN & ASSOCS.
ADDRESS:
CITY, STATE: Albuquerque, New Mexico

CONTACT: CHUCK CALA
PHONE: 345-4250
ZIP CODE:

CONTRACTOR:
ADDRESS:
CITY, STATE:

CONTACT:
PHONE:
ZIP CODE:

CHECK TYPE OF SUBMITTAL:

- DRAINAGE REPORT
DRAINAGE PLAN 1ST REQUIRES TCL or equal
DRAINAGE PLAN RESUBMITTAL
CONCEPTUAL GRADING & DRAINAGE PLAN
XXX GRADING PLAN
EROSION CONTROL PLAN
ENGINEER'S CERTIFICATION (HYDROLOGY)
CLOMR / LOMR
TRAFFIC CIRCULATION LAYOUT (TCL)
ENGINEER'S CERTIFICATION (TCL)
ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN)
OTHER

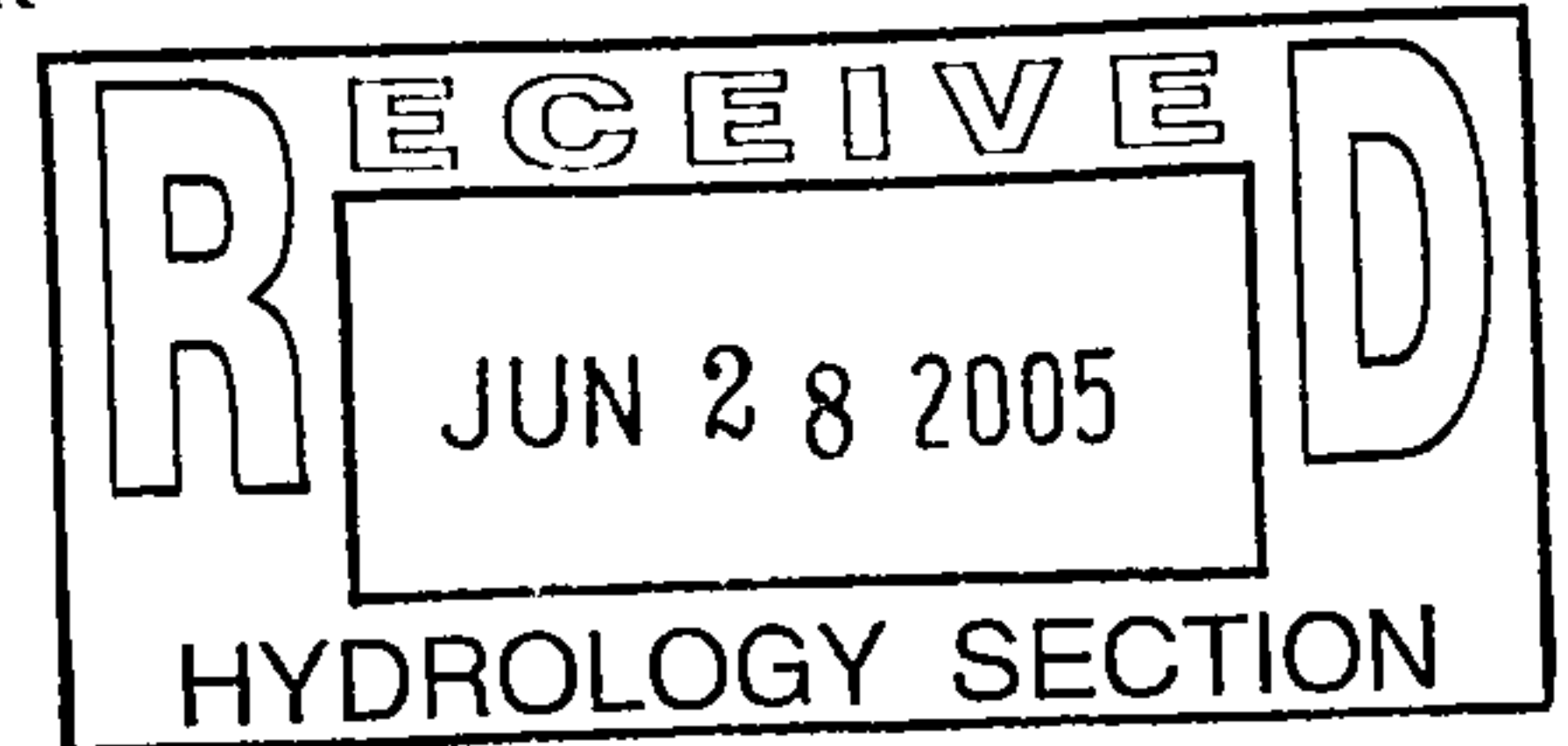
CHECK TYPE OF APPROVAL SOUGHT:

- SIA / FINANCIAL GUARANTEE RELEASE
PRELIMINARY PLAT APPROVAL
S. DEV. PLAN FOR SUB'D APPROVAL
S. DEV. PLAN FOR BLDG. PERMIT APPR.
SECTOR PLAN APPROVAL
FINAL PLAT APPROVAL
FOUNDATION PERMIT APPROVAL
XXX BUILDING PERMIT APPROVAL
CERTIFICATE OF OCCUPANCY (PERM)
CERTIFICATE OF OCCUPANCY (TEMP)
GRADING PERMIT APPROVAL
PAVING PERMIT APPROVAL
WORK ORDER APPROVAL
OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- YES
NO
COPY PROVIDED

6/28/05 RESUBMITTAL



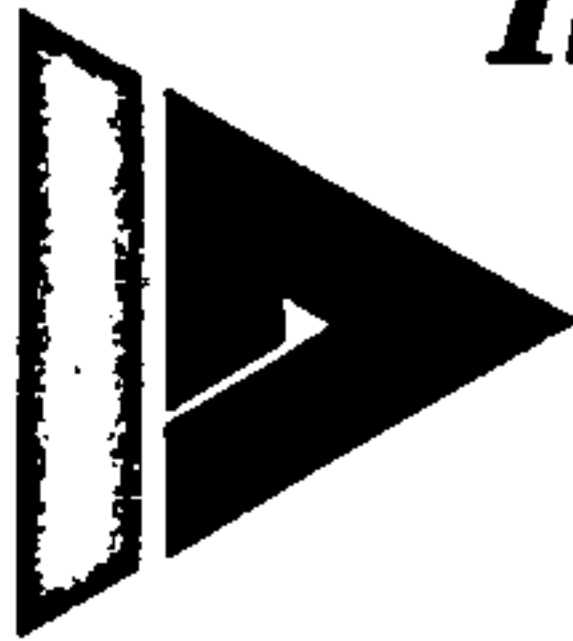
DATE SUBMITTED: Friday, May 13, 2005

BY: SCOTT M McGEE

Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and / or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five acres and Sector Plans
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five acres
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five acres or more.



ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE & LS • Fred C. Arfman, PE
Scott M. McGee, PE*

June 28, 2005

Mr. Brad Bingham
City Hydrologist
Hydrology Development Section
Development & Building Services
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

RE: Bandelier Elementary School (L16-D28)

Dear Brad:

In response to your 5/31/05 review comments, the plan has been revised as follows:

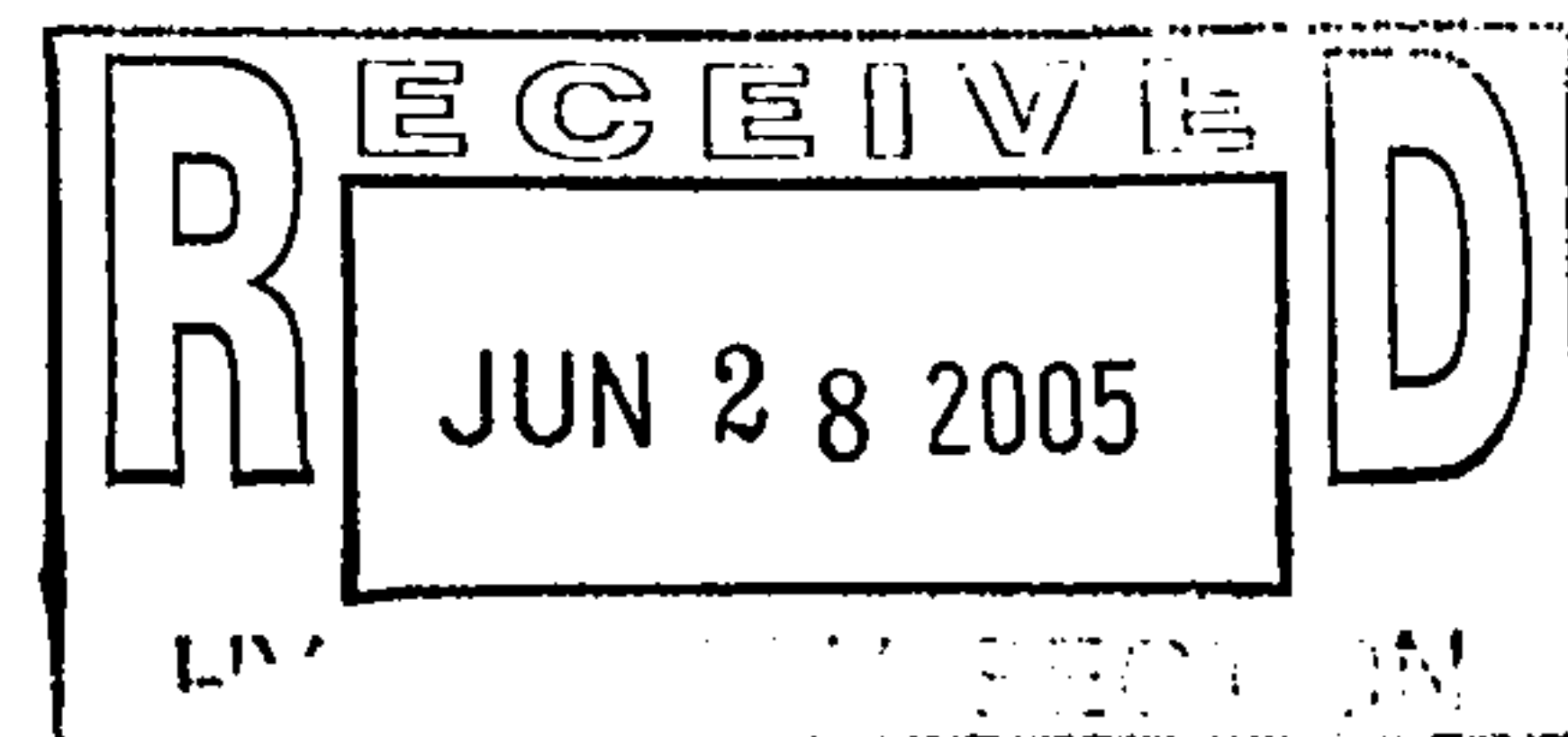
1. The existing shallow detention pond is located at the north end of the proposed building. The present volume is 3,800 cubic feet with a water surface elevation of 55.8. By adding the curb and gutter section along the east side of the entry drive, the new water surface elevation becomes 56.2 with a corresponding volume of 4,130 cubic feet. An existing inlet will continue to accept runoff from this pond.
2. The sanitary sewer line does run through an existing storm drain manhole, but does not discharge in that SD MH. The sanitary line continues to a SAS MH in Burton Avenue SE. The previous plan did not have all utility layers plotted in an attempt to make the plan more legible.

Please contact me at 268-8828 if you have any additional questions.

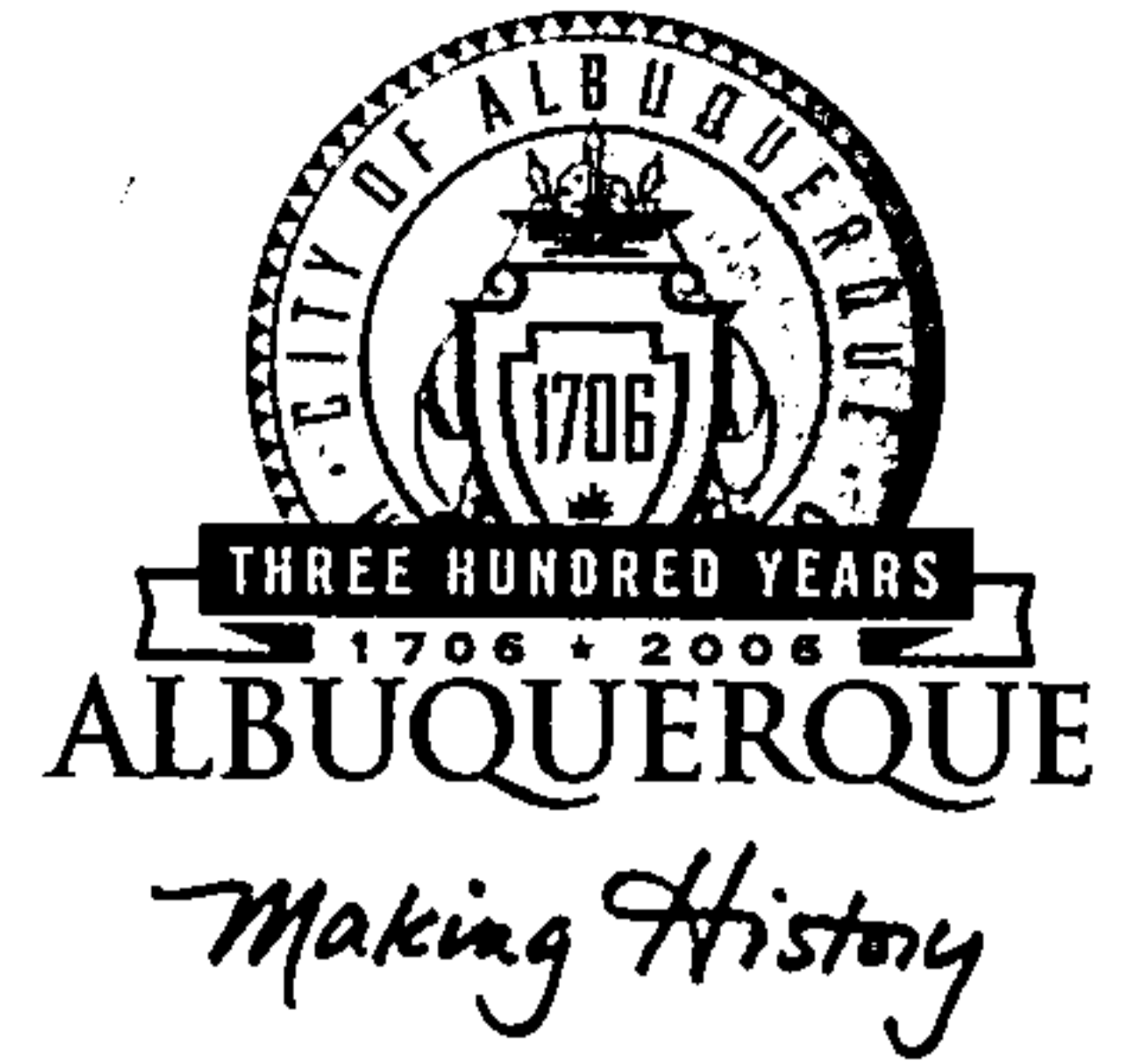
Sincerely,
ISAACSON & ARFMAN, P.A.

Scott M. McGee, PE
SMM/rtl

128 Monroe St. NE • Albuquerque, NM 87108 • (505) 268-8828 • FAX (505) 268-2632



CITY OF ALBUQUERQUE



May 31, 2005

Scott McGee, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, NM 87108

**Re: Bandelier Elementary School Kindergarten Building Addition, 3309
Pershing Avenue SE, Grading and Drainage Plan
Engineer's Stamp dated 5-12-05 (L16-D28)**

Dear Mr. McGee,

Based upon the information provided in your submittal received 5-13-05, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. A detention pond is referred to in the write up. Please provide details for this pond, including the required / provided volume and water surface elevation. Where is this pond located?
2. Currently, a sanitary line appears to be connecting to a storm drain manhole. Is this the case? What can be done to separate these lines?

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/28/2003rd)

L-16/029

PROJECT TITLE: BANDELIER ELEMENTARY SCHOOL
DRB #: _____ EPC #: _____

ZONE MAP / DRG. FILE #: ~~L-16/DJG~~
WORK ORDER #: _____

LEGAL DESCRIPTION: BANDELIER ELEMENTARY SCHOOL
CITY ADDRESS: 3309 PERSHING AVE SE

ENGINEERING FIRM: Isaacson & Arfman, P.A.
ADDRESS: 128 Monroe St. NE
CITY, STATE: Albuquerque, NM

CONTACT: SCOTT McGEE
PHONE: 268-8828
ZIP CODE: 87108

OWNER: APS
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: NCA ARCHITECTS
ADDRESS: 1306 RIO GRANDE BLVD NW
CITY, STATE: ABQ NM

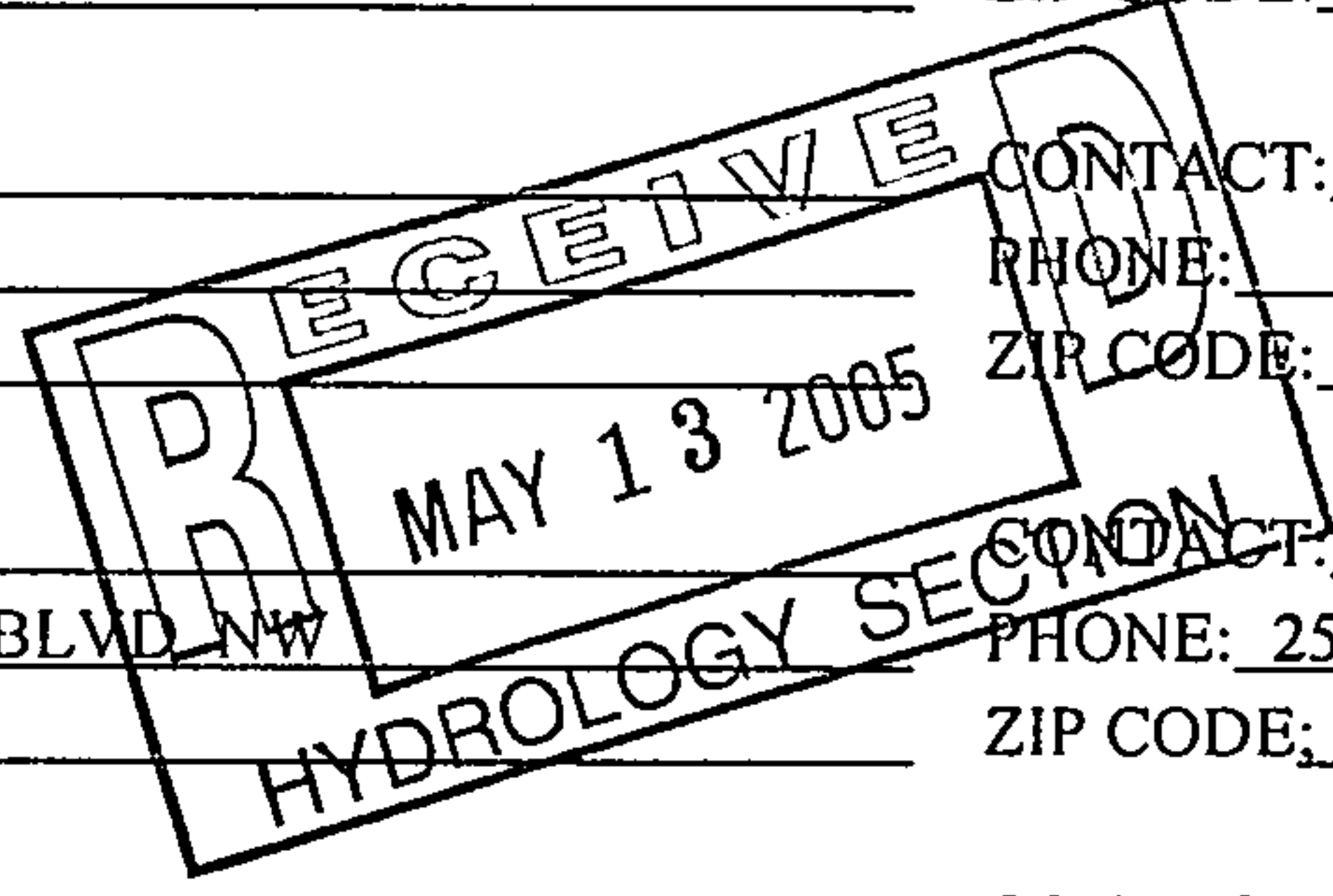
CONTACT: JOHN LAYMAN
PHONE: 255-6400
ZIP CODE: 87104

SURVEYOR: MORTENSEN & ASSOCS.
ADDRESS: _____
CITY, STATE: Albuquerque, New Mexico

CONTACT: CHUCK CALA
PHONE: 345-4250
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____



- CHECK TYPE OF SUBMITTAL:
- DRAINAGE REPORT
 - DRAINAGE PLAN 1ST *REQUIRES TCL or equal*
 - DRAINAGE PLAN RESUBMITTAL
 - CONCEPTUAL GRADING & DRAINAGE PLAN
 - GRADING PLAN
 - EROSION CONTROL PLAN
 - ENGINEER'S CERTIFICATION (HYDROLOGY)
 - CLOMR / LOMR
 - TRAFFIC CIRCULATION LAYOUT (TCL)
 - ENGINEER'S CERTIFICATION (TCL)
 - ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN)
 - OTHER *see paid*

- CHECK TYPE OF APPROVAL SOUGHT:
- SIA / FINANCIAL GUARANTEE RELEASE
 - PRELIMINARY PLAT APPROVAL
 - S. DEV. PLAN FOR SUB'D APPROVAL
 - S. DEV. PLAN FOR BLDG. PERMIT APPR.
 - SECTOR PLAN APPROVAL
 - FINAL PLAT APPROVAL
 - FOUNDATION PERMIT APPROVAL
 - BUILDING PERMIT APPROVAL
 - CERTIFICATE OF OCCUPANCY (PERM)
 - CERTIFICATE OF OCCUPANCY (TEMP)
 - GRADING PERMIT APPROVAL
 - PAVING PERMIT APPROVAL
 - WORK ORDER APPROVAL
 - OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:
 YES
 NO
 COPY PROVIDED

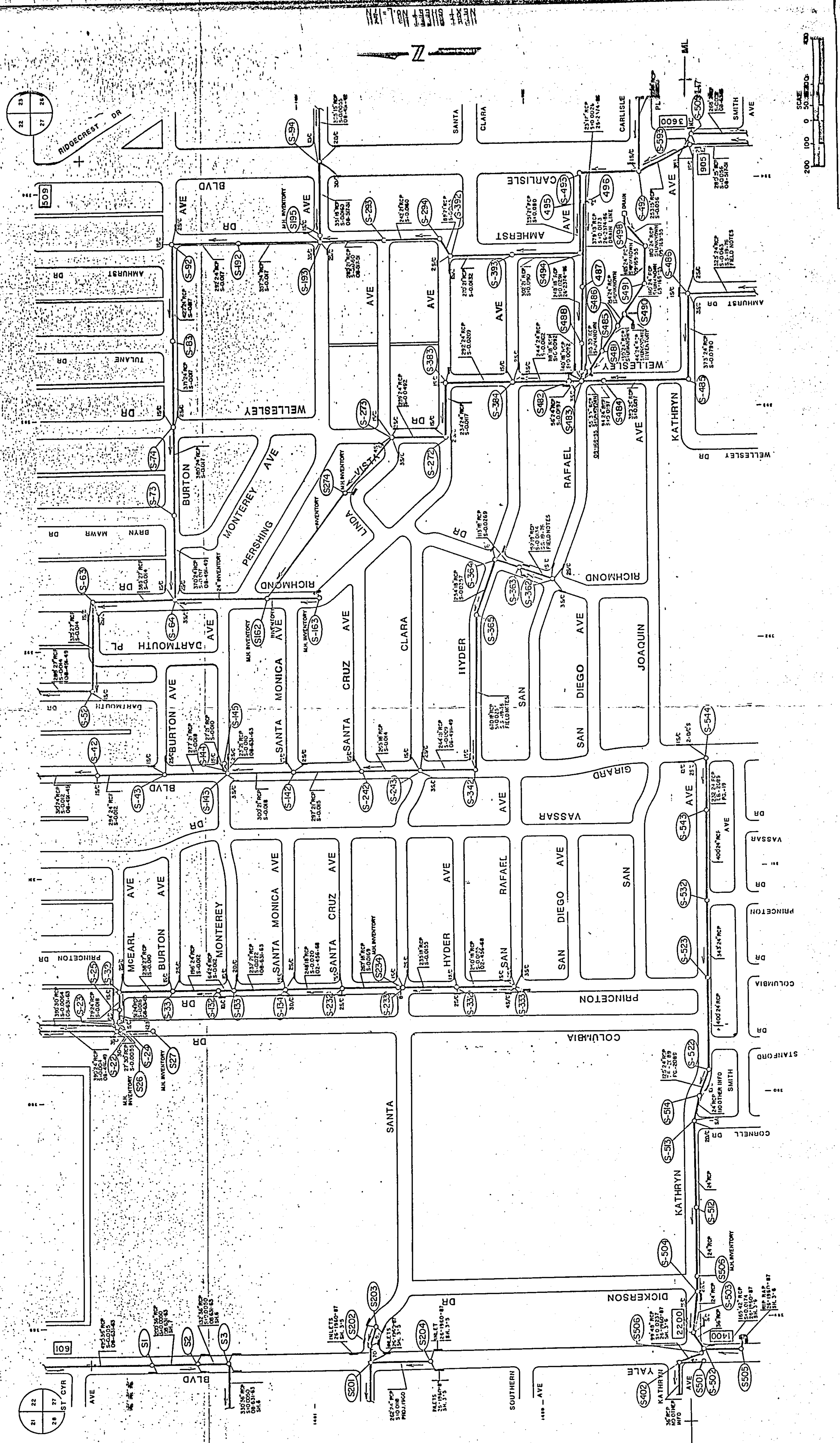
DATE SUBMITTED: Friday, May 13, 2005

BY: Scott McGee
SCOTT M McGEE

Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and / or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five acres and Sector Plans
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five acres
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five acres or more.



16

REVISIONS		MAP GRID
NO.	DATE	REMARKS

LEGEND	NOTES
	1. MANHOLE IDENTIFICATION REQUIRES BOTH THE MAP GRID & MANHOLE NO.
	2. MANHOLE NUMBERS CARRIED FROM ADJACENT MAPS HAVE THE MAP GRID SHOWN.

NEXT SHEET No. L-163



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 12, 2001

James See
220a Gold Ave., SW
Albuquerque, NM 87102

RE: Bandelier Elementary School – Mini Gym
(3309 Pershing Ave., SE L-16/D28)
Architect Certification for Certificate of Occupancy
Architect Stamp Dated 6-23-00
Architect Certification Dated 10-12-01

Dear Mr. See:

Based upon the information provided in your Architect Certification submittal dated 10-12-01, the above referenced site is approved for Permanent Certificate of Occupancy for the Mini-Gym.

If I can be of further assistance, please contact me at 924-3990.

Sincerely,

Richard Dourte, Principal Engineer
Transportation Section
Development and Building Services Division
Public Works Department

c: Vickie Chavez, Building & Safety Division, Planning Department
drainage file
approval file

RD:gds

edith cherry d. james see architects
2202 gold ave sw. albuquerque, n.m. 87102

September 27, 2001

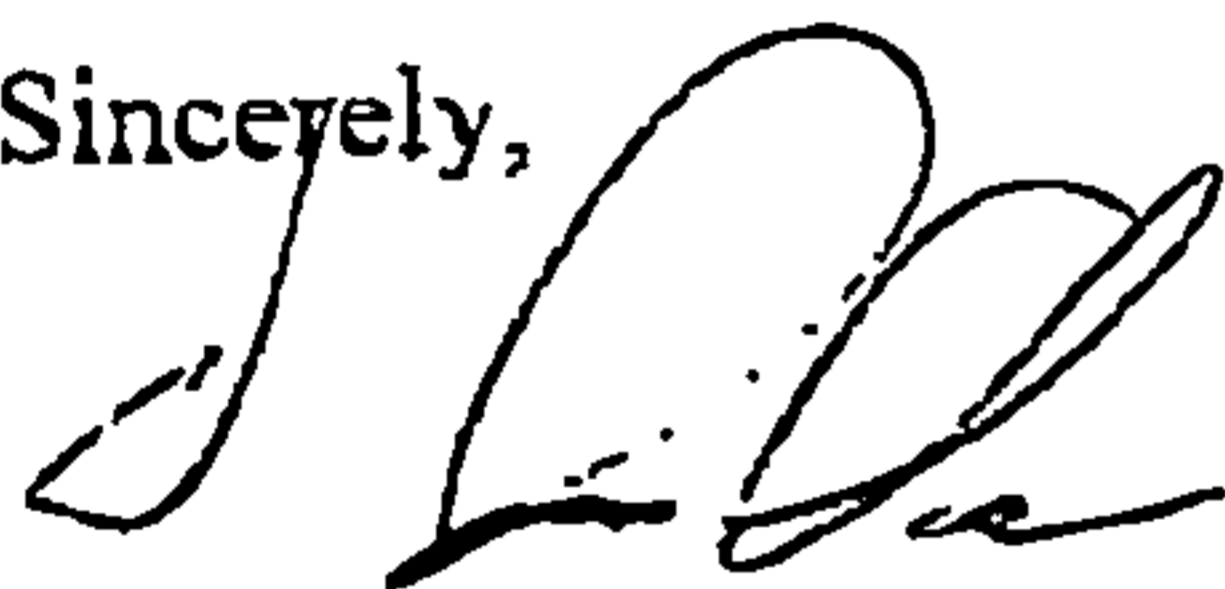
Mr Mike Zamora
Transportation Division
Building Permit Department
City of Albuquerque
600 2nd St., NW
Albuquerque, New Mexico
87102

Re: Mini-Gym @ Bandelier Elementary School

Dear Mr. Zamora,

This is to certify that to the best of our knowledge and understanding the General Contractor, Longhorn Construction Services, has fulfilled all of the requirements specified by our drawings and manual bearing my stamp and signature dated 6/23/2000 in regards to sidewalks, handi-capped accessible ramps and routing for the above-mentioned project.

Sincerely,



D. James See, A.I.A.
Architect

cc: Sam Romero, Longhorn Construction Services
Ricardo Guillermo, APS DFP&C

telephone
facsimile

(505) 842-1278
(505) 766-9269



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 10, 2001

Scott McGee, P.E.
Isaacson & Arfman
128 Monroe NE
Albuquerque, New Mexico 87108

RE: BANDELIER ELEMENTARY SCHOOL- MINI GYM
(3309 Pershing Ave SE (L-16/D28)
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
ENGINEERS STAMP DATED 5/4/2000
ENGINEERS CERTIFICATION DATED 10/9/2001

Dear Scott:

Based upon the information provided in your Engineers Certification submittal dated 10/9/2001, the above referenced site is approved for Permanent Certificate of Occupancy for the Mini-Gym.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

Teresa A. Martin

Teresa A. Martin
Hydrology Plan Checker
Public Works Department

AM

C: Vickie Chavez, CAO
✓ drainage file
approval file

DRAINAGE INFORMATION SHEET

PROJECT NAME: BANDELIER SCHOOL MINI-GYM

ZONE ATLAS/DRNG. FILE#: L-16/028

DRB # _____ EPC # _____ WORK ORDER # _____

LEGAL DESCRIPTION: BANDELIER ELEMENTARY SCHOOL

CITY ADDRESS: 3309 PERSHING AVE SE

ENGINEERING FIRM: Isaacson & Arfman, P.A.

CONTACT: SCOTT MCGEE

ADDRESS: 128 Monroe Street NE

PHONE: 268-8828

CITY, STATE: Albuquerque, NM

ZIP CODE: 87108

OWNER: APS

CONTACT: RICARDO GUILLERMO

ADDRESS: 915 LOCUST SE

PHONE: 242-5865

CITY, STATE: ALBUQUERQUE NM

ZIP CODE: 87106

ARCHITECT: CHERRY SEE

CONTACT: JIM SEE

ADDRESS: 220A GOLD AVE SW

PHONE: 842-1278

CITY, STATE: ALBUQUERQUE NM

ZIP CODE: 87102

SURVEYOR:

CONTACT:

ADDRESS:

PHONE:

CITY, STATE:

ZIP CODE:

CONTRACTOR: UNKNOWN

CONTACT:

ADDRESS:

PHONE:

CITY, STATE:

ZIP CODE:

TYPE OF SUBMITTAL:

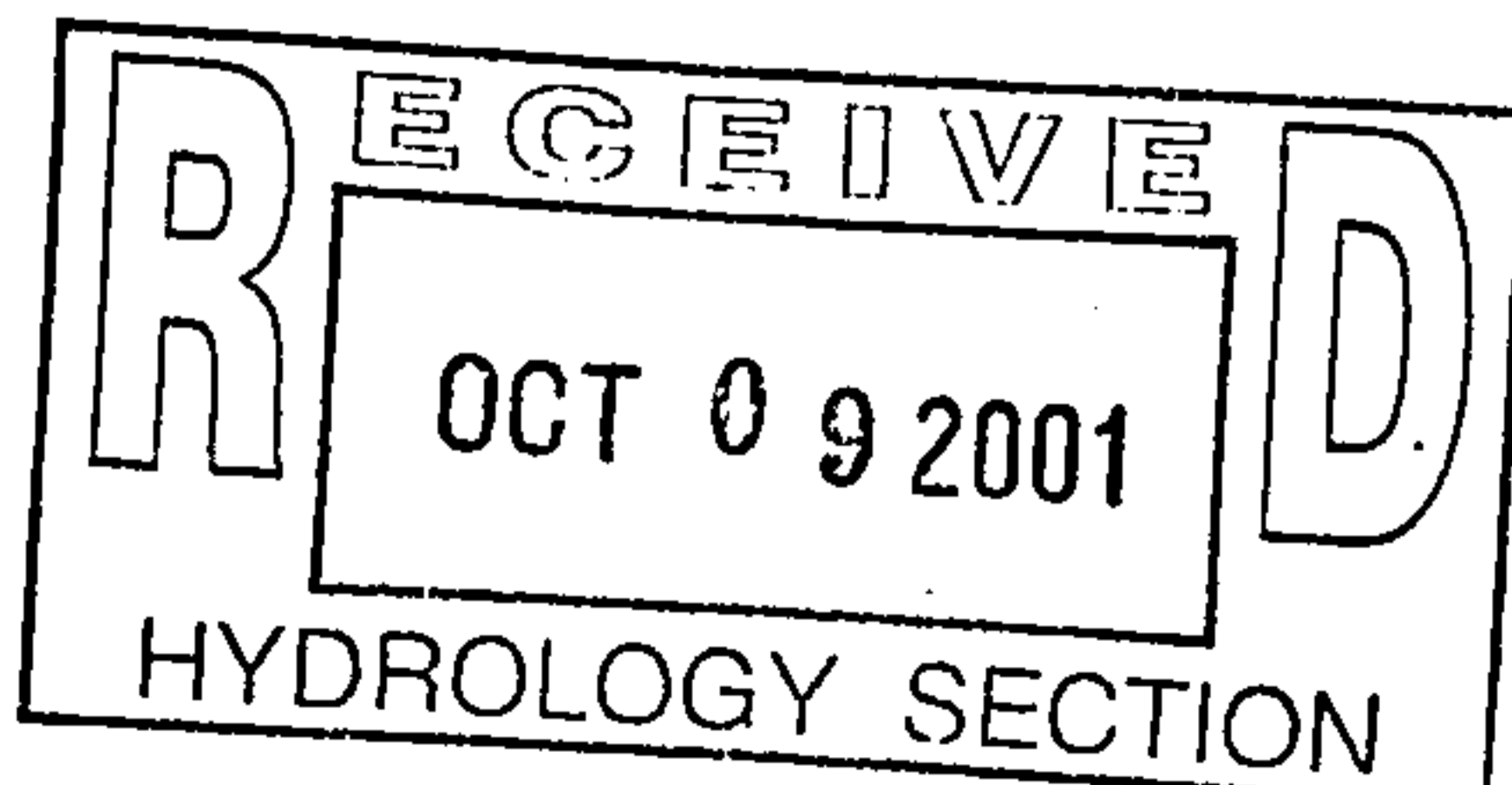
- ___ DRAINAGE REPORT
___ DRAINAGE PLAN
___ CONCEPTUAL GRADING & DRAINAGE PLAN
___ GRADING PLAN
___ EROSION CONTROL PLAN
[X] ENGINEER'S CERTIFICATION
___ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ___ SKETCH PLAT APPROVAL
___ PRELIMINARY PLAT APPROVAL
___ S.DEV. PLAN FOR SUB'D. APPROVAL
___ S.DEV. PLAN FOR BLDG. PERMIT APPROVAL
___ SECTOR PLAN APPROVAL
___ FINAL PLAT APPROVAL
___ FOUNDATION PERMIT APPROVAL
___ BUILDING PERMIT APPROVAL
[X] CERTIFICATE OF OCCUPANCY APPROVAL
___ GRADING PERMIT APPROVAL
___ PAVING PERMIT APPROVAL
___ S.A.D. DRAINAGE REPORT
___ DRAINAGE REQUIREMENTS
___ OTHER (SPECIFY)

PRE-DESIGN MEETING:

- ___ YES
___ NO
___ COPY PROVIDED



DATE SUBMITTED: 10/9/01

BY: Scott M McGee
FOR ISAACSON & ARFMAN, P.A.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 12, 2000

Scott McGee, P.E.
Isaacson & Arfman
128 Monroe NE
Albuquerque, NM 87108

**RE: BANDELIER ELEMENTARY SCHOOL, MULTI-PURPOSE BUILDING (L16-D28).
GRADING AND DRAINAGE PLAN FOR BUILDING PERMIT APPROVAL.
ENGINEER'S STAMP DATED MAY 4, 2000. (Initial G&D Stamped Feb. 10, 2000)**

Dear Mr. McGee:

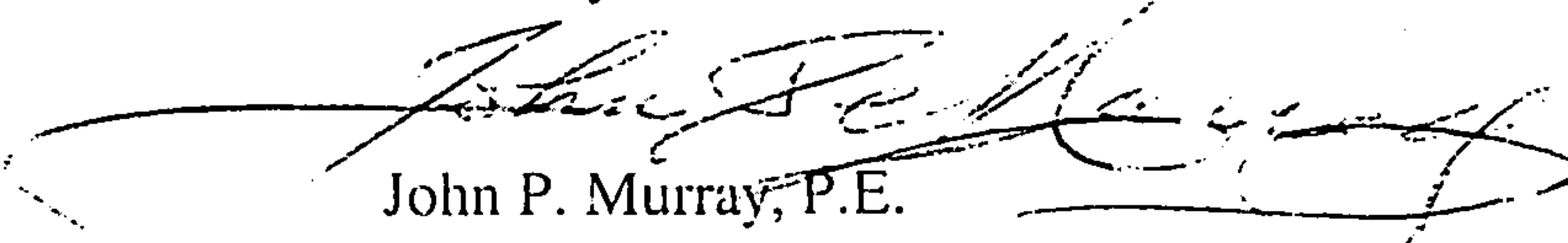
Based on the information provided on your May 4, 2000 submittal, the above referenced project is approved for Building Permit. (Prior submittal approved February 24, 2000.)

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

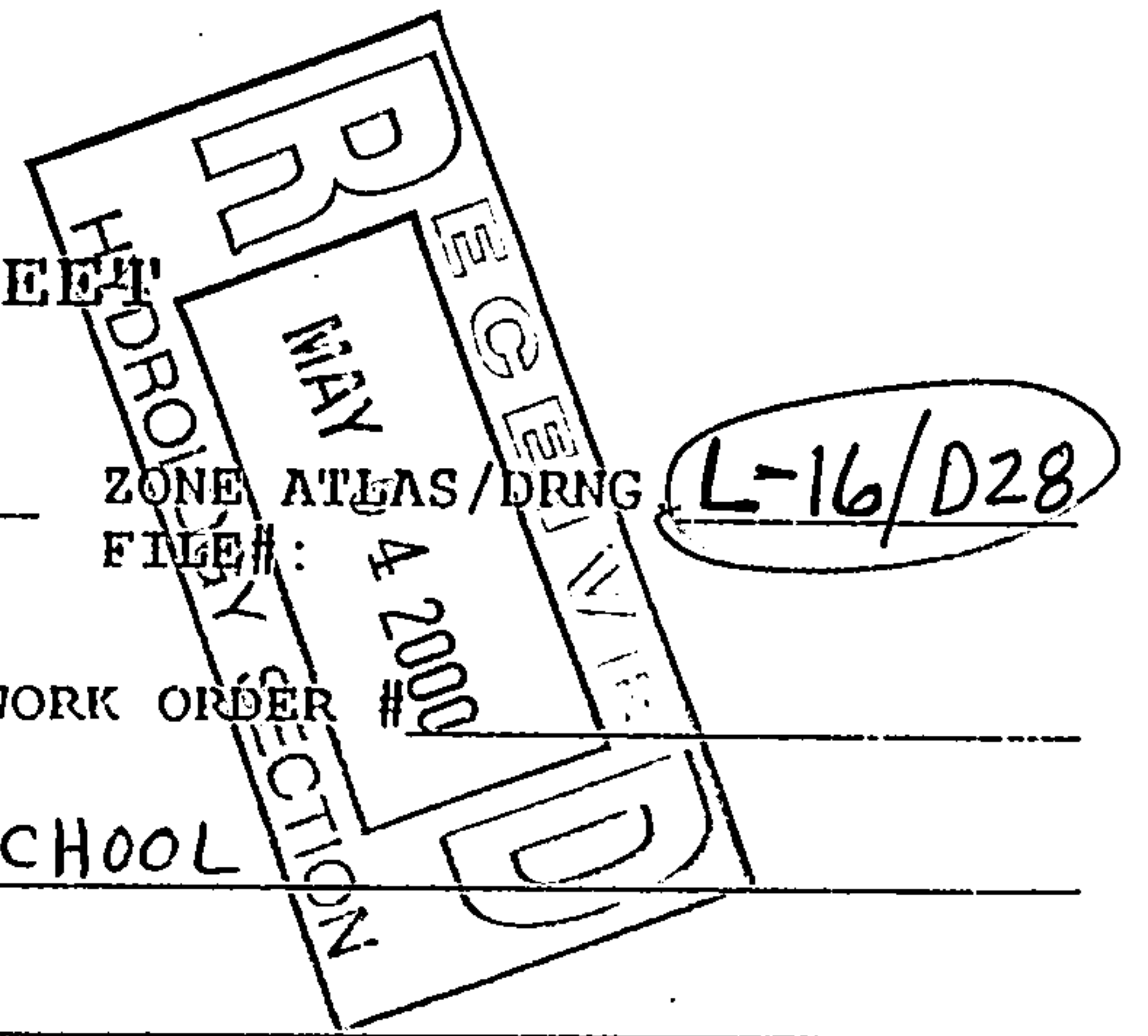
If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: Whitney Reiersen
File

DRAINAGE INFORMATION SHEET



PROJECT NAME: BANDELIER SCHOOL MINI-GYM

ZONE ATLAS/DRNG FILE#:

L-16/D28

DRB # _____ EPC # _____

WORK ORDER # _____

LOCATION DESCRIPTION: BANDELIER ELEMENTARY SCHOOL

CITY ADDRESS: 3309 PERSHING AVE SE

ENGINEERING FIRM: Isaacson & Arfman, P.A. CONTACT: SCOTT MCGEE

ADDRESS: 128 Monroe Street NE PHONE: 268-8828

CITY, STATE: Albuquerque, NM ZIP CODE: 87108

OWNER: APS CONTACT: RICARDO GUILLERMO

ADDRESS: 915 LOCUST SE PHONE: 242-5865

CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87106

ARCHITECT: CHERRY SEE CONTACT: JIM SEE

ADDRESS: 220A GOLD AVE SW PHONE: 842-1278

CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87102

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: UNKNOWN CONTACT: _____

ADDRESS: _____ PHONE: _____

CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION
- OTHER

CHECK TYPE OF APPROVAL SOUGHT:

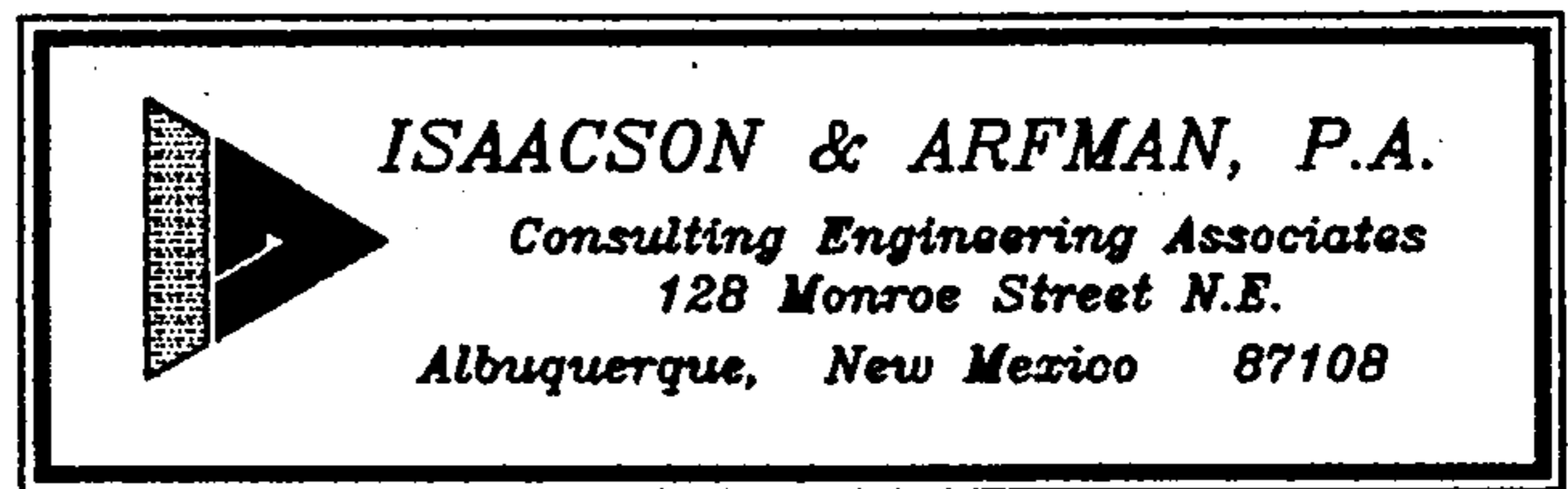
- SKETCH PLAT APPROVAL
- PRELIMINARY PLAT APPROVAL
- S.DEV. PLAN FOR SUB'D. APPROVAL
- S.DEV. PLAN FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- S.A.D. DRAINAGE REPORT
- DRAINAGE REQUIREMENTS
- OTHER (SPECIFY) _____

PRE-DESIGN MEETING:

- YES
- NO
- COPY PROVIDED

DATE SUBMITTED: 5/4/00
BY: Scott M McGee

Letter of Transmittal



To: HYDROLOGY - PWD Date: 5/4/00
ONE STOP Job No. _____
CITY OF ALBUQUERQUE

Attn: STUART REEDER

Reference: BANDELIER ELEMENTARY SCHOOL (L-16/D28)

We transmit to you 1 copy(ies) of the following:

- | | |
|--|--|
| <input type="checkbox"/> _____ Plats | <input type="checkbox"/> Specifications |
| <input checked="" type="checkbox"/> <u>Revised C1 & C2</u> Plans | <input type="checkbox"/> Submittals |
| <input type="checkbox"/> _____ Disks | <input type="checkbox"/> Shop Drawings |
| <input type="checkbox"/> _____ Report | <input checked="" type="checkbox"/> Copy of Letter |
| <input checked="" type="checkbox"/> <u>Drainage Info Sheet</u> | |
| <input type="checkbox"/> _____ | |

This information is transmitted:

- | | |
|--|---|
| <input type="checkbox"/> As per your request | <input type="checkbox"/> For your files |
| <input checked="" type="checkbox"/> For your review & approval | <input type="checkbox"/> For your use |
| <input type="checkbox"/> For your information | <input type="checkbox"/> Please review & return |
| <input type="checkbox"/> For your attention | <input type="checkbox"/> For return to your files |
| <input type="checkbox"/> For your signature | <input checked="" type="checkbox"/> Please advise |
| <input type="checkbox"/> _____ | |
| <input type="checkbox"/> _____ | |

Remarks: Revised plan (previously approved 2-24-2000)
for your review. Only change is the Cleanouts
which have been added to the private drain
lines.

By: Scott McFee Copies to: file



City of Albuquerque

February 24, 2000

Scott McGee, P.E.
Isaacson & Arfman, P.A.
128 Monroe Street, NE
Albuquerque, NM 87108

RE: DRAINAGE PLAN FOR BANDELIER ELEMENTARY SCHOOL (L-16/D028)
SUBMITTED FOR BUILDING PERMIT APPROVAL

Dear Mr. McGee,

Based upon the information provided in your February 11, 2000, submittal, the project referred to above is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to release of the Certificate of Occupancy, an Engineer Certification, per the DPM checklist, will be required.

If you have any questions, please call me at 924-3988.

Sincerely,

Stuart Reeder, P.E.

Stuart Reeder, P.E.
Hydrology Division

xc: Whitney Reiersen
✓ File

DRAINAGE INFORMATION SHEET

PROJECT NAME: BANDELIER SCHOOL MINI-GYM

ZONE ATLAS/DRNG. FILE#: L-16 / D028

DRB # _____ EPC # _____ WORK ORDER # _____

LEGAL DESCRIPTION: BANDELIER ELEMENTARY SCHOOL

CITY ADDRESS: 3309 PERSHING AVE SE

ENGINEERING FIRM: Isaacson & Arfman, P.A. CONTACT: SCOTT MCGEE

ADDRESS: 128 Monroe Street NE PHONE: 268-8828

CITY, STATE: Albuquerque, NM ZIP CODE: 87108

OWNER: APS CONTACT: RICARDO GUILLERMO

ADDRESS: 915 LOCUST SE PHONE: 242-5865

CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87106

ARCHITECT: CHERRY SEE CONTACT: JIM SEE

ADDRESS: 220A GOLD AVE SW PHONE: 842-1278

CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87102

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: UNKNOWN CONTACT: _____

ADDRESS: _____ PHONE: _____

CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

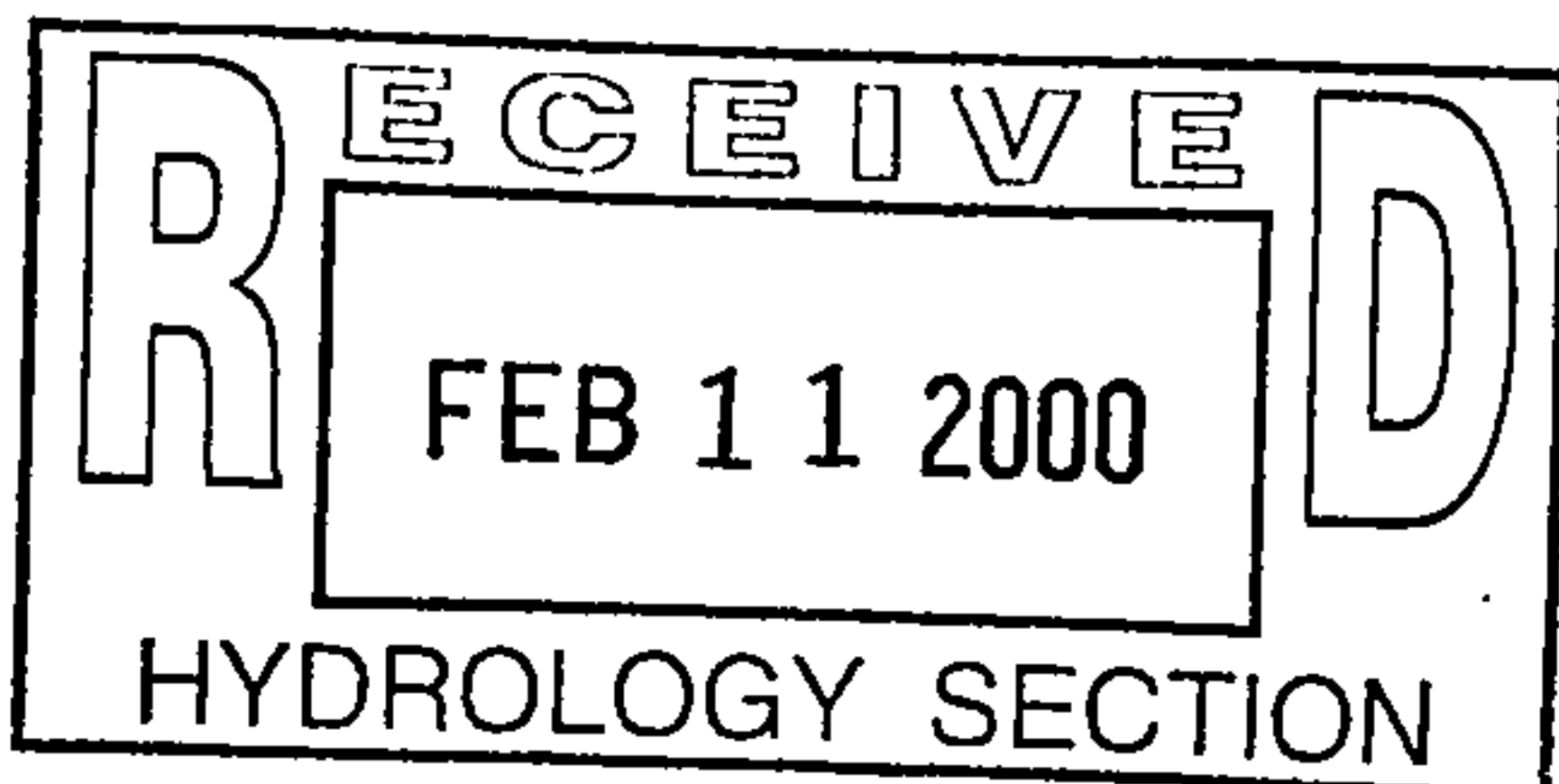
- ___ DRAINAGE REPORT
[X] DRAINAGE PLAN
___ CONCEPTUAL GRADING & DRAINAGE PLAN
[X] GRADING PLAN
___ EROSION CONTROL PLAN
___ ENGINEER'S CERTIFICATION
___ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ___ SKETCH PLAT APPROVAL
___ PRELIMINARY PLAT APPROVAL
___ S.DEV. PLAN FOR SUB'D. APPROVAL
___ S.DEV. PLAN FOR BLDG. PERMIT APPROVAL
___ SECTOR PLAN APPROVAL
___ FINAL PLAT APPROVAL
___ FOUNDATION PERMIT APPROVAL
[X] BUILDING PERMIT APPROVAL
___ CERTIFICATE OF OCCUPANCY APPROVAL
___ GRADING PERMIT APPROVAL
___ PAVING PERMIT APPROVAL
___ S.A.D. DRAINAGE REPORT
___ DRAINAGE REQUIREMENTS
___ OTHER (SPECIFY) _____

PRE-DESIGN MEETING:

- ___ YES
___ NO
___ COPY PROVIDED



DATE SUBMITTED: 2/11/00

BY: Scott M McGee

FOR ISAACSON & ARFMAN, P.A.

CITY OF ALBUQUERQUE
NOTICE OF D.R.C. MEETING

6-2-93

(DATE)

PROJECT NO: 4705.90
ZONE ATLAS: L-16

PROJECT NAME: BANDELIER ELEM. SCH. - LANDSCAPE + SITEWORK
(S.E. CORNER BURTON & WELLESLEY)

TYPE OF PROJECT: AHBA CIP PWC SAD ALL PRIVATE

Contact Person: PAT WESTBROOK Phone: 857-8640
Firm: C.O.A. - PALLS

* Scheduled with the D.R.C. on _____ at _____ in Conf. Room _____
on the 3rd Floor of the old City Hall Building.
NO DRC MTG. SCHEDULED! PLEASE RETURN ANY COMMENTS BY: 6-9-93!

The Project Is Scheduled For:

- / / Design Report Review
- / / Pre-Design Meeting
- Preliminary Plan Review
- / / Final Plan Review (Approved Infra. List)
- / / Signoff of Plans (MyLars Required)

The Project Relates To:

- / / Water
- / / San. Sewer
- Paving
- / / Storm Drainage
- LANDSCAPING

The Attached Package Includes:

- /D/ Drawings
- /S/ Spec's
- /E/ Estimate
- /R/ Report
- /M/ Memo Only

Indicated below are the Departments/Divisions that have received project documents and are invited to attend. It will be the Project Managers responsibility to notify consulting engineering firms of date and time of scheduled meetings on all CIP projects.

On Private Plans: First 8 Receive Prel. Plans--First 5 Receive Final Plans

DI Billy Goolsby	Project Review Section	All
DI Richard Dourte	Transportation Development	All
M Stuart Reeder	Utility Design	All
DI Hydro-Repres.	Hydrology	All
DI Const. Repres.	Construction	All FINAL
/ / Bill Coleman	Traffic Operations	All
/ / Rick Roybal	Construction Coordinator	ALL FINAL
/ / Dick Salas	Street Maintenance	All
/ / Sergio Miranda	Water -Shutoff Plan: Yes/No	All WATER
M Diane Scena	Parks & Recreation	ALL LANDSCAPING
/ / Sheryl Germack	Transit Department	CIP/Memos
M Joe Luehring	Utility Coordinator	PWC & CIP
/ / Jim Fink	Line Maintenance	CIP/SAS
/ / Joe Dellalonga	City Architect	ARCHITECTURAL
/ / Lee Lunsford	SAD Engineer	SAD
/ / Brett Locke	Transportation Develop.	CIP/TRANS.
/ / Roger Green	Utility Design	CIP/WATER & SAS
/ / Mike Minturn	General Services Dept.	BUILDINGS
/ / Anita Boulton	PWD/Legal Assistant	SPECIFICATIONS
/ / Richard Sertich	Planning Department	CIP/Memos
/ / CIP Manager	CIP	CIP/Memos



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 25, 1993

JMA will
pick up
Letter.
John C.

Tom Hubschman
Jeff Mortensen & Assoc.
6010 B Midway Park NE
Albuquerque, N.M. 87109

RE: GRADING & DRAINAGE PLAN FOR BANDELIER ELEMENTARY (L-16/D28)
STAMPED & DATED 3-23-93; RECEIVED MARCH 24, 1993
FOR GRADING PERMIT, PAVING PERMIT AND S.O.19 APPROVAL

Dear Mr. Hubschman:

Based on the information included in the submittal referenced above, City Hydrology APPROVES this project for the requested permits.

Include the Grading & Drainage Plan in the set of construction documents that are submitted for Grading/Paving Permit.

A separate permit is required for construction within City right of way. A copy of this letter must be on hand when applying for the excavation permit.

Engineer's Certification of grades in accordance with the DPM checklist will be required for this project.

If I can be of further assistance, you may contact me at 768-2727.

Sincerely,

John P. Curtin, P.E.
PWD/Hydrology

xc: Alan Martinez
Darlene Saavedra

WPHYD+7621;jpc

PUBLIC WORKS DEPARTMENT

PROJECT TITLE: BANDELIER ELEM. SC. ZONE ATLAS/DRNG. FILE #: L-16/028

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: BLOCKS 9, 10, & 11, MONTEREY HILLS ADDITION, AND VACATED TULANE AVENUE SE AND MONTEREY DRIVE SE.

CITY ADDRESS: 3309 PERSHING SE, ALBUQUERQUE, NM

ENGINEERING FIRM: JEFF MORTENSEN & ASSOC., INC. CONTACT: TOM HUBSCHMAN

ADDRESS: 6010 B MIDWAY PARK BLVD. NE PHONE: 505-345-4250
ALBUQUERQUE, NM 87109

OWNER: ALBUQUERQUE PUBLIC SCHOOLS (APS) CONTACT: BOB ROBIE

ADDRESS: DEPT FPC, POB 25704, ALB. NM 87125 PHONE: 505-242-5865

ARCHITECT: JAMES N. ROWLAND PARTNERS, INC. CONTACT: DAVE ROWLAND

ADDRESS: 925 LUNA CIRCLE NW, ALB. NM 87102 PHONE: 505-243-5700

SURVEYOR: JEFF MORTENSEN & ASSOC., INC. CONTACT: TOM HUBSCHMAN

ADDRESS: 6010 B MIDWAY PARK BLVD. NE PHONE: 505-345-4250
ALBUQUERQUE, NM 87109

CONTRACTOR: CITY OF ALBUQUERQUE CONTACT: ARCHITECT, ABOVE

ADDRESS: PARKS & GEN'L SVCS. DEPT PHONE: 505-243-5700

TYPE OF SUBMITTAL:

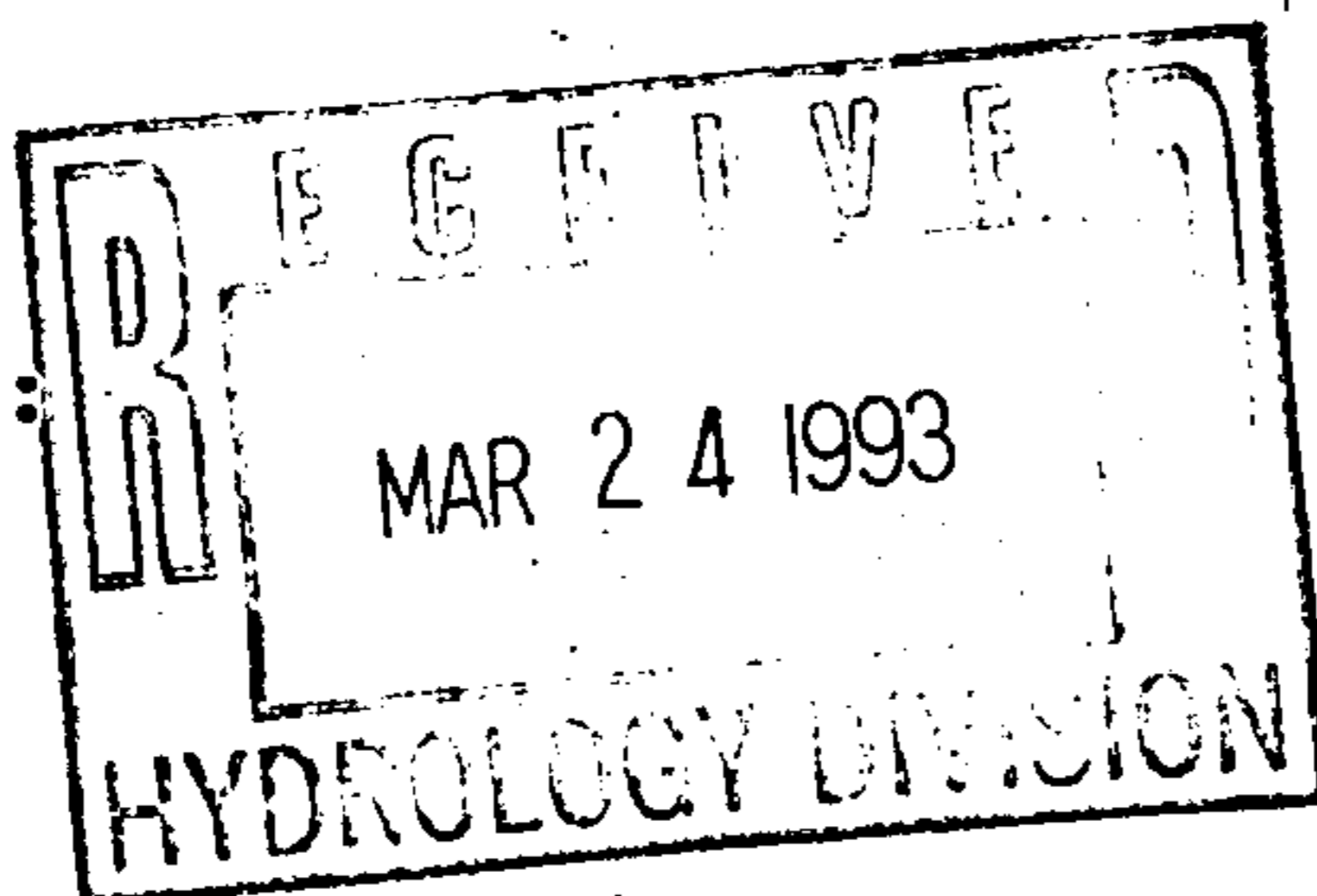
- DRAINAGE REPORT
- DRAINAGE PLAN
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION
- OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- SKETCH PLAT APPROVAL
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D. APPROVAL
- S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- S.A.D. DRAINAGE REPORT
- DRAINAGE REQUIREMENTS
- OTHER SO #19 (SPECIFY)

PRE-DESIGN MEETING:

- YES
- NO
- COPY PROVIDED



DATE SUBMITTED: 3/22/93

BY: TOM HUBSCHMAN



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 18, 1993

Tom Hubschman
Jeff Mortensen & Assoc.
6010 B Midway Park NE
Albuquerque, N.M. 87109

RE: GRADING & DRAINAGE PLAN FOR BANDELIER ELEMENTARY (L-16/D28)
STAMPED & DATED 3-11-93; RECEIVED MARCH 12, 1993
FOR GRADING PERMIT, PAVING PERMIT AND S.O.19 APPROVAL

Dear Mr. Hubschman:

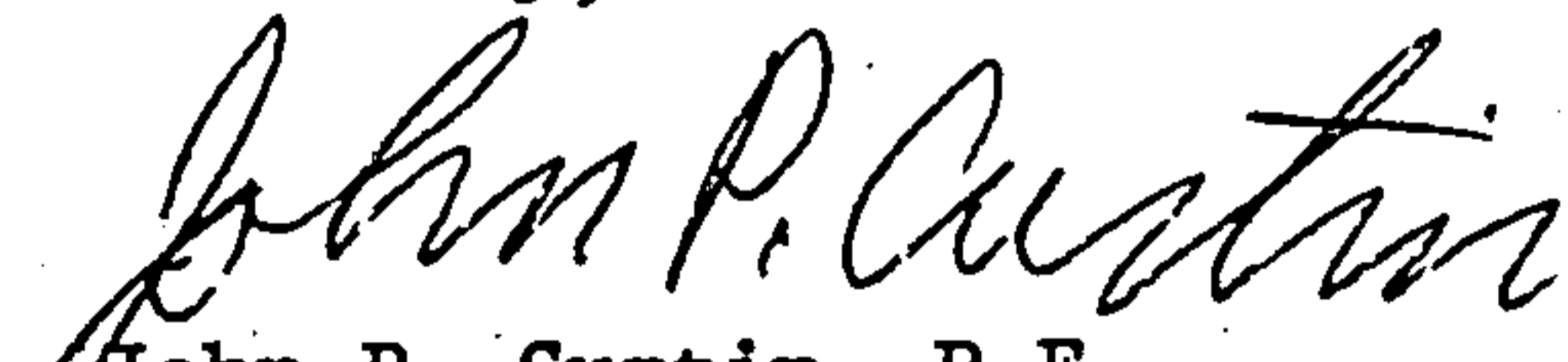
Based on the information included in the submittal referenced above, City Hydrology does NOT approve this project for the permits requested.

The following comments must be addressed before this project will be approved:

1. Brater & King use an Orfice Coefficient of 0.6 instead of 0.8. What is the source of your coefficient? Include orfice installation detail on plan.
2. Hydrograph calculations are incorrect. See marked up plan for explanation.
3. Grade NW corner to drain into the new storm inlet instead of out through the pedestrian exit.

If you have any questions about this project, you may contact me at 768-2727.

Sincerely,


John P. Curtin, P.E.
PWD/Hydrology

WPHYD+7621;jpc

PUBLIC WORKS DEPARTMENT

PROJECT TITLE: BANDELIER ELEM. SCH. ZONE ATLAS/DRNG. FILE #: L-16/028

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: BLOCKS 9, 10, & 11 MONTEREY HILLS ADDITION, AND VACATED TULANE AVENUE S.E. AND MONTEREY DRIVE S.E.

CITY ADDRESS: 3309 PERSHING S.E., ALBUQ.

ENGINEERING FIRM: JEFF MORTENSEN & ASSOC., INC. CONTACT: TOM HUBSCHMAN
ADDRESS: 6010 B MIDWAY PK. BLVD. N.E. ALBUQUERQUE, NM 87109 PHONE: 505-345-4250

OWNER: ALBUQUERQUE PUBLK SCHOOLS (APS) CONTACT: BOB ROBIE
ADDRESS: DEPT. FPC, POB 25704, ALB. NM 87125 PHONE: 505-242-5865

ARCHITECT: JAMES N. ROWLAND PARTNERS, INC. CONTACT: DAVE ROWLAND
ADDRESS: 925 LUNA CIRC. N.W., ALBQ. 87102 PHONE: 505-243-5700

SURVEYOR: JEFF MORTENSEN & ASSOC. INC. CONTACT: TOM HUBSCHMAN
ADDRESS: 6010 B MIDWAY PK. BLVD. N.E. ALBUQUERQUE, NM 87109 PHONE: 505-345-4250

CONTRACTOR: CITY OF ALBUQUERQUE CONTACT: ARCHITECT, ABOVE
ADDRESS: PARKS & GEN'L SVCS DEPT PHONE: 505-243-5700

TYPE OF SUBMITTAL:

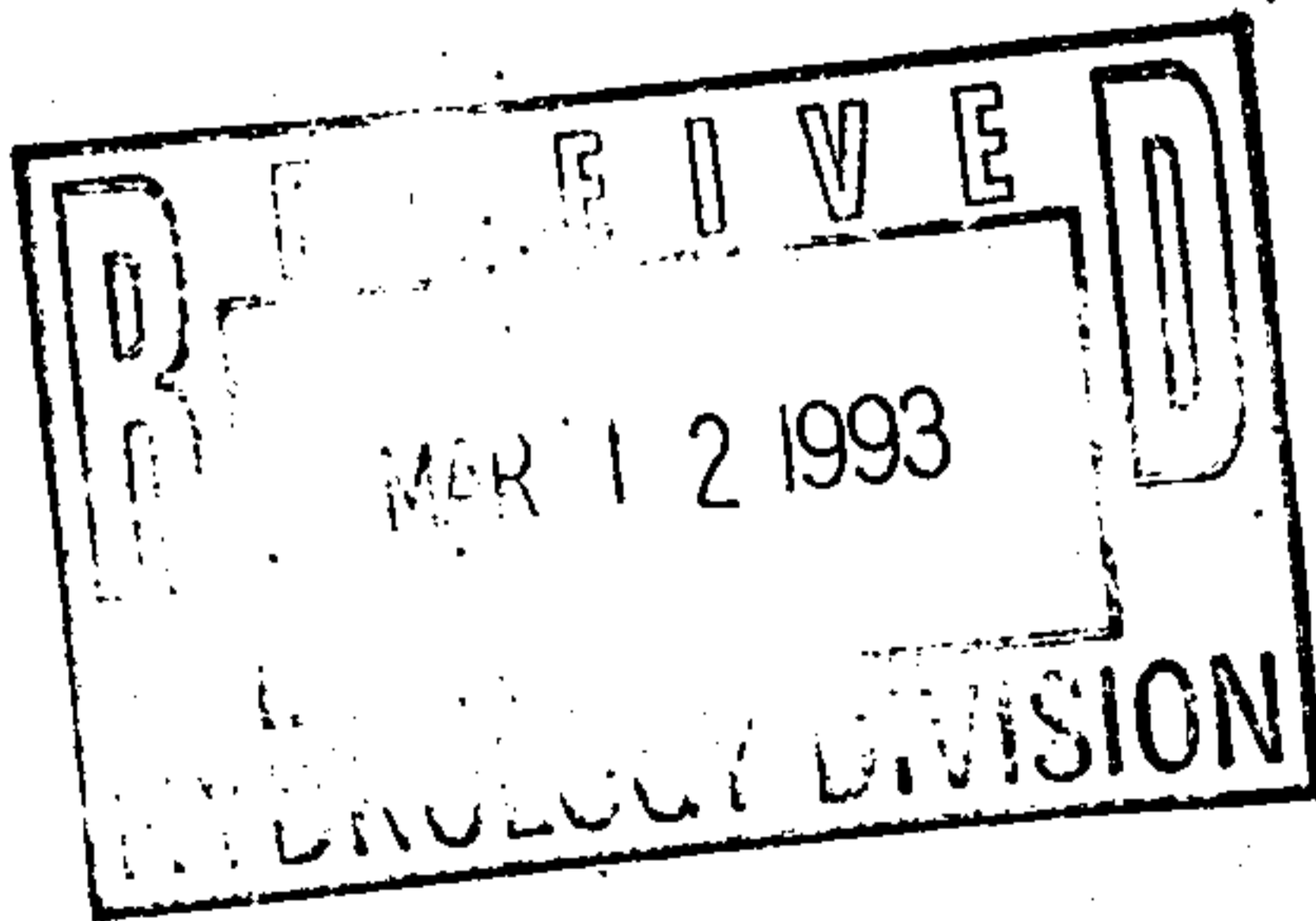
- DRAINAGE REPORT
- DRAINAGE PLAN
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION
- OTHER CITY CHECK-PRINTS

CHECK TYPE OF APPROVAL SOUGHT:

- SKETCH PLAT APPROVAL
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D. APPROVAL
- S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- S.A.D. DRAINAGE REPORT
- DRAINAGE REQUIREMENTS
- OTHER SO #19 (SPECIFY)

PRE-DESIGN MEETING:

- YES
- NO
- COPY PROVIDED



DATE SUBMITTED: 3/11/93
BY: TOM HUBSCHMAN

7621

Bandelier Elem Sch L-16/028

Jeff needs to resubmit
after he has addressed
verbal comments &
mark up. Please log ~~the~~
out the submittal received
Dec 29, 1992 as not
approved.

John Plestini
1-21-93



Catch Basin 1-13-93
@ NW Corner

Glenn Jurgensen

2:30 1-13-93

Spring '92 APS Regraded
Playground causing increased
runoff to Burton. APS
created two Detention
Basins on North side
to catch runoff. Glenn
ran ~~an~~ 7" pipe from
basins to existing Catch
Basins to create outlet.

John P Austin.



Outlet From 1-13-93
Catch Basin @ Tulane



Catch Basin 1-13-93
@ Tulane

DRAINAGE INFORMATION SHEET

PROJECT TITLE: BANDELIER EL.SCH. ZONE ATLAS/DRNG. FILE #: L-16/D28

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: BLOCKS 9, 10, AND 11, MONTEREY HILLS ADDITION, AND VACATED TULANE AVENUE S.E. AND MONTEREY DRIVE S.E.

CITY ADDRESS: 3309 PERSHING S.E.

ENGINEERING FIRM: JEFF MORTENSEN & ASSOC., INC. (J.M.A.) CONTACT: TOM HUBSCHMAN

ADDRESS: 6010-B MIDWAY PK. BLVD. N.E. ALBUQUERQUE, NM 87109 PHONE: 505-345-4250

OWNER: ALBUQUERQUE PUBLIC SCHOOLS (APS) CONTACT: BOB ROBIE

ADDRESS: DEPT. FPC, P.O.B. 25704, ALB, NM 87125 PHONE: 505-242-5865

ARCHITECT: JAMES N. ROWLAND PARTNERS, INC. CONTACT: DAVE ROWLAND

ADDRESS: 925 LUNA CIRCLE NW, ALB. 87102 PHONE: 505-243-5700

SURVEYOR: JEFF MORTENSEN & ASSOC., INC. (J.M.A.) CONTACT: TOM HUBSCHMAN

ADDRESS: 6010-B MIDWAY PK. BLVD. N.E. ALBUQUERQUE, NM 87109 PHONE: 505-345-4250

CONTRACTOR: CITY OF ALBUQUERQUE CONTACT: ARCHITECT, ABOVE

ADDRESS: PARKS & GEN'L SVCS. DEP'T. PHONE: 505-243-5700

TYPE OF SUBMITTAL:

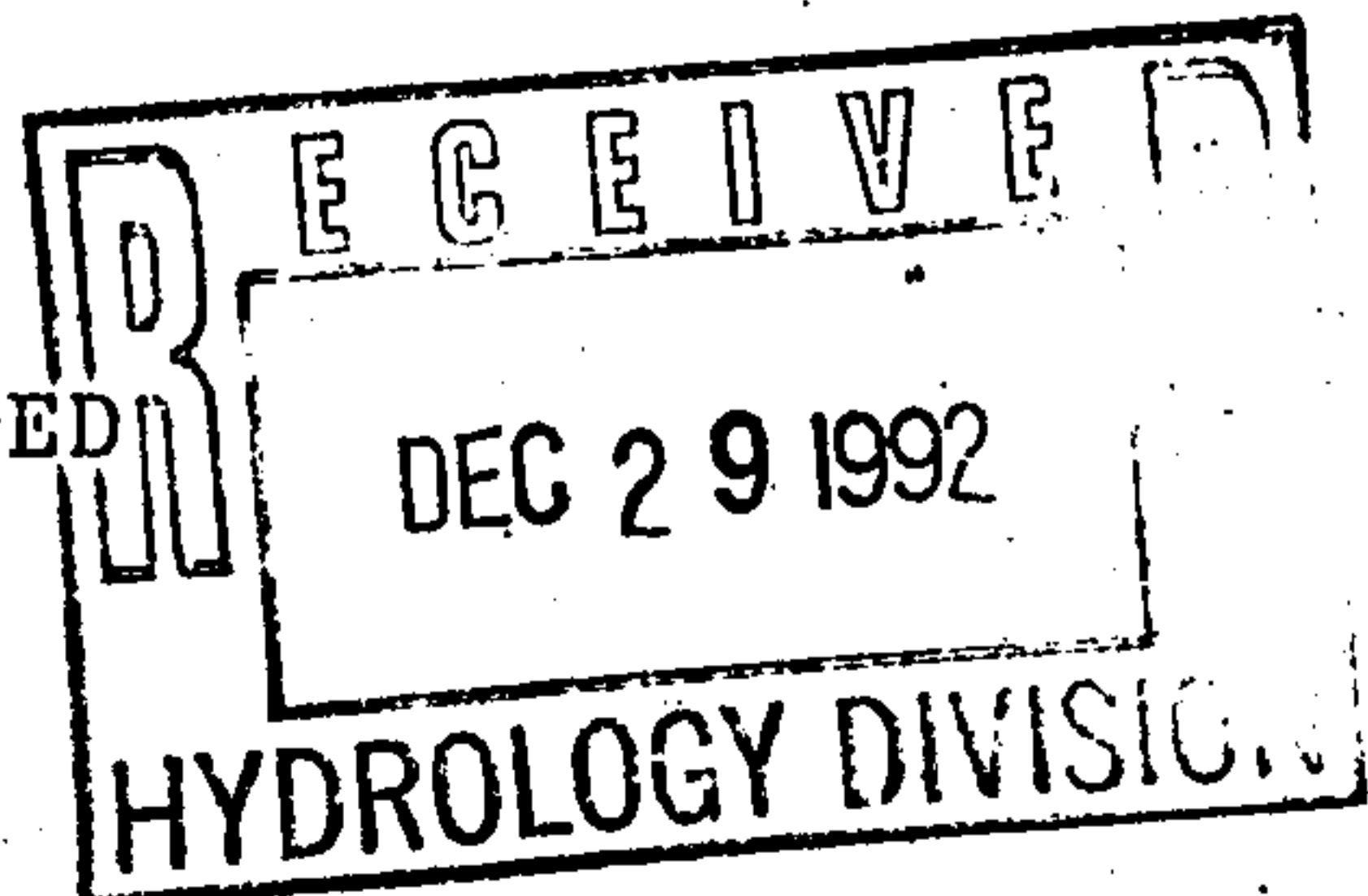
- DRAINAGE REPORT
- DRAINAGE PLAN
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION
- OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- SKETCH PLAT APPROVAL
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D. APPROVAL
- S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- S.A.D. DRAINAGE REPORT
- DRAINAGE REQUIREMENTS
- OTHER SO # 19 (SPECIFY)

PRE-DESIGN MEETING:

- YES
- NO
- COPY PROVIDED



DATE SUBMITTED: 12/29/92

BY: TOM HUBSCHMAN, J.M.A.

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
UTILITY DEVELOPMENT DIVISION/HYDROLOGY SECTION

PRE-DESIGN CONFERENCE

DRAINAGE FILE/ZONE ATLAS PAGE NO.: L-16 DATE: 12/1/92

EPC NO.: _____ DRB NO.: _____ ZONE: R1

SUBJECT: Bondelier Elementary School (Add site work)

STREET ADDRESS: _____

LEGAL DESCRIPTION: Block 9, Monterey Hills Addn

APPROVAL REQUESTED: _____ PRELIMINARY PLAT _____ FINAL PLAT
_____ SITE DEVELOPMENT PLAN ~~_____~~ BUILDING PERMIT
X GRADING/PAVING PERMIT _____ OTHER _____

ATTENDANCE: WHO REPRESENTING
JEFF MORTENSEN _____
TOM HUBSCHMAN _____
FRED J. AGUIRRE _____

FINDINGS:
• AN APPROVED DRAINAGE PLAN IS REQUIRED FOR THE ENTIRE SCHOOL SITE.
• PONDING/CONTROLS DISCHARGE TO BURTON AVE REQUIRED GIVEN THE EXISTING FLOOD HAZARD ARE IMMEDIATELY DOWNSTREAM OF WELLESLEY ON BURTON AVE.
• THE DRAINAGE PLAN WILL NEED TO PROVIDE JUSTIFICATION FOR THE PROPOSED PONDING VOLUMES AND DISCHARGE RATE.
• CERTIFICATION OF THE DRAINAGE/GRADING PLAN WILL BE REQUIRED FOR C.O. RELEASE.

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: [Signature] SIGNED: [Signature]
TITLE: _____ TITLE: _____
DATE: 12/1/92 DATE: 12/01/92

NOTE PLEASE PROVIDE A COPY OF THIS PRE-DESIGN FORM WITH THE DRAINAGE SUBMITTAL.