

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 28, 2023

Ian Anderson, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. N.E
Albuquerque, NM 87108

**RE: MAS Charter School – Storm Drain / Alley Improvements
1718 Yale Blvd. SE
Grading & Drainage Plan
Engineer's Stamp Date: 08/28/23
Hydrology File: L16D037**

Dear Mr. Anderson:

PO Box 1293
Based upon the information provided in your submittal received 08/04/2023, the Grading & Drainage Plan is approved for Grading Permit and Work Order. Please place this stamp approved Grading & Drainage Plan to the Work Order set of construction drawings.

Albuquerque
As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

NM 87103

www.cabq.gov
If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

MAS Charter School - Storm
Project Title: Drain / Alley Improvements Building Permit #: _____ Hydrology File #: _____
DRB#: _____ EPC#: _____ Work Order#: 502094
Legal Description: Tracts Lettered "A-2" and "B", Yale and Ross Addition & Tract 1-A Cactus Drive-in Parcel
City Address: 1718 Yale Boulevard SE, Albuquerque, NM 87106

Applicant: Isaacson & Arfman, Inc. Contact: Ian Anderson
Address: 128 Monroe St NE, Albuquerque, NM 87108
Phone#: 505-268-8828 Fax#: _____ E-mail: ian@iacivil.com

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☒ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 8/3/23 By: Ian Anderson

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



LEGEND

- 4892 --- EXISTING CONTOUR
- 95 --- PROPOSED CONTOUR
- 78.3± EXISTING TIE-IN SPOT ELEVATION
- 78.5± PROPOSED SPOT ELEVATION
- FLOW ARROW
- - - CONSTRUCTION LIMITS
- EXISTING SITE PAVEMENT TO REMAIN

KEYED NOTES

- PROPOSED LIMITS OF CONSTRUCTION.
- PROPOSED PUBLIC STORM DRAIN MANHOLE TYPE 'E', PER CITY STD DWG 2208. REFER TO PUBLIC WORK ORDER PLAN SET (CPN 502094) FOR STORM ALIGNMENT PROFILE AND DETAILS.
- PROPOSED SIDEWALK RECONSTRUCTION. SIDEWALK MAXIMUM RUNNING SLOPE = 1/20 (5%). MAXIMUM CROSS SLOPE = 1/50 (2%). SIDEWALK TO MATCH EXISTING ELEVATIONS AT TIE-IN TO EXISTING SIDEWALK.
- PROPOSED SIDEWALK RAMP. MAXIMUM RUNNING SLOPE = 1/12 (8.33%), MAXIMUM CROSS SLOPE = 1/50 (2%).
- PROPOSED PUBLIC ALLEY WAY RECONSTRUCTION. PER COA STD DWG 2411. REFER TO PUBLIC WORK ORDER PLAN SET (CPN 502094) FOR ADDITIONAL DETAILS.
- PROPOSED CURB & GUTTER RECONSTRUCTION FOR UTILITY INSTALLATION. PER COA STD DWG 2415A.
- EXISTING ASPHALT PAVING TO REMAIN.
- PROPOSED DRAIN LINE THROUGH CURB PER COA STD DWG 2235.
- PROPOSED SITE ALLEY GUTTER REMOVAL AND RECONSTRUCTION. SEE DETAIL THIS SHEET.
- PROPOSED PRIVATE 18-IN RCP STORM DRAIN. REFER TO PUBLIC WORK ORDER PLAN SET (CPN 502094) FOR STORM DRAIN ALIGNMENT PROFILE AND DETAILS.
- PROPOSED PRIVATE 2-IN DRAIN LINE FROM EXISTING TRENCH DRAIN.
- EXISTING SITE FENCE, TO BE REMOVED AND REPLACED AS NECESSARY FOR PUBLIC ALLEY RECONSTRUCTION.
- PROPOSED PRIVATE LANDSCAPE AREA DRAIN.
- PROPOSED SITE PARKING AREA AC PAVT REPLACEMENT.
- PROPOSED SITE HEADER CURB ADJACENT TO RECONSTRUCTED ALLEY GUTTER, TO BE MONOLITHIC WITH ALLEY GUTTER.
- PROPOSED CUT-OFF WALL AT PUBLIC ALLEY RECONSTRUCTION LIMITS. PER COA STD DWG 2415C.
- EXISTING PRIVATE SUMP PUMP AT NORTHERN DEPRESSED ENTRY TO SCHOOL GYM.
- EXISTING PRIVATE TRENCH DRAIN AT SOUTHERN DEPRESSED ENTRY TO SCHOOL GYM.
- REGRADE EXISTING LANDSCAPING / PUBLIC ALLEY AS REQUIRED TO PROVIDE SMOOTH TRANSITION TO PROPOSED CUT-OFF WALL AT PUBLIC ALLEY RECONSTRUCTION LIMITS.
- EXISTING WALL TO REMAIN.
- EXISTING SITE PONDING AREA TO REMAIN.
- 5-FT WIDE SIDEWALK TRANSITION PANEL TO EXISTING ELEVATIONS AND GRADES.

EXISTING DRAINAGE CONCEPT

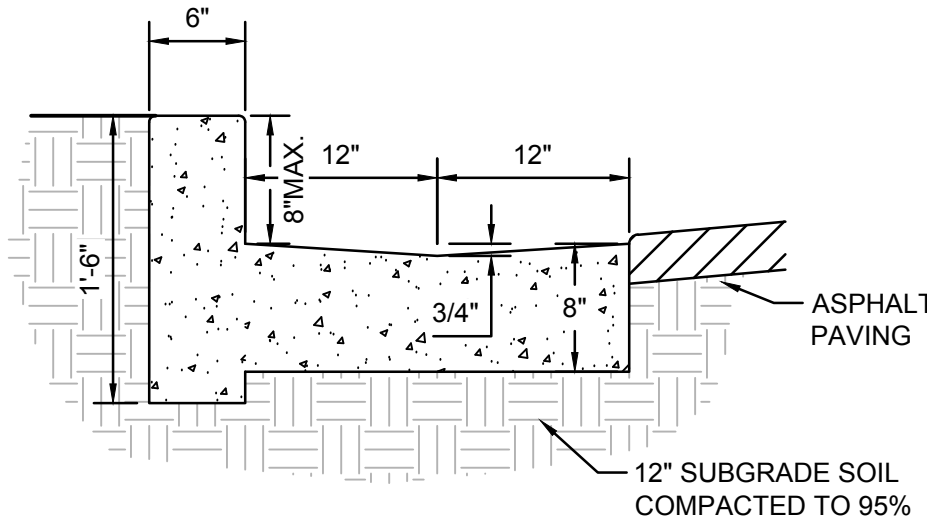
THE EXISTING DRAINAGE PATTERN THAT HAS BEEN ESTABLISHED UNDER THE 'YOUTH BUILD / LA RESOLANA' RECORD PLANS (HYDRO # L160037) WILL BE MAINTAINED. THE PROPOSED MITIGATION CONSTRUCTION WILL NOT ALTER THE EXISTING DRAINAGE PATTERN ON SITE. THE MITIGATION WILL ONLY PROMOTE RUNOFF AWAY FROM EXISTING LOW SPOTS / PONDING AREAS THAT HAVE ENTERED BACK INTO THE BUILDINGS AND PROVIDE NEW DIRECT OUTLET POINTS TO THE PUBLIC RIGHT-OF-WAY / PUBLIC STORM DRAIN SYSTEM.

PROPOSED DRAINAGE CONCEPT

THE PROPOSED CONDITION OF THE PROJECT SITE WILL NOT ALTER THE EXISTING DRAINAGE PATTERN NOTED IN THE 'YOUTH BUILD / LA RESOLANA' RECORD PLANS (HYDRO # L16D037).

THE PROPOSED CONSTRUCTION WILL BE LIMITED TO REMOVAL AND RECONSTRUCTION OF EXISTING IMPERVIOUS AREAS TO MITIGATE THE EXISTING SITE DRAINAGE ISSUES. SINCE THERE WILL BE NO INCREASE IN IMPERVIOUS AREAS ON SITE, THE EXISTING DRAINAGE PATTERNS AND CALCULATIONS SHOWN ON THE RECORD PLANS WILL STILL APPLY. THERE WILL BE NO INCREASE TO ANY RUNOFF DISCHARGED FROM THE PROJECT SITE OR ADVERSE IMPACT ON DOWNSTREAM PROPERTIES.

DEVELOPED FLOW OF THE IMPROVED PUBLIC ALLEY WAY WILL DISCHARGE VIA A NEW ALLEY GUTTER DIRECTLY TO THE ROSS AVE RIGHT-OF-WAY. FROM THAT POINT, RUNOFF WILL FOLLOW THE CURB & GUTTER UNTIL IT REACHES THE EXISTING PUBLIC CURB INLET ADJACENT TO THE EXISTING DRIVEWAY BETWEEN THE MAS CHARTER SCHOOL BUILDING AND THE MAS CHARTER SCHOOL GYM.



GENERAL NOTES

- SEALED CONTRACTION / CONTROL JOINTS @ 6' MAX.
- 1/2" SEALED EXPANSION JOINTS 48" O.C., CURB RETURNS AND EACH SIDE OF DRIVES.
- FINISHED EDGE OF ASPHALT PAVING TO BE 1/2" ABOVE EDGE OF CONCRETE (TYP).
- 3/8" RADII AT ALL EXPOSED EDGES.

SITE ALLEY GUTTER W/ MONOLITHIC HEADER CURB

SCALE: N.T.S.

PROJECT INFORMATION

PROPERTY: THE PROJECT SITE CONSISTS OF AN EXISTING CHARTER SCHOOL EXPERIENCING STORM DRAINAGE ISSUES. THERE ARE VARIOUS AREAS OF PONDING ON SITE WHERE EXISTING STORM INLETS AND SUMP PUMPS ARE UNABLE TO DIRECT STORM RUNOFF AWAY FROM BUILDINGS. WHERE RUNOFF ULTIMATELY PONDS AND ENTERS THE ADJACENT EXISTING SCHOOL BUILDINGS.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS ON SITE WILL MITIGATE THE EXISTING DRAINAGE ISSUES NOTED ABOVE. THE MITIGATION WILL INCLUDE THE FOLLOWING:

- REPLACEMENT OF AN EXISTING ALLEY GUTTER TO REDIRECT RUNOFF AWAY FROM THE NORTHERN DEPRESSED ENTRY AT THE SCHOOL GYM.
- REVISED OUTLET DRAIN PIPE FROM AN EXISTING TRENCH DRAIN AT THE SOUTHERN DEPRESSED ENTRY OF THE SCHOOL GYM.
- REPLACEMENT OF AN EXISTING LANDSCAPE AREA DRAIN AND PROPOSED CONNECTION DIRECTLY TO THE PUBLIC STORM DRAIN WITHIN ROSS AVE AT THE SCHOOL'S PRIMARY ENTRY / ADA PATHWAY ENTRY.
- EXISTING PARKING / DROP-OFF AREA PAVEMENT REPLACEMENT TO PROVIDE A SMOOTH TRANSITION FROM THE RECONSTRUCTED PUBLIC ALLEY.

THE CHARTER SCHOOL IS ALSO IMPLEMENTING THE 'ROSS LOOP' NOTED IN THE CITY OF ALBUQUERQUE (COA) APPROVED NEIGHBORHOOD IMPACT ASSESSMENT REPORT (HT#L16D037) BY LEE ENGINEERING, DATED 11/3/22. IMPLEMENTATION OF THE 'ROSS LOOP' REQUIRED ROADWAY IMPROVEMENTS TO THE PUBLIC ALLEY LOCATED DIRECTLY EAST OF THE PROJECT SITE. THE ROADWAY IMPROVEMENTS TO THE PUBLIC ALLEY WILL ALSO REQUIRE SOME EXISTING AC PAVEMENT MODIFICATION AT THE NORTHEAST CORNER OF THE PROJECT SITE TO PROVIDE A SMOOTH TRANSITION FROM THE RECONSTRUCTED PUBLIC ALLEY TO THE SCHOOL PARKING / DROP-OFF AREA.

ALL PROPOSED WORK WITHIN THE PUBLIC RIGHT-OF-WAY WILL BE DETAILED UNDER PUBLIC WORK ORDER 502094.

TOTAL AREA OF CONSTRUCTION SHOWN: 0.2031 AC (8,848 SF), INCLUDING WORK WITHIN PUBLIC RIGHT-OF-WAY.

LEGAL: TRACT LETTERED 'A-2' AND 'B', YALE AND ROSS ADDITION & TRACT 1-A CACTUS DRIVE-IN PARCEL, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

OVERALL PROPERTY AREA: 2.8401 AC (123,716 SF)

ADDRESS: 1718 YALE BOULEVARD SE, ALBUQUERQUE, NM 87106

BENCHMARKS:
ACS MONUMENT BM 13-L15 (E: 1529573.62, N: 1478729.37, Z: 5178.76)
ACS MONUMENT BM 7-L15 (E: 1529618.78, N: 1479030.74, Z: 5164.135)

FLOOD HAZARD: PER FEMA FLOOD HAZARD MAP 35001C0353H, EFFECTIVE DATE 8/16/2012, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

Isaacson & Arfman, Inc.
Civil Engineering Consultants
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Albuquerque, NM 87108
505-268-8828 | www.iaacivil.com



10899 montgomery blvd ne
suite a
albuquerque, nm 87111

SEAL



PROJECT

MAS CHARTER SCHOOL
1718 YALE BLVD SE

STORM DRAIN / ALLEY IMPROVEMENTS

NEC OF YALE BOULEVARD AND ROSS AVE. SE.
ALBUQUERQUE, NEW MEXICO

REVISIONS	DATE	DESCRIPTION

I&A PROJ #: 2579
ARCHT PROJ #: A22.24
DRAWN BY: IMNA
CHECKED BY: FCA
DATE: AUG 2, 2023

SHEET TITLE

GRADING &
DRAINAGE
PLAN

SHEET NUMBER

CG-100