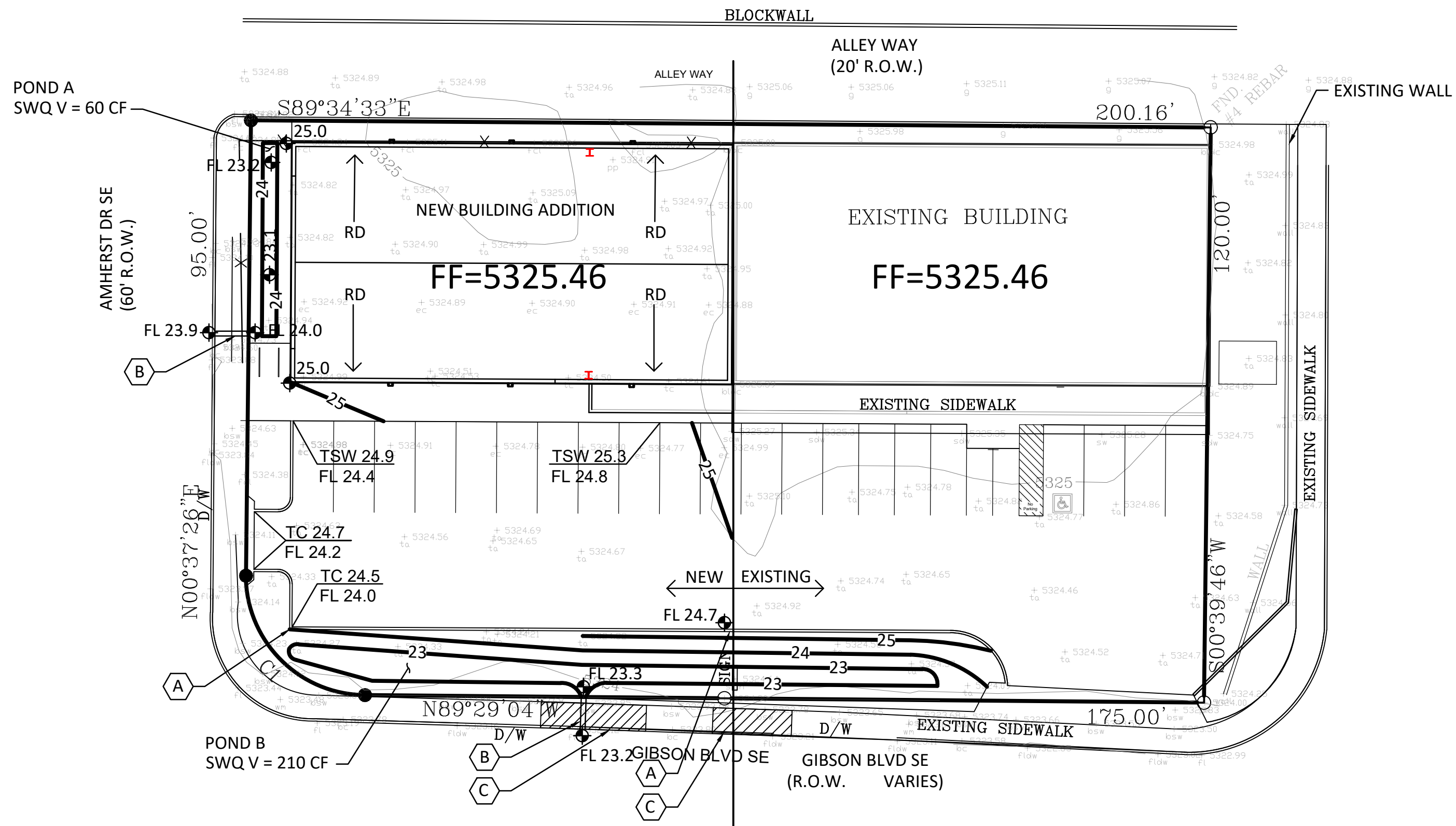




FEMA MAP

N.T.S.



GRADING AND DRAINAGE PLAN

1" = 20'

0 20' 40'

DRAINAGE ANALYSIS

ADDRESS: 3511 Gibson Blvd SE, Albuquerque, NM

LEGAL DESCRIPTION: Lot 24A, Carter's Subdivision of Block 8 Knob Heights

SITE AREA: 0.548 AC (23,875 SF) PRECIPITATION ZONE: 2

BENCHMARK: City of Albuquerque Station '19-L16' being a brass cap
ELEV= 5297.50 (NAVD 1988)

SURVEYOR: TM Surveying Inc. dated July, 2022

FLOOD HAZARD: From FEMA Map 35001C0361G (9/26/2008), this site is identified as being within Zone 'X' which is determined to be outside the 0.2% annual chance floodplain.

OFFSITE FLOW: The site does not accept offsite flow as public streets border the site to the east, south, and west. An existing paved public alley runs along the north side of the lot.

EXISTING CONDITIONS: The site is currently developed as a commercial building with existing paved access and parking areas. The site slopes down to the south and west at 0.5% and discharges to Gibson Blvd and Amherst Drive.

PROPOSED IMPROVEMENTS: The proposed improvements include a 4,600 SF building addition, asphalt parking, and xeric depressed landscaping. This project is considered redevelopment of an existing impervious site.

DRAINAGE APPROACH: The north ½ of the building will drain to Pond A while the south ½ of the building and new parking area will drain to the south to Pond B. SWQ volumes provided exceed the required amounts.

Existing land treatment: 100% D
 $Q = (.548)(4.34) = 2.4$ CFS
Proposed land treatment: 10% C and 90% D
 $Q = [(0.10)(3.05) + (0.90)(4.34)](0.548) = 2.3$ CFS

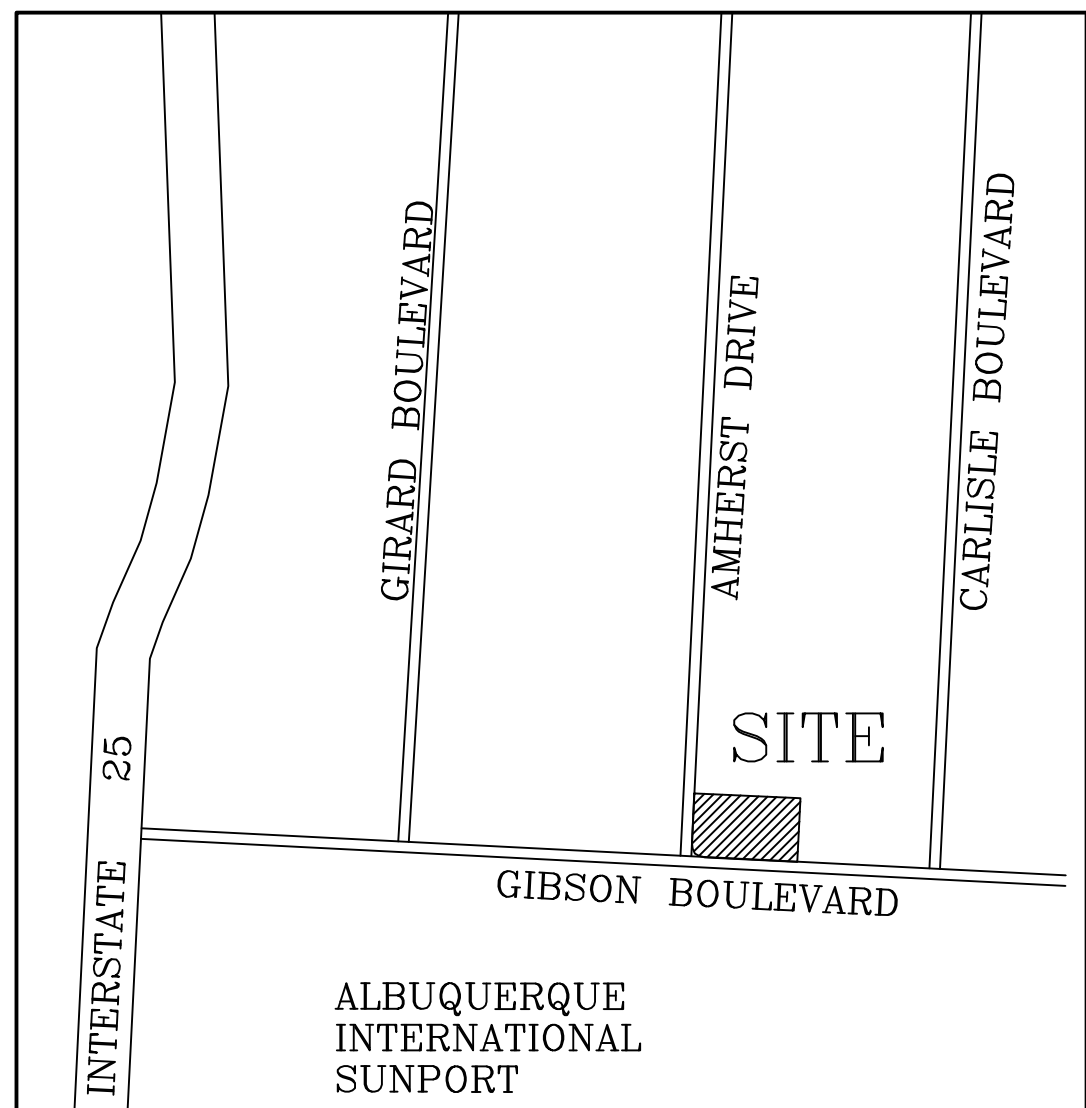
$SWQ V = (9.915)(0.26/12) = 215$ CF

This flow will discharge to two onsite retention ponding areas located west and south of the building addition. The SWQ volume of 215 CF will be retained in the pond bottom. Site discharge will not be increased.

For 3' curb opening—Weir $Q = CLH^*3/2 = (2.7)(3)(0.5)^*3/2 = 2.8$ CFS

SPECIAL ORDER 19 NOTES

- Build sidewalk culvert per COA STD DWG 2236. Work is permitted and inspected by DMD Construction Services Division.
- An excavation permit will be required before beginning any work within City Right-Of-Way.
- All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
- Prior to any excavation, the contractor must contact New Mexico One Call, dial "811" [or (505) 260-1990] for the location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be 95%.
- Maintenance of the facility shall be the responsibility of the owner of the property being served.
- Work on arterial streets may be required on a 24-hour basis.
- For excavation and barricading inspections, contact DMD Construction Services Division.



VICINITY MAP

L-16-Z

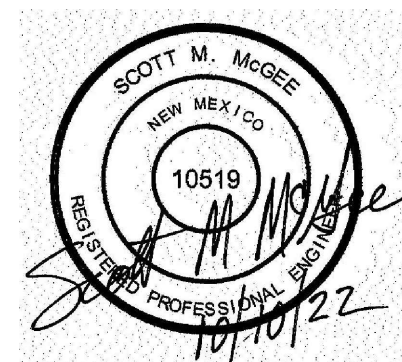
LEGEND

---	EXISTING CONSTRUCTION
---	NEW CONTOUR
FF=5325.46	PROPOSED BUILDING FINISH FLOOR ELEV
36.5	NEW SPOT ELEVATION
---	NEW CONSTRUCTION
RD	ROOF DRAIN
TC	TOP OF CURB

KEYED NOTES

- INSTALL 3'-WIDE CURB OPENING.
- INSTALL 18" WIDE SIDEWALK CULVERT PER CITY STD DWG 2236 FROM PROPERTY LINE TO CURB FACE.
- REMOVE EXISTING DRIVEPAD TO NEAREST CONTROL JOINT AND REPLACE WITH STANDARD CURB & GUTTER AND SIDEWALK PER COASTD DWGS 2415A & 2430.

GENERAL DRAINAGE NOTE: SIDE SLOPES NEED TO BE STABILIZED WITH NATIVE GRASS SEED (PER CITY SPEC 1012) WITH 3" DEPTH AGGREGATE MULCH OR EQUAL (MUST SATISFY THE "FINAL STABILIZATION" CGP 2.2.14.b.).



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HACIENDA HC EXPANSION
3511 GIBSON BLVD SE, ALBUQUERQUE, NM 87106

AUGUST 2022

C-1