

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

June 4, 2024

Ian Anderson, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St. N.E  
Albuquerque, NM 87108

**RE: MAS Charter School - West Parent Loop and Parking  
Revised Grading and Drainage Plan  
Engineer's Stamp Date: 05/28/24  
Hydrology File: L16D044**

Dear Mr. Anderson:

Based upon the information provided in your submittal received 05/29/2024, the Revised Grading & Drainage Plans are approved for Paving Permit, and SO-19 Permit. Once the grading and paving of the project is complete, please provide an as-built for the City's records since there is no CO attached to the project.

Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

MAS Charter School - West

**Project Title:** Parent Loop and Parking **Building Permit #** \_\_\_\_\_ **Hydrology File #** L16D044

**DRB#** PR-2021-006259 **EPC#** \_\_\_\_\_

**Legal Description:** Lot 4-A, 5-8, 11-12, Block 5 **City Address OR Parcel** 1717 Yale Blvd SE  
Clayton Heights

**Applicant/Agent:** Isaacson & Arfman, Inc. **Contact:** Ian Anderson

**Address:** 128 Monroe St NE, Albuquerque, NM 87108 **Phone:** 505-268-8828

**Email:** ian@iacivil.com

**Applicant/Owner:** Guardian Airport Parking, LLC **Contact:** Larry Rieder

**Email:** lrieder@csp.us.com **Phone:** 310-993-1100

**Address:** 2505 Anthem Village Dr, Ste E-390, Henderson, NV 89052

**TYPE OF DEVELOPMENT:** ☒ PLAT (#of lots) \_\_\_\_\_ ☐ RESIDENCE \_\_\_\_\_ ☐ DRB SITE \_\_\_\_\_ ☒ ADMIN SITE: ☒

**RE-SUBMITTAL:** ☒ YES \_\_\_\_\_ NO

**DEPARTMENT:** \_\_\_\_\_ ☐ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that apply:

### TYPE OF SUBMITTAL:

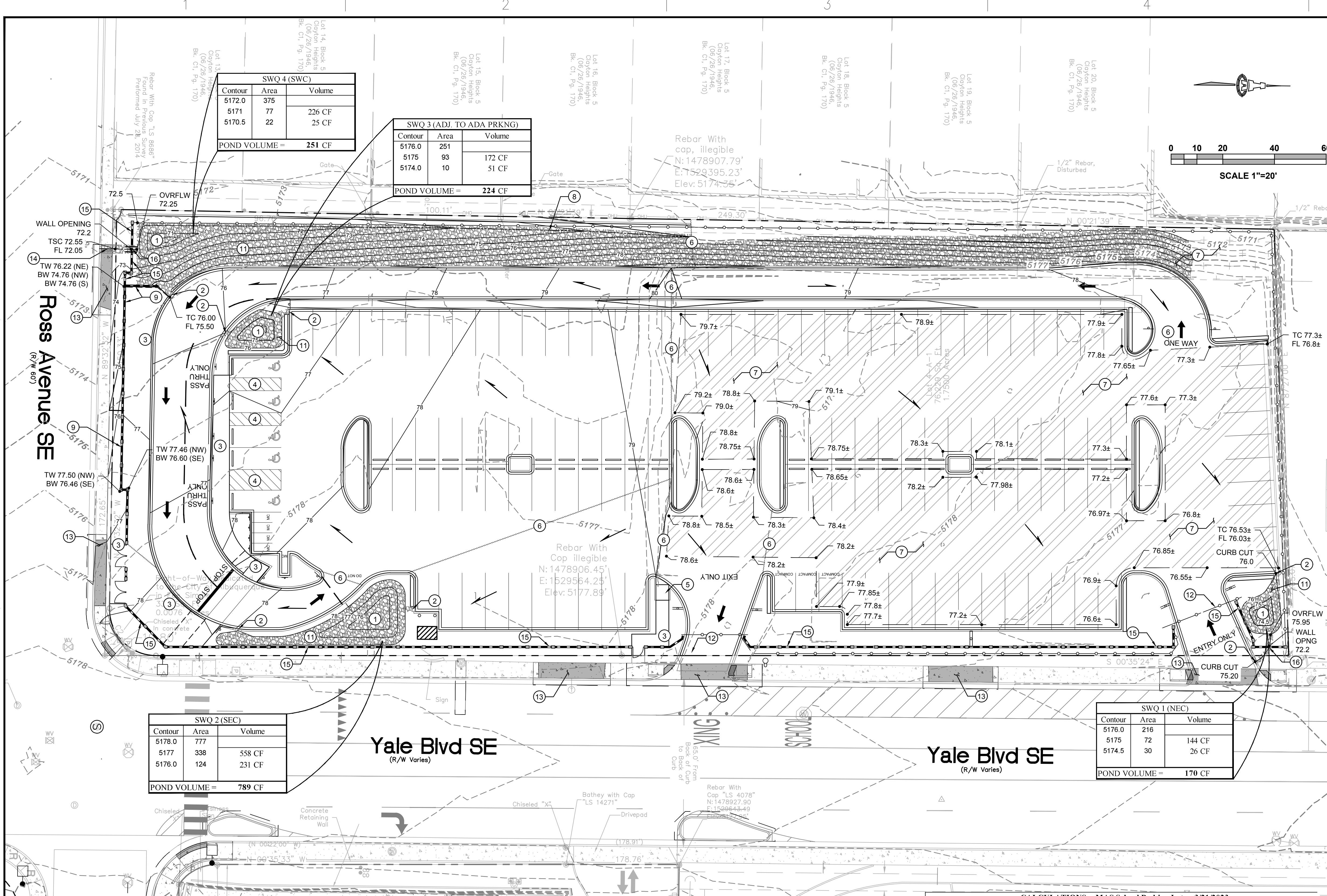
- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DRB APPROVAL
- ☒ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT APPROVAL
- ☒ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☒ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 5/28/24





**LEGEND**

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4892

EXISTING CONTOUR

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4895

PROPOSED CONTOUR

78.3±

EXISTING SPOT ELEVATION

78.5

PROPOSED SPOT ELEVATION

→

FLOW ARROW

---

SWALE CENTERLINE

▨

EXISTING ASPHALT PAVEMENT TO REMAIN

**PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR (SPECIAL ORDER 19)**

1. BUILD SIDEWALK CULVERT PER COA STD DWG 2236.

2. CONTACT STORM MAINTENANCE AT (505) 857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.

3. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.

4. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

5. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.

6. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

7. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.

8. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.

9. WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HR BASIS.

10. CONTRACTOR MUST CONTACT STORM MAINTENANCE AT (505) 857-8033 TO SCHEDULE A CONSTRUCTION INSPECTION AND BARRICADING INSPECTIONS, CONTACT CONSTRUCTION COORDINATION AT (505) 924-3416.

**PROJECT INFORMATION**

PROPERTY: THE PROJECT SITE CONSISTS OF NINE (9) DEVELOPED LOTS LOCATED OFF OF THE EXISTING PAVED ROADWAYS OF YALE BOULEVARD SE AND ROSS AVENUE SE.

THE EXISTING LOTS WILL BE CONSOLIDATED INTO A SINGLE LOT THROUGH A CONCURRENT PLATTING ACTION. THE PROPERTIES ARE LOCATED WITHIN C.O.A. ZONE ATLAS MAP L-15. THE SITE IS BOUNDED BY YALE BOULEVARD SE TO THE EAST, ROSS AVENUE SE TO THE SOUTH, EXISTING RESIDENTIAL HOMES TO THE WEST AND EXISTING COMMERCIAL TO THE NORTH.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS ON SITE WILL CONSOLIDATE THE NINE EXISTING LOTS INTO A SINGLE LOT, AND EXPAND THE EXISTING NORTHERN PARKING AREA THROUGH THE CONSOLIDATED SITE.

LEGAL: LOTS 4-A, 5-B, 11-12, BLOCK 5 CLAYTON HEIGHTS, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

AREA: 1.75 AC (76,229 SF)

ADDRESS: 1717 YALE BOULEVARD SE, ALBUQUERQUE, NM 87106

BENCHMARKS:  
ACS MONUMENT BM 13-L15 (E: 1529573.62, N: 1478729.37, Z: 5178.76)  
ACS MONUMENT BM 7-L15 (E: 1529618.78, N: 1479030.74, Z: XX XX)

FLOOD HAZARD: PER FEMA FLOOD HAZARD MAP 35001C0353H, EFFECTIVE DATE 8/16/2012, THE SITE IS LOCATED WITHIN FLOODZONE "X" DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

**KEYED NOTES**

1. PROPOSED STORM WATER QUALITY POND. DEPTH VARIES PER POND, MAXIMUM DEPTH = 2-FT.

2. PROPOSED 2-FT WIDE CURB CUT TO ALLOW DRAINAGE RUNOFF FLOW TO PASS THROUGH.

3. PROPOSED SIDEWALK. SIDEWALK MAXIMUM RUNNING SLOPE = 1/20 (5%), MAXIMUM CROSS SLOPE = 1/50 (2%).

4. PROPOSED ADA PARKING AREA. MAXIMUM SLOPE = 1/50 (2%) IN ALL DIRECTIONS.

5. PROPOSED SIDEWALK RAMP, MAXIMUM RUNNING SLOPE = 1/12 (8.33%), MAXIMUM CROSS SLOPE = 1/50 (2%).

6. PROPOSED RIDGE LINE.

7. EXISTING ASPHALT PAVING TO REMAIN & LANDSCAPE SLOPE TO REMAIN.

8. PROPOSED LANDSCAPE SWALE TO CONVEY RUNOFF TO ON-SITE STORM WATER QUALITY POND / PUBLIC SIDEWALK CULVERT CONSTRUCTED UNDER PUBLIC WORK ORDER.

9. PROPOSED SITE WALL, (MAX RETAINING = 2'-8"). STRUCTURAL DESIGN BY OTHERS, REFER TO ARCH SHEET SK-5 (DETAIL B3) FOR ADDITIONAL WALL INFO.

10. PROPOSED SITE FENCE. SEE ARCHITECTURE / LANDSCAPE PLANS.

11. INSTALL ANGULAR ROCK EROSION PROTECTION AT SWALE AND AT 3:1 POND SLOPES, REFER TO LANDSCAPE PLANS FOR ADDITIONAL DETAIL / NOTES.

12. PROPOSED FENCE GATE WITH KNOX BOX FOR EMERGENCY USE. SEE ARCHITECTURE / LANDSCAPE PLANS FOR ADDITIONAL DETAIL.

13. PUBLIC WORK TO BE CAPTURED UNDER PUBLIC WORK ORDER PLAN SET, CPN: 584685.

14. SIDEWALK CULVERT UNDER PUBLIC WORK ORDER, CPN: 584685, PER COA STD DWG 2236.

15. PROPOSED SITE SCREENING WALL. STRUCTURAL DESIGN BY OTHERS, REFER TO ARCH SHEET SK-5 (DETAIL B5) FOR ADDITIONAL SCREENING WALL INFO.

16. PROPOSED WALL OPENING FOR DRAINAGE.

**EXISTING DRAINAGE PATTERN**

EXISTING DRAINAGE PATTERN:

THE OVERALL PROJECT SITE HAS AN EXISTING PAVED PARKING AREA ON LOTS 4-A AND 5-B. AN EXISTING BUILDING AND ROOF WAS DEMOLISHED. LOTS 9 AND 10 WAS TURNED INTO A GRAVEL PARKING AREA WHICH REMAINS IN THE CURRENT CONDITION. LOTS 11 AND 12 HAS AN EXISTING ASPHALT PARKING AREA THROUGHOUT.

THERE ARE NO EXISTING OFF-SITE RUNOFF WHICH ENTERS THE PROJECT SITE. THE OVERALL SITE'S EXISTING DRAINAGE PATTERN IS SPLIT IN TWO, WITH THE MAJORITY OF THE NORTHERN LOTS (LOTS 4-A & 5-B) GENERATED RUNOFF WITHIN THE PARKING AREAS FLOWS NORTHEASTERLY UNTIL IT ENTERS THE YALE BLVD PUBLIC RIGHT-OF-WAY. THE NORTHWESTERN CORNER OF THE SITE HAS A SLOPE WHICH FALLS TO THE WEST, AND RUNOFF GENERATED IN THIS AREA FLOWS WESTWARD UNTIL IT REACHES THE PRIVATE ALLEYWAY. ONCE WITHIN THE ALLEYWAY, THE RUNOFF IS CONVEYED SOUTHWARD TOWARDS ROSS AVE.

THE SOUTHERN LOTS (LOTS 9-12) GENERATED RUNOFF FLOWS IN THE OPPOSITE DIRECTION OF THE NORTHERN LOTS' RUNOFF, FLOWING SOUTHWESTERLY UNTIL THE RUNOFF ENTERS THE ADJACENT PRIVATE ALLEYWAY AND THE ROSS AVENUE PUBLIC RIGHT-OF-WAY.

THE EXISTING TOTAL RUNOFF FLOW GENERATED FROM THE NORTHERN LOT IS 3.4-CFS, AND THE SOUTHERN LOTS TOTAL RUNOFF FLOW GENERATED IS 4.0-CFS.

**PROPOSED DRAINAGE CONCEPT**

PROPOSED DRAINAGE PLAN CONCEPT:

THE PROPOSED CONDITION OF THE PROJECT SITE WILL FOLLOW THE EXISTING DRAINAGE PATTERN, WITH THE LARGER PARKING LOT SPLIT IN TWO. THE NORTHERN HALF RUNOFF FLOWING NORTHEASTERLY TO YALE BOULEVARD AND THE SOUTHERN HALF FLOWING SOUTHWESTERLY TO ROSS AVENUE.

THE NORTHERN EXISTING PARKING AREA WILL PRESERVE A MAJORITY OF THE EXISTING ASPHALT. NEW NORTHERN ASPHALT AREAS WILL BE DIRECTED TO A NEW STORMWATER QUALITY POND LOCATED IN NEW LANDSCAPED AREAS, WHICH WILL ULTIMATELY BE RELEASED FOLLOWING THE EXISTING PAVEMENT TO REMAIN SLOPE OUT TO YALE BLVD RIGHT-OF-WAY.

THE NEW SOUTHERN PARKING AREA WILL HAVE ADDITIONAL STORMWATER QUALITY PONDS TO COLLECT THE RUNOFF GENERATED FROM THE NEW ASPHALT PAVEMENT AREAS. THE SITE WILL HAVE A LARGER STORMWATER QUALITY POND AT THE SOUTHWESTERN CORNER, THE HISTORICAL LOW POINT OF THE SOUTHERN LOTS. THE POND WILL COLLECT RUNOFF UNTIL THE OVERFLOW POINT ALONG ROSS AVENUE IS OVERTOPPED AND THE RUNOFF IS RELEASED TO ROSS AVENUE PUBLIC RIGHT-OF-WAY THROUGH A NEW SIDEWALK CULVERT.

THE PROPOSED TOTAL RUNOFF FLOW GENERATED FROM THE NORTHERN PARKING AREA PORTION IS 3.4-CFS, AND THE SOUTHERN PARKING AREA TOTAL RUNOFF FLOW GENERATED IS 3.8-CFS.

THE PROPOSED DEVELOPMENT WILL DECREASE THE IMPERVIOUS AREA ON SITE FROM THE EXISTING TOTAL OF 67,345-SF TO A NEW TOTAL OF 60,214-SF. THE REDUCTION LED TO AN OVERALL RUNOFF GENERATED REDUCTION OF 0.2-CFS, THUS THIS DEVELOPMENT WILL HAVE NO ADVERSE IMPACT ON DOWNSTREAM PROPERTIES.

**STORMWATER QUALITY**

STORMWATER QUALITY CONSIDERATIONS:

FOR REDEVELOPMENT CONSTRUCTION PROJECTS, THE CITY OF ALBUQUERQUE STORMWATER QUALITY VOLUME IS BASED ON THE 80TH PERCENTILE STORM EVENT OF 0.28" FOR ALL IMPERVIOUS AREAS. THEREFORE, THE RETENTION VOLUME REQUIRED IS CALCULATED AS:

LAND TREATMENT D, 76% = 60,214-SF \* 0.26-IN (1/2") = 1,305-CF

THE PROPOSED DEVELOPMENT WILL PROVIDE FOUR (4) NEW STORMWATER QUALITY PONDS ON SITE THAT WILL COLLECTIVELY STORE THE ABOVE RETENTION VOLUME REQUIRED. THE SPECIFIC POND VOLUMES ARE NOTED ABOVE AND BELOW:

SWQ POND 1 (NORTHEAST CORNER) = 170-CF  
SWQ POND 2 (SOUTHEAST CORNER) = 789-CF  
SWQ POND 3 (ADJACENT TO ADA PARKING) = 224-CF  
SWQ POND 4 (SOUTHWEST CORNER) = +251-CF  
1,433-CF

TOTAL SWQ POND STORAGE PROVIDED ON SITE = 1,433-CF > 1,305-CF.

**CALCULATIONS: MAS School Parking Lot : 3/21/2023**

Based on City of Albuquerque DMP, Article 6-2 Hydrology dated June 26, 2020

100-YEAR, 6-HOUR CALCULATIONS

AREA OF SITE: 79229 SF = 1.82 ACRE

100-year, 6-hour DEVELOPED FLOWS:

HISTORIC FLOWS:

EXCESS PRECIP:

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

On-Site Volume of Runoff: V<sub>360</sub> = 13975 CF

On-Site Peak Discharge Rate: Q<sub>p</sub> = Q<sub>BA</sub>A<sub>A</sub>+Q<sub>BB</sub>A<sub>B</sub>+Q<sub>BC</sub>A<sub>C</sub>+Q<sub>BD</sub>A<sub>D</sub> / 43,560

For Precipitation Zone 2

Historic Q<sub>p</sub> = 7.4 CFS

City of Albuquerque  
Planning Department  
Development Review Services  
HYDROLOGY SECTION  
**APPROVED**  
DATE: 06/04/24  
BY: [Signature]  
HydroTeam # L16D044

**Isaacson & Arfman, Inc.**  
Civil Engineering Consultants  
128 Monroe Street NE  
Albuquerque, NM 87108  
505-268-8828 | www.iacivil.com

10899 montgomery blvd ne  
suite a  
albuquerque, nm 87111

SEAL

PROJECT  
**MAS CHARTER SCHOOL  
WEST PARENT LOOP AND PARKING**  
100% CONSTRUCTION DOCUMENTS  
NEC OF YALE BOULEVARD AND ROSS AVE. SE.  
ALBUQUERQUE, NEW MEXICO

REVISIONS  

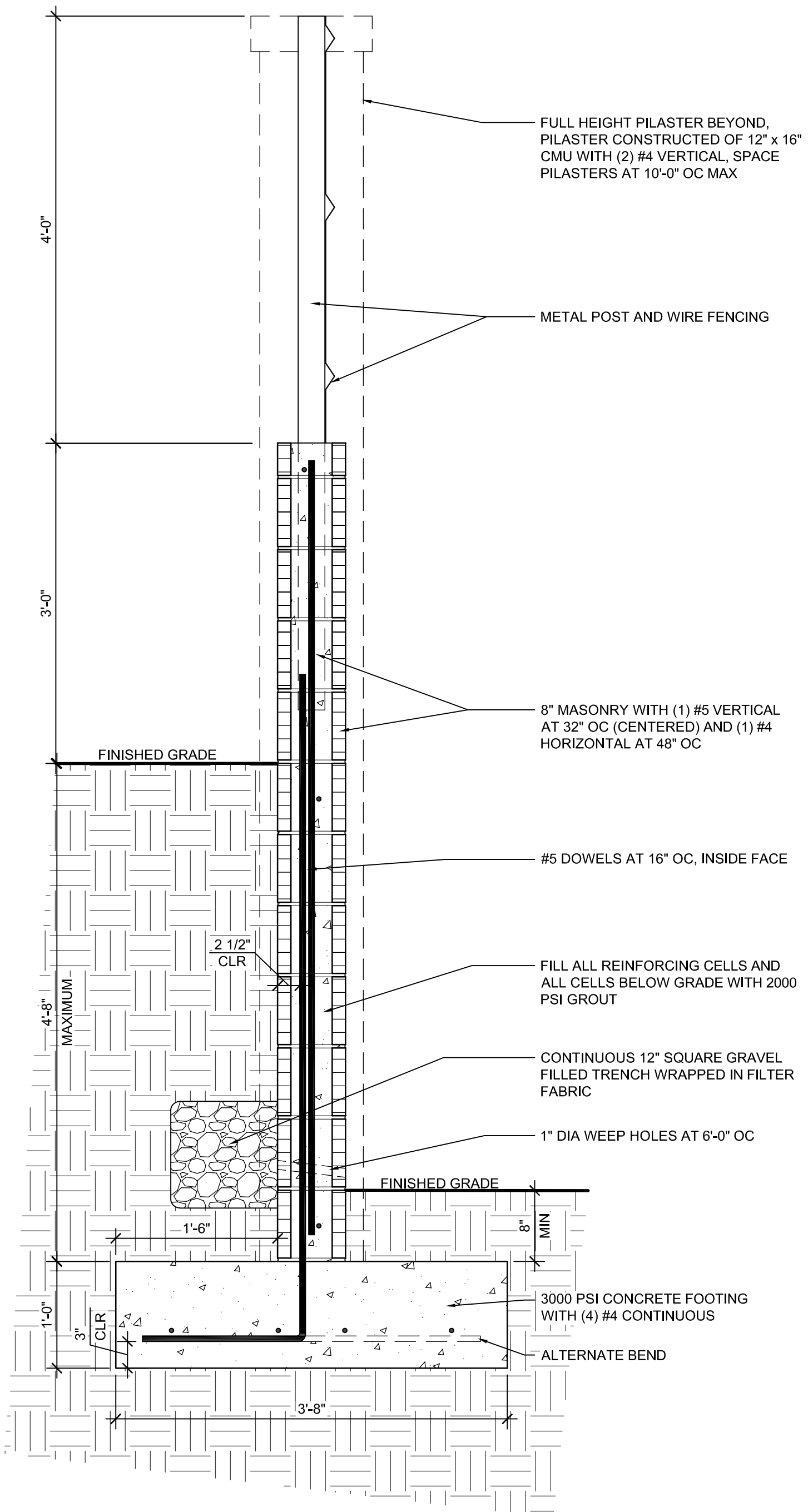
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ARCHT PROJ #: A22.24  
DRAWN BY: IA  
CHECKED BY: FAC  
DATE MAY 28, 2024

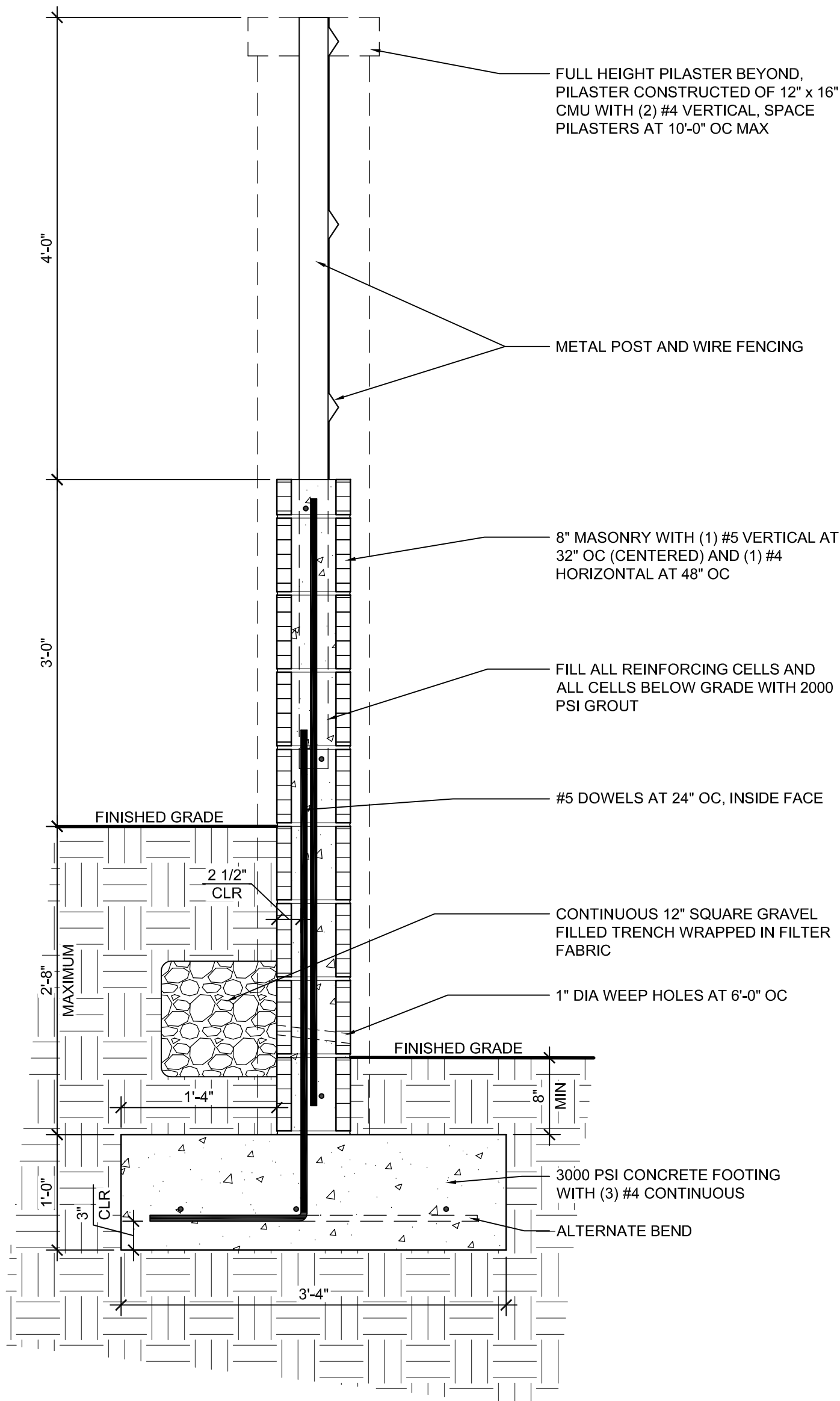
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**GRADING &  
DRAINAGE  
PLAN**

SHEET NUMBER  
**CG-100**

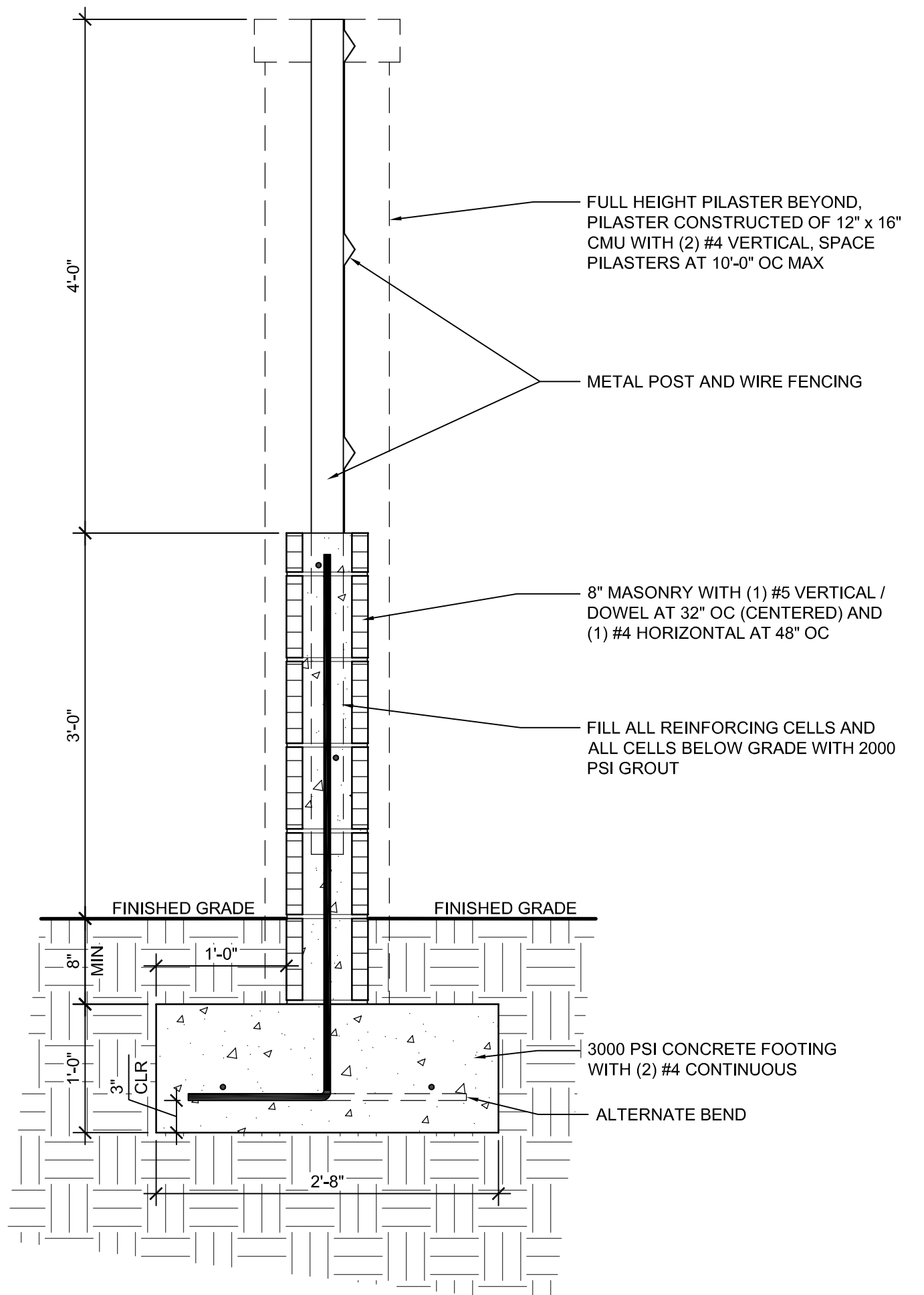




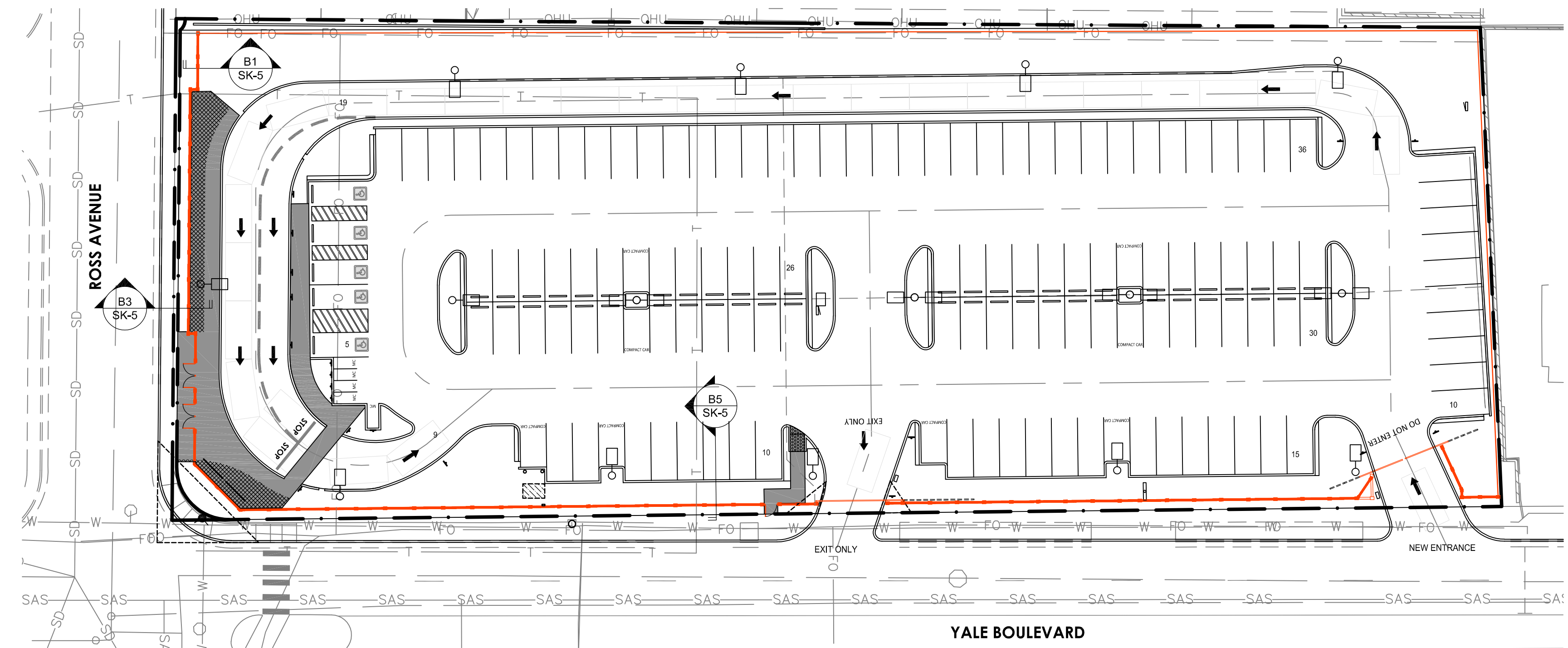
**B1** SITE WALL SECTION: 7'-0" WALL w/ 4'-8" MAX RETAINING  
SCALE: 1" = 1'-0"



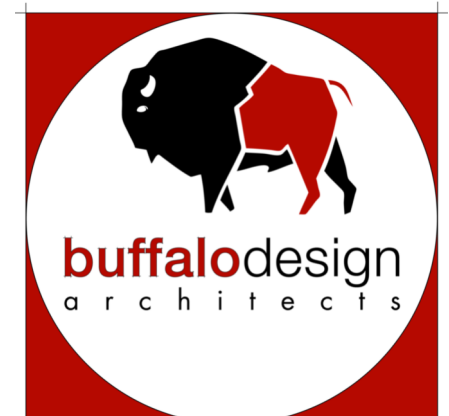
**B3** SITE WALL SECTION: 7'-0" WALL w/ 2'-8" MAX RETAINING  
SCALE: 1" = 1'-0"



**B5** SITE WALL SECTION: 7'-0" MAXIMUM HEIGHT  
SCALE: 1" = 1'-0"



**A3** ARCHITECTURAL SITE PLAN  
SCALE: 1" = 30'-0"



10899 montgomery blvd ne  
suite a  
albuquerque, nm 87111

SEAL

04/28/2023

PROJECT

**MAS CHARTER SCHOOL  
WEST PARENT LOOP AND PARKING**

NEC OF YALE BOULEVARD AND ROSS AVE. SE.  
ALBUQUERQUE, NEW MEXICO

REVISIONS	DATE	DESCRIPTION
1	06-09-2023	COA PERMIT REVISIONS

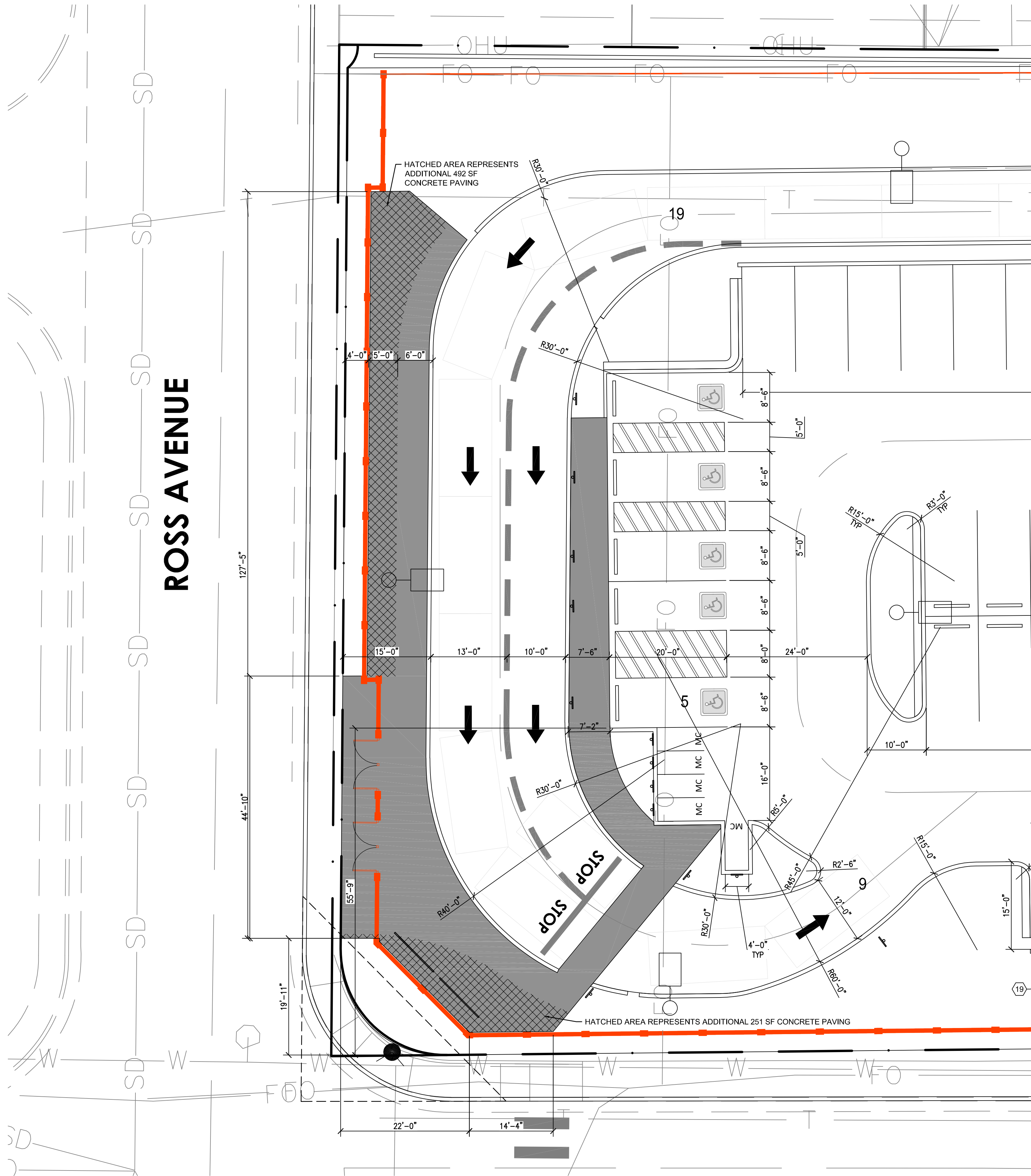
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ARCHT PROJ #:  
DRAWN BY:  
CHECKED BY:  
DATE

A22.24  
MWS / KD  
MWS  
JUNE 30, 2023

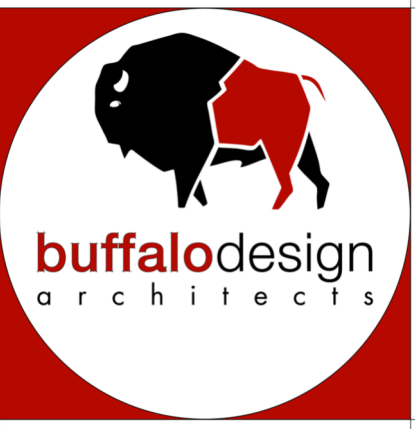
SHEET TITLE

**ARCHITECTURAL  
SITE PLAN**

**SK-5**  
ALTERNATE OPTION



**A3** ENLARGED ARCHITECTURAL SITE PLAN  
SCALE: 1" = 20'-0"



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SEAL

04/28/2023

PROJECT

**MAS CHARTER SCHOOL  
WEST PARENT LOOP AND PARKING**

NEC OF YALE BOULEVARD AND ROSS AVE. SE.  
ALBUQUERQUE, NEW MEXICO

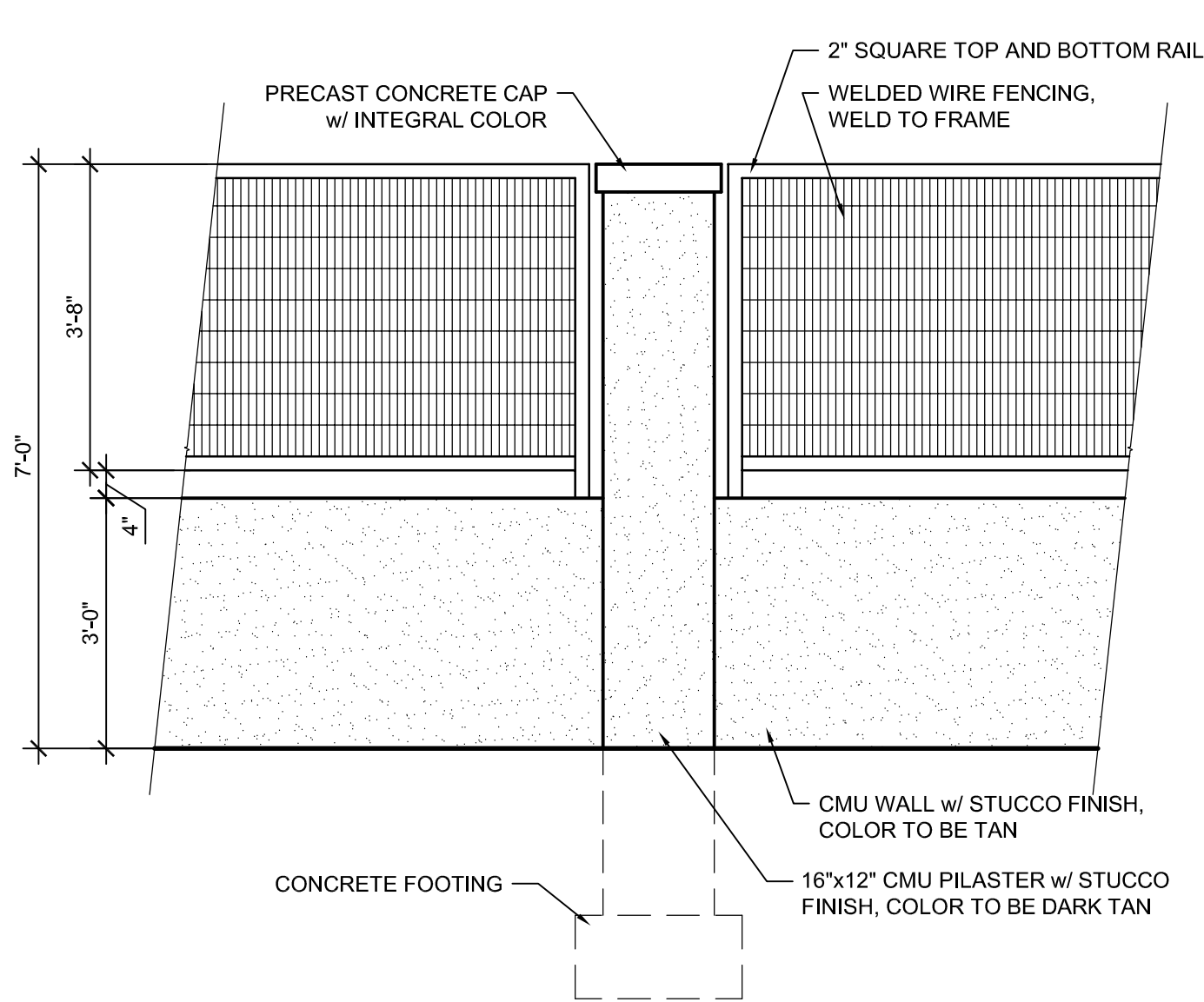
REVISIONS	DATE	DESCRIPTION
1	06-09-2023	COA PERMIT REVISIONS

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ARCHT PROJ #: A22.24  
DRAWN BY: MWS / KD  
CHECKED BY: MWS  
DATE JUNE 30, 2023

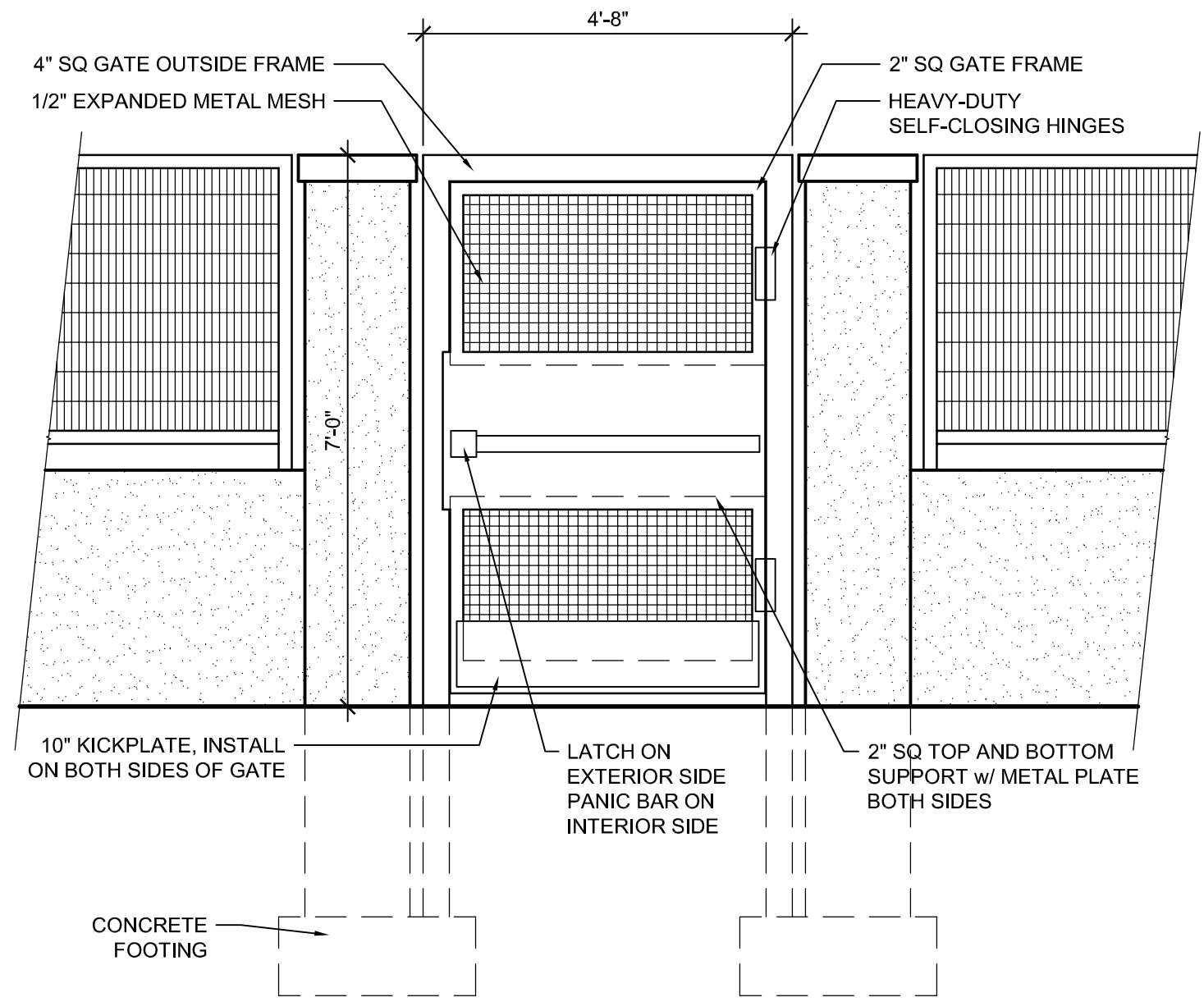
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**ENLARGED  
ARCHITECTURAL  
SITE PLAN**

**SK-4**  
ALTERNATE OPTION





D1 SITE WALL/FENCE ELEVATION, TYPICAL  
SCALE: 1/2" = 1'-0"



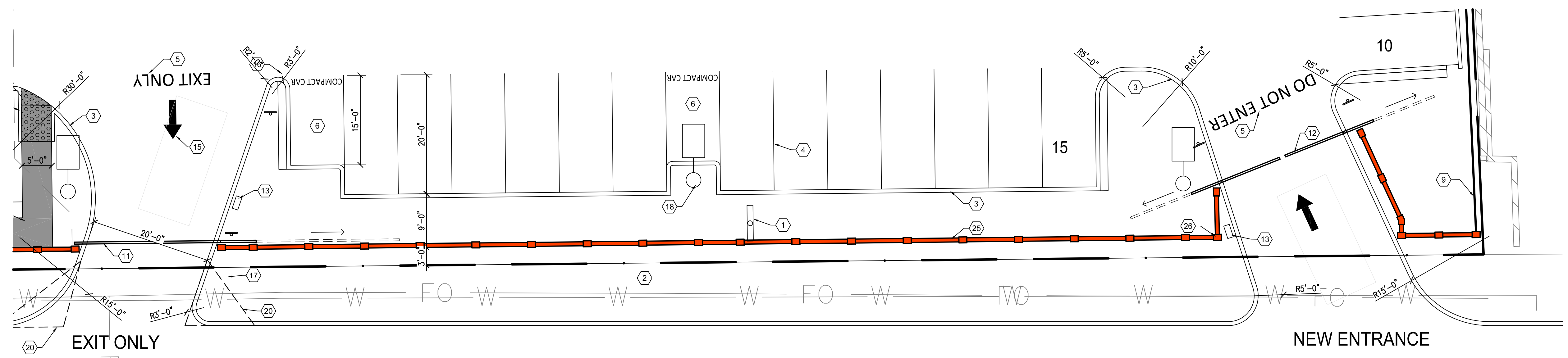
D2 GATE ELEVATION, TYPICAL  
SCALE: 1/2" = 1'-0"

### KEYED NOTES

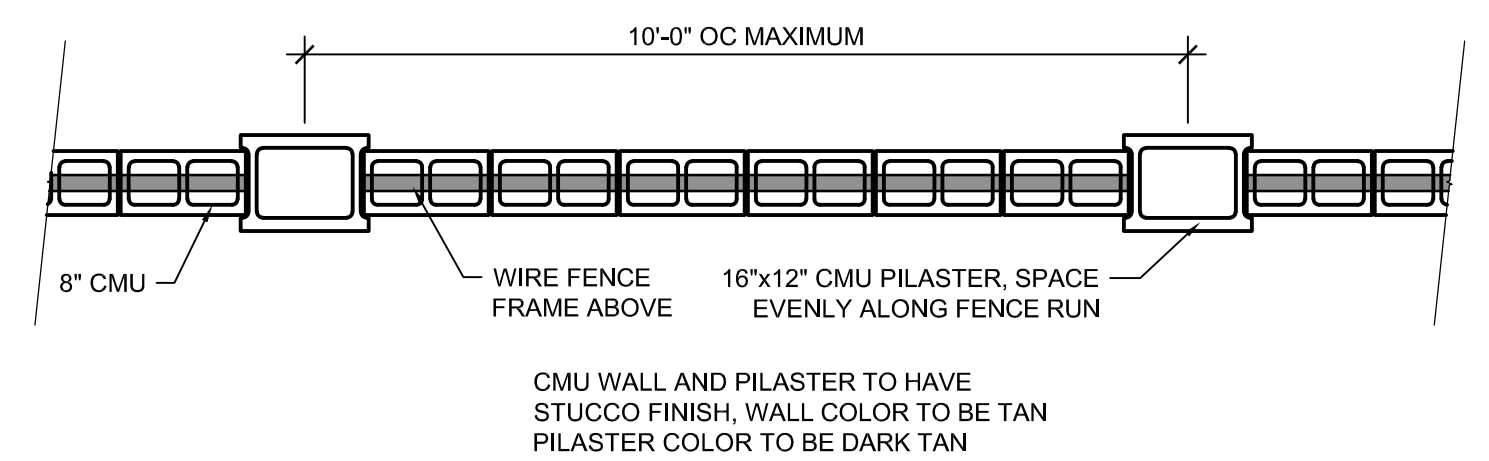
- EXISTING PYLON SIGN TO REMAIN. FIELD VERIFY LOCATION; REFER TO ELECTRICAL FOR REUSE OF POWER
- EXISTING PUBLIC SIDEWALK TO REMAIN
- CONCRETE CURB, REFER TO DETAILS
- 4" WIDE WHITE PARKING SPACE STRIPING
- 2" WIDE REFLECTIVE WHITE LETTERING, REFER TO CIVIL DETAILS, SHEET CP-501, SIMILAR
- COMPACT CAR PARKING SPACE: "COMPACT CAR" IN 12" HIGH x 2" WIDE PAINTED LETTERS. CENTER IN STALL AT BACK EDGE OF PARKING STALL
- CONCRETE SIDEWALK, CONNECT TO EXISTING SIDEWALK WHERE APPLICABLE, REFER TO DETAILS, SHEET AS-501
- CONCRETE ACCESSIBLE RAMP WITH YELLOW TRUNCATED DOMES, SLOPE 1:12 MAX. REFER TO S4/AS-501
- PERIMETER PAINTED STEEL FENCING, REFER TO ELEVATION SHEET AS-501, COLOR TO BE BLACK
- NOT USED
- 20'-0" CANTILEVERED PAINTED STEEL GATE, REFER TO ELECTRICAL FOR OPERATORS AND TECHNOLOGY DRAWINGS
- PAIR 15'-0" CANTILEVERED PAINTED STEEL GATES, REFER TO ELECTRICAL FOR OPERATORS AND TECHNOLOGY DRAWINGS
- MOTORIZED GATE OPERATOR, REFER TO ELECTRICAL
- SINGLE 4070 PAINTED STEEL PEDESTRIAN GATE WITH CARD READER, REFER TO ELECTRICAL
- DIRECTIONAL ARROW SIGN, REFER TO CIVIL DETAILS, SHEET CP-501
- EXIT ONLY SIGN, REFER TO CIVIL DETAILS, SHEET CP-501
- RIGHT TURN ONLY SIGN, REFER TO CIVIL DETAILS, SHEET CP-501
- LIGHT FIXTURE AND POLE ON CONCRETE BASE, REFER TO ELECTRICAL
- BACKFLOW PREVENTER, REFER TO LANDSCAPE DRAWINGS
- 11'-0" x 11'-0" MINI CLEAR SITE TRIANGLE PER COA
- EXISTING WATER METER, METER CAN TO BE REUSED, REFER TO CIVIL
- BOLLARD, REFER TO B2/AS-501
- IRRIGATION CONTROL BOX, REFER TO ELECTRICAL AND LANDSCAPE DRAWINGS
- ALIGN EDGE OF SCREEN WALL WITH EDGE OF PARKING SPACE
- 3'-0" CMU WALL WITH STUCCO FINISH AND 4'-0" WELDED WIRE FENCING ABOVE TO 7'-0" REFER TO DETAILS
- 16"x12" CMU PILASTER WITH STUCCO FINISH AND CONCRETE CAP

### GENERAL NOTES

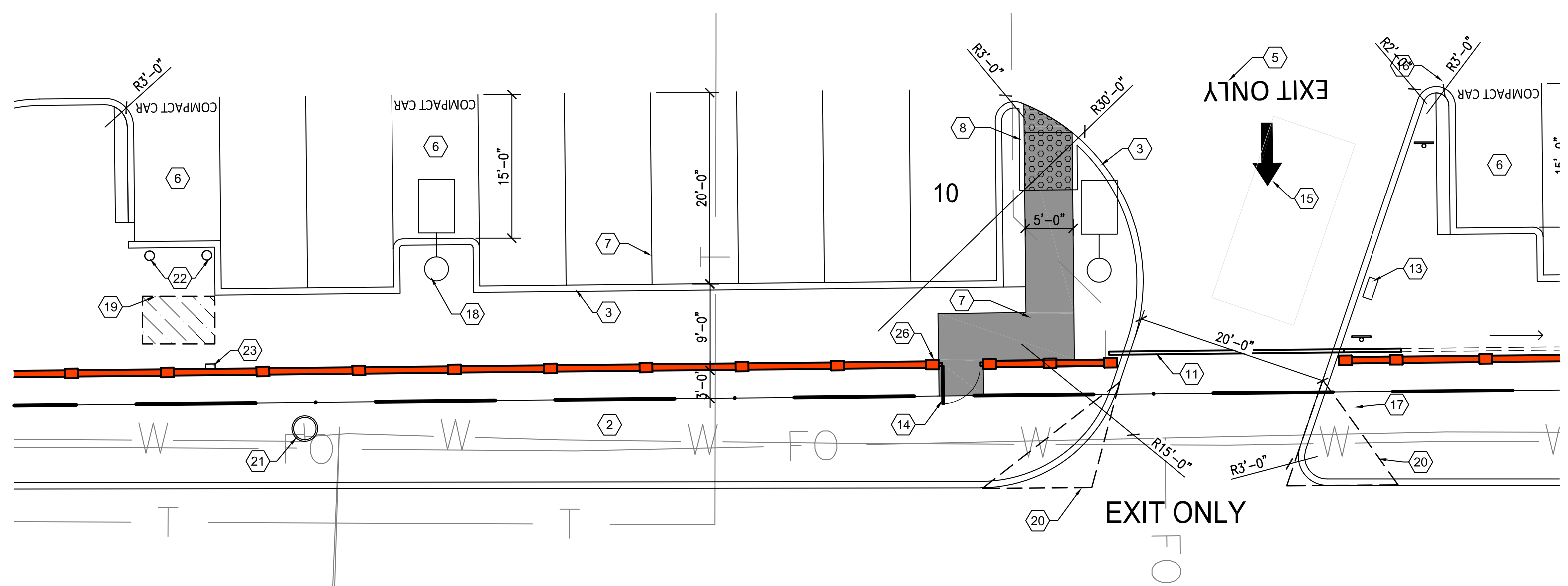
- PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED
- SLOPES: (1.) PARKING LOTS SLOPES SHALL BE BETWEEN 1% MIN. AND 8% MAX. (2.) PARKING AREAS ADJACENT TO MAJOR CIRCULATION AISLES OR ADJACENT TO MAJOR ENTRANCES 1% MIN. TO 6% MAX. (3.) HANDICAP PARKING SLOPES SHALL BE BETWEEN 1% MIN TO 2% MAX.
- LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA. SEE PLAN FOR LOCATION.
- ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
- SIGNAGE AND FENCE CONSTRUCTION ARE UNDER SEPARATE PERMIT.
- ALL EXISTING BROKEN OR CRACKED SIDEWALK ALONG STREETS MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER, ALL WORK TO BE CONSTRUCTED TO COA STANDARDS (STD. DWG. 2430 & 2415).
- ALL IMPROVEMENTS LOCATED WITHIN THE RIGHT-OF-WAY REQUIRES A WORK ORDER.



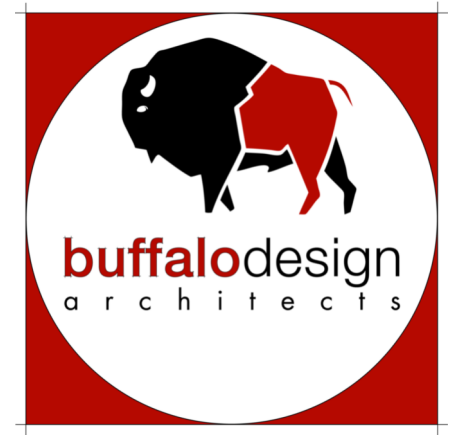
B2 ENLARGED ARCHITECTURAL SITE PLAN  
SCALE: 1" = 10'-0"



A2 PILASTER SPACING, TYPICAL  
SCALE: 1/2" = 1'-0"



A3 ENLARGED ARCHITECTURAL SITE PLAN  
SCALE: 1" = 10'-0"



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SEAL

04/28/2023

PROJECT

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WEST PARENT LOOP AND PARKING

NEC OF YALE BOULEVARD AND ROSS AVE. SE.  
ALBUQUERQUE, NEW MEXICO

REVISIONS	DESCRIPTION	
	DATE	

CLIENT PROJ #:  
ARCHT PROJ #: A22.24  
DRAWN BY: MWS / KD  
CHECKED BY: MWS  
DATE JUNE 30, 2023

SHEET TITLE

ARCHITECTURAL  
ENLARGED  
SITE PLANS

SK-3