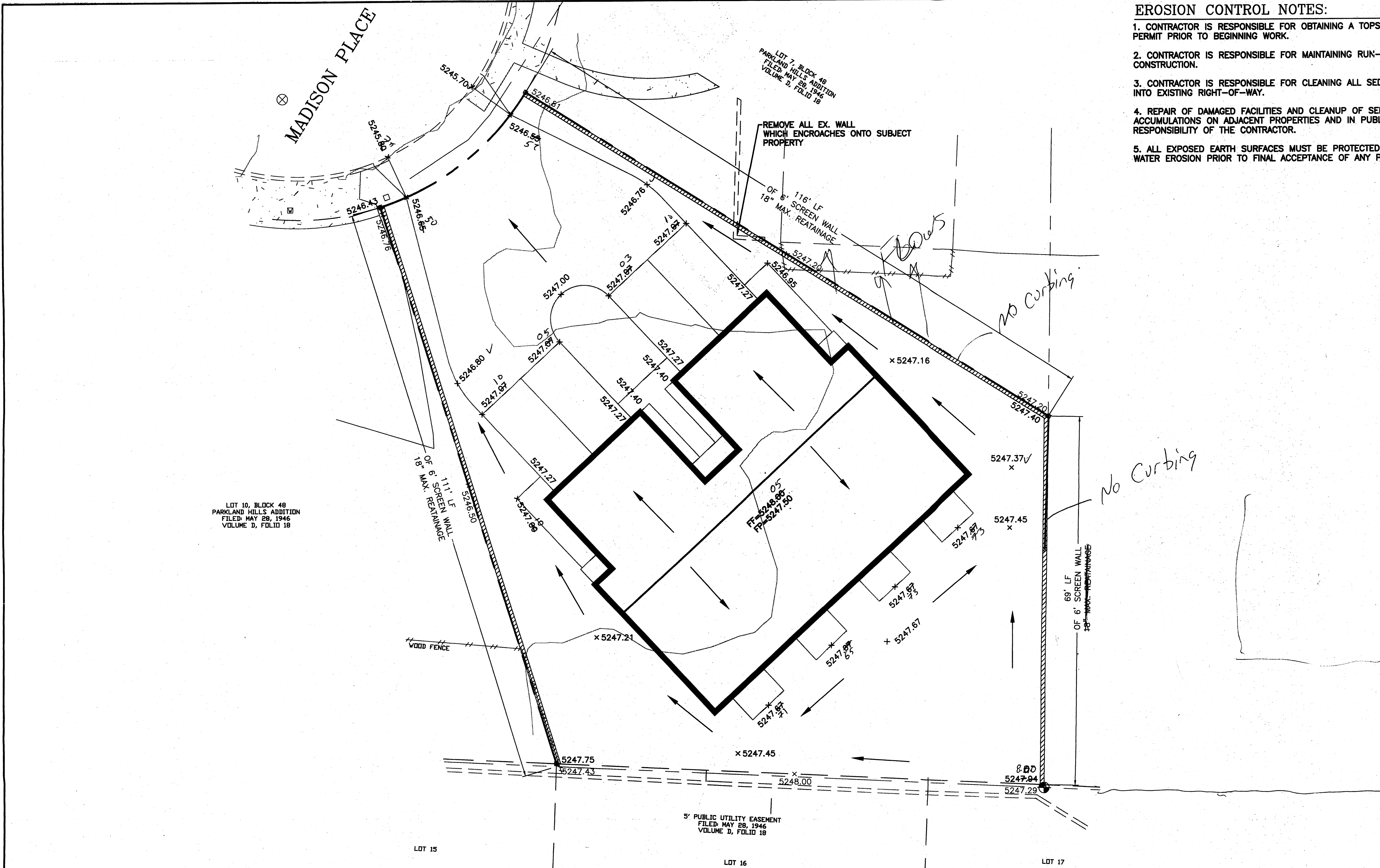
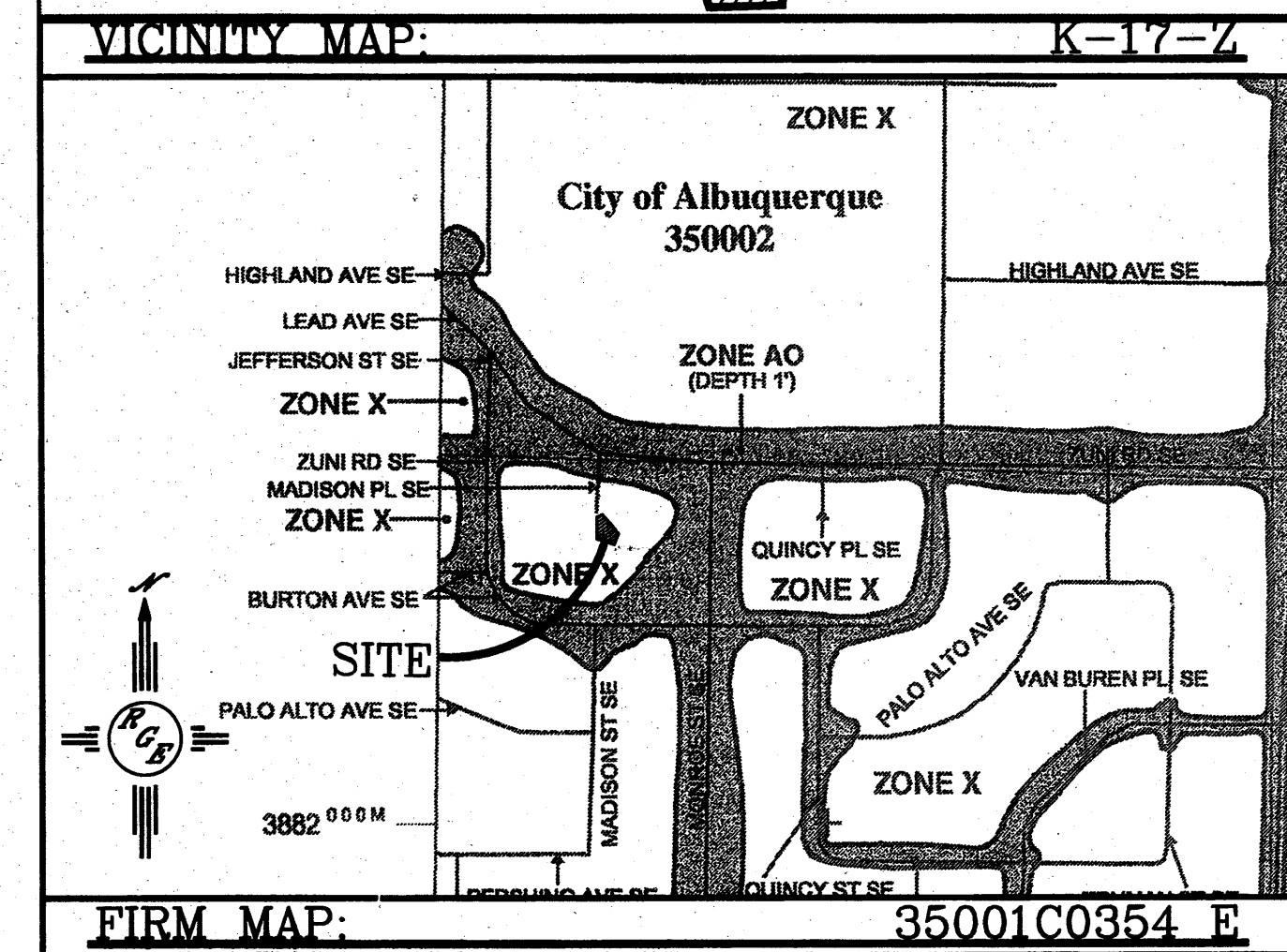
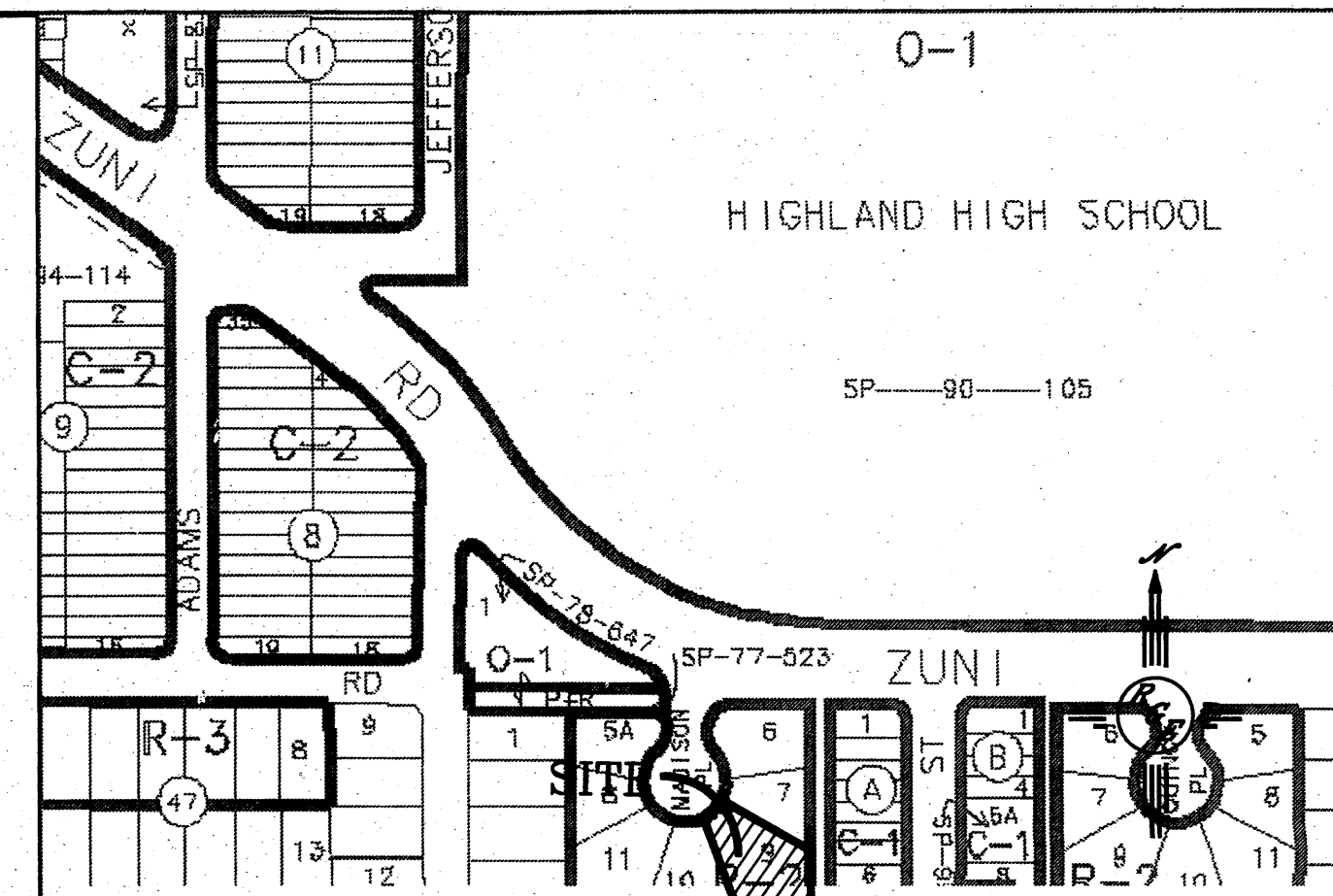




- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



LEGAL DESCRIPTION:
LOT 9, BLK 48, PARKLAND HILLS ADDITION

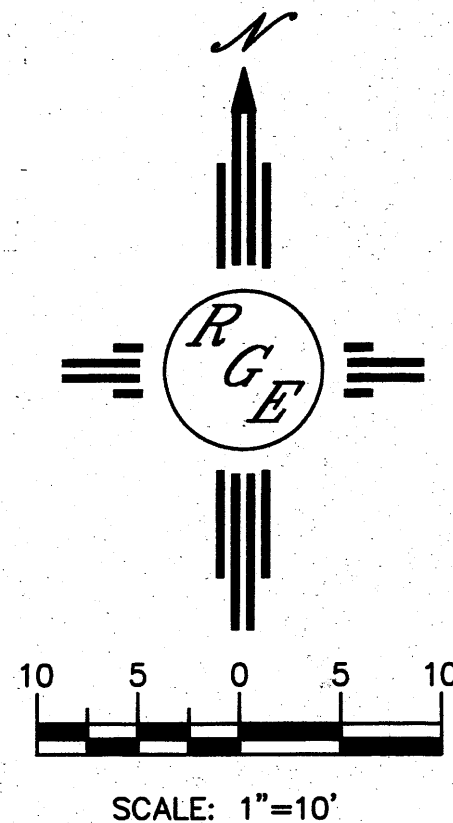
- NOTES:**
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

LEGEND

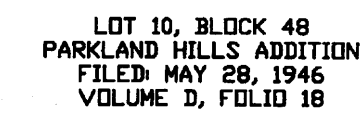
— 5414 —	EXISTING CONTOUR
— 5415 —	EXISTING INDEX CONTOUR
— 5414 —	PROPOSED CONTOUR
— 5415 —	PROPOSED INDEX CONTOUR
— 5415 —	SLOPE TIE
• 4048.25	EXISTING SPOT ELEVATION
• 4048.25	PROPOSED SPOT ELEVATION
— — — — —	BOUNDARY
— — — — —	CENTERLINE
— — — — —	RIGHT-OF-WAY
— — — — —	PROPOSED CURB
— — — — —	EXISTING CURB
□ □ □ □ □	EXISTING SIDEWALK

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

I David Soule, NMPE 14522, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intend of the approved plan dated 6/6/10. The record information edited on the original design document has performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided by David Vigil NMPS 8911. The certification is submitted in support of a request for Certificate of Occupancy. The record information presented heron is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

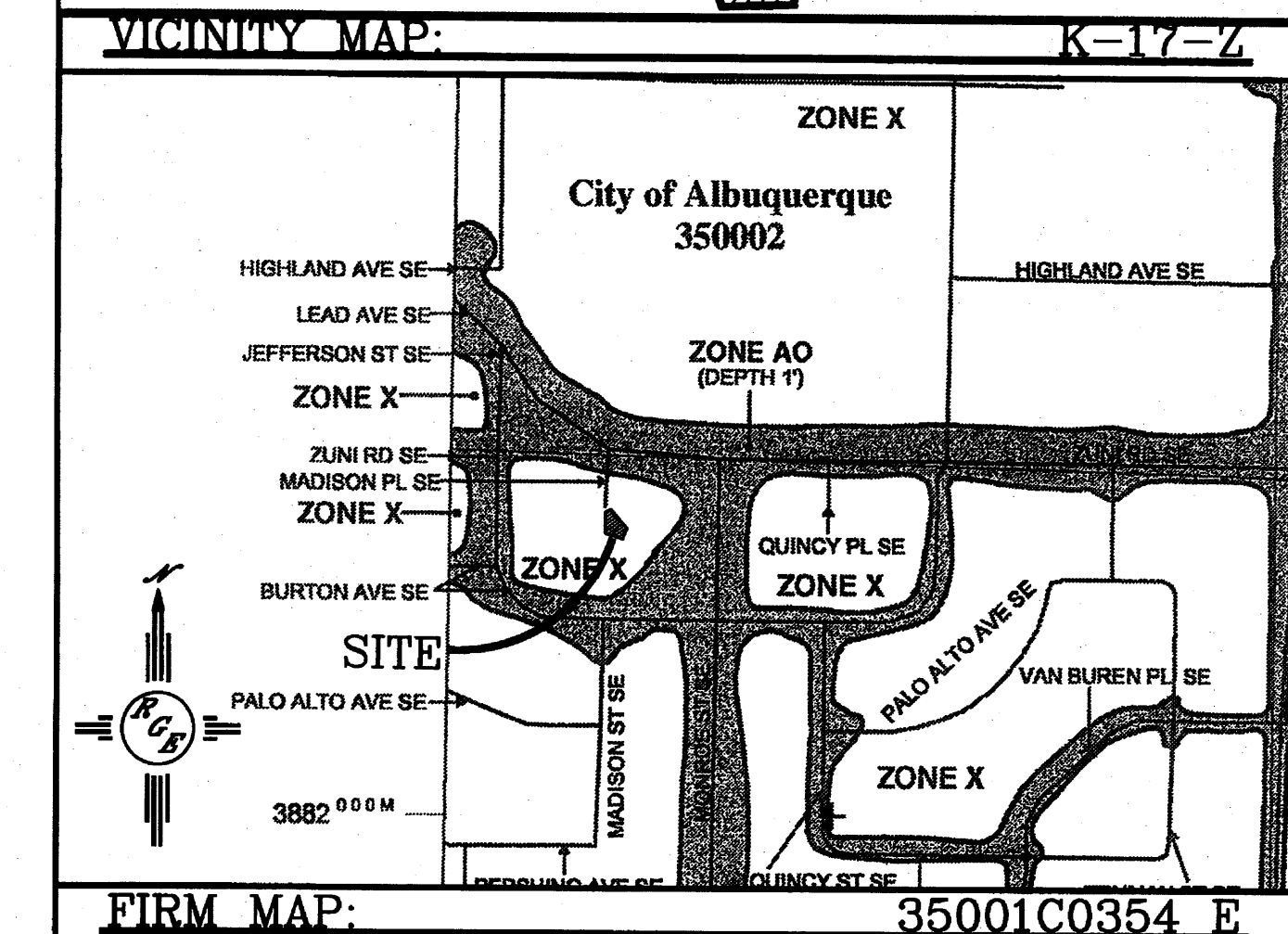


ENGINEER'S SEAL DAVID SOULE P.E. #14522	MADISON PLACE TOWNHOMES	DRAWN BY WCWJ
	GRADING AND DRAINAGE PLAN	DATE 6-16-10
	 Rio Grande Engineering 1806 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0989	2116-LAYOUT-5-08-10
		SHEET # — JOB # 2116



EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



LEGAL DESCRIPTION:

LOT 9, BLK 48, PARKLAND HILLS ADDITION

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

LEGEND

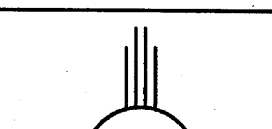
Diagram illustrating a road cross-section with various features and labels:

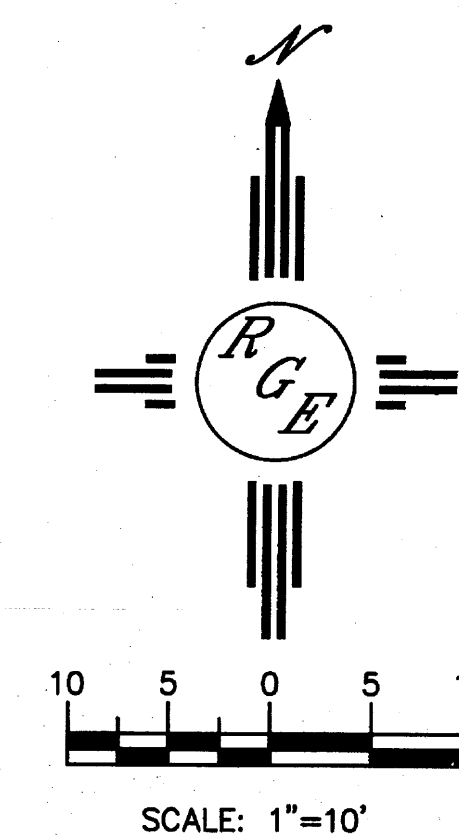
- 5414
- EXISTING SLOPE
- 5415
- EXISTING INDEX CONTOUR
- 5414
- PROPOSED CONTOUR
- 5415**
- PROPOSED INDEX CONTOUR
- ▲
- SLOPE TIE
- 1
- 4048.25
- EXISTING SPOT ELEVATION
- 1
- 4048.25
- PROPOSED SPOT ELEVATION
-
- BOUNDARY
-
- CENTERLINE
-
- RIGHT-OF-WAY
- =====
- PROPOSED CURB
- =====
- EXISTING CURB
- =====
- EXISTING SIDEWALK

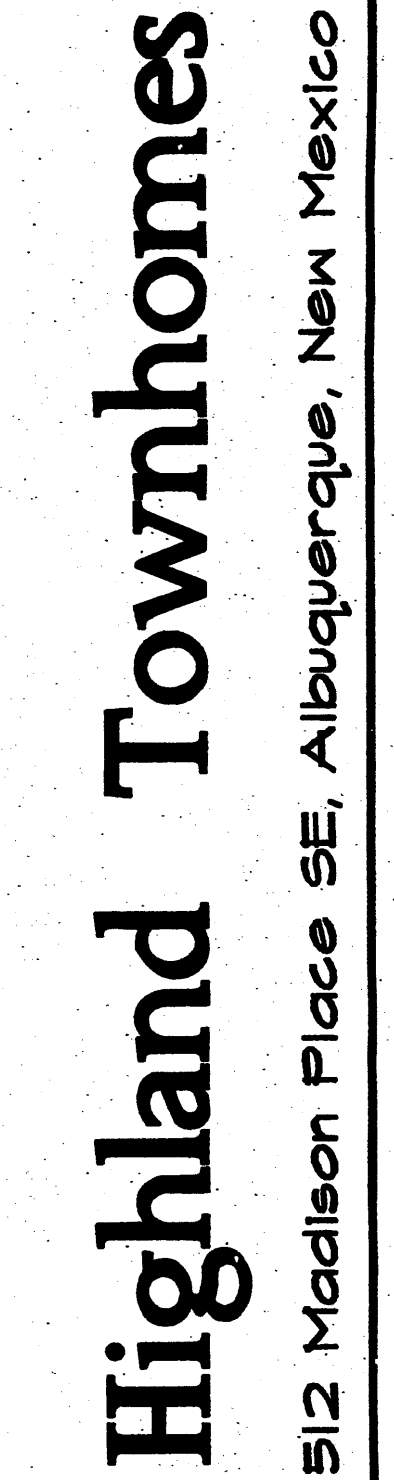
RECEIVED

JUN 16 2010

HYDROLOGY
SECTION

	ENGINEER'S SEAL	MADISON PLACE TOWNHOMES	DRAWN BY WCHWJ
		GRADING AND DRAINAGE PLAN	DATE 6-16-10
			2116-LAYOUT-02-02-10
		<i>Rio Grande Engineering</i>	SHEET # —
DAVID SOULE P.E. #14522		1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	JOB # 2116





JOB NO:	1016
DATE:	18 JUNE 2010
REVISIONS	

SHEET NO.

TCL

LEGAL DESCRIPTION:
LOT NUMBERED NINE OF BLOCK 46
PARKLAND HILLS ADDITION
CITY OF ALBUQUERQUE, NM.

PROPERTY ADDRESS:
512 MADISON PLACE S.E.
ALBUQUERQUE, NM 87106

CURRENT ZONING:
R-2

TYPE OF CONSTRUCTION:
5-B

SEISMIC CATEGORY:
D

FLOOR AREA(S) EACH UNIT:

FIRST FLOOR HEATED AREA:	442 S.F.
SECOND FLOOR HEATED AREA:	686 S.F.
TOTAL HEATED AREA:	1,147 S.F.
GARAGE	264 S.F.
TOTAL AREA:	1,411 S.F.

BUILDING STORIES:
2 STORIES

USABLE OPEN SPACE REQUIRED:
300 SQ. FT. PER UNIT

CALCULATED USABLE OPEN SPACE:
4648 SQ. FT./4 = 1161 SQ. FT. PER UNIT

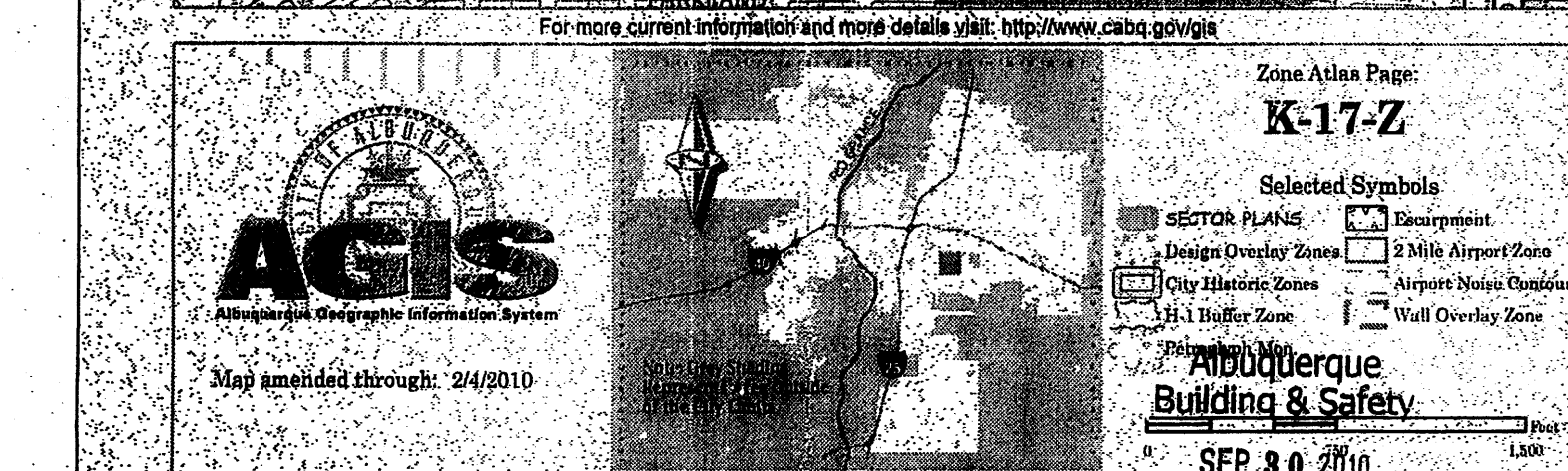
OFF-STREET PARKING REQUIRED:
ONE SPACE PER BATH = 2x4 = 8 SPACES

OFF-STREET PARKING PROVIDED:
8 SPACES (INCLUDES GARAGES)

APPLICABLE BUILDING CODE:
I.R.C. 2006, A.E.C.C. 2004



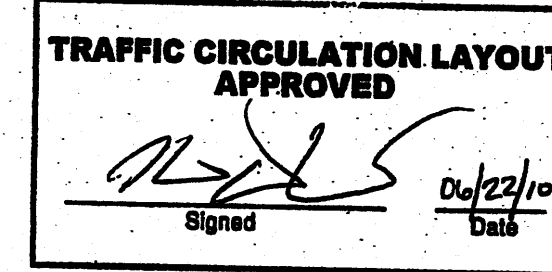
N.T.S.



Zone Map

I.B.C.
Plan Check Section

N.T.S.



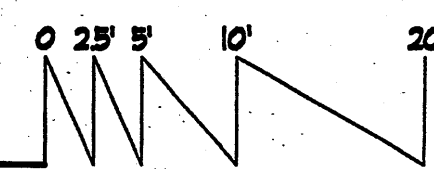
**Public Infrastructure shown
on these plans for information
only and not part of approval.
Separate DRC/Permit approval
and Work Order required.**

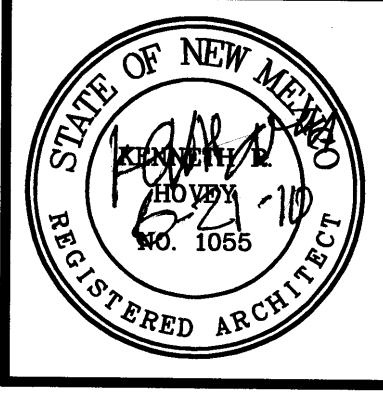
**ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.**

THERE ARE NO DEPARTURES LOT
FROM THE APPROVED TCL PLAN
KEN HAVEN
5-24-11



Scale: 1"=10'





Highland Townhomes

512 Madison Place SE, Albuquerque, New Mexico

KEN HOVEY, ARCHITECT
architect
100 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87102
505.243.2010 FAX 505.243.2020 www.khovey.com

JOB NO:	1016
DATE:	18 JUNE 2010
REVISIONS	
SHEET NO.	

TCL

Design Data

LEGAL DESCRIPTION:
LOT NINE OF BLOCK 48
PARKLAND HILLS ADDITION
CITY OF ALBUQUERQUE, NM.

PROPERTY ADDRESS:
512 MADISON PLACE SE
ALBUQUERQUE, NM 87108

CURRENT ZONING:
R-2

TYPE OF CONSTRUCTION:
S-B

SEISMIC CATEGORY:
D

FLOOR AREA(EACH UNIT):
FIRST FLOOR HEATED AREA: 442 S.F.
SECOND FLOOR HEATED AREA: 655 S.F.
TOTAL HEATED AREA: 1,097 S.F.
GARAGE: 264 S.F.
TOTAL AREA: 1,361 S.F.

BUILDING STORIES:
2 STORIES

USABLE OPEN SPACE REQUIRED:
500 SQ. FT. PER UNIT

CALCULATED USABLE OPEN SPACE:
4,645 SQ. FT./4 = 1,161 SQ. FT. PER UNIT

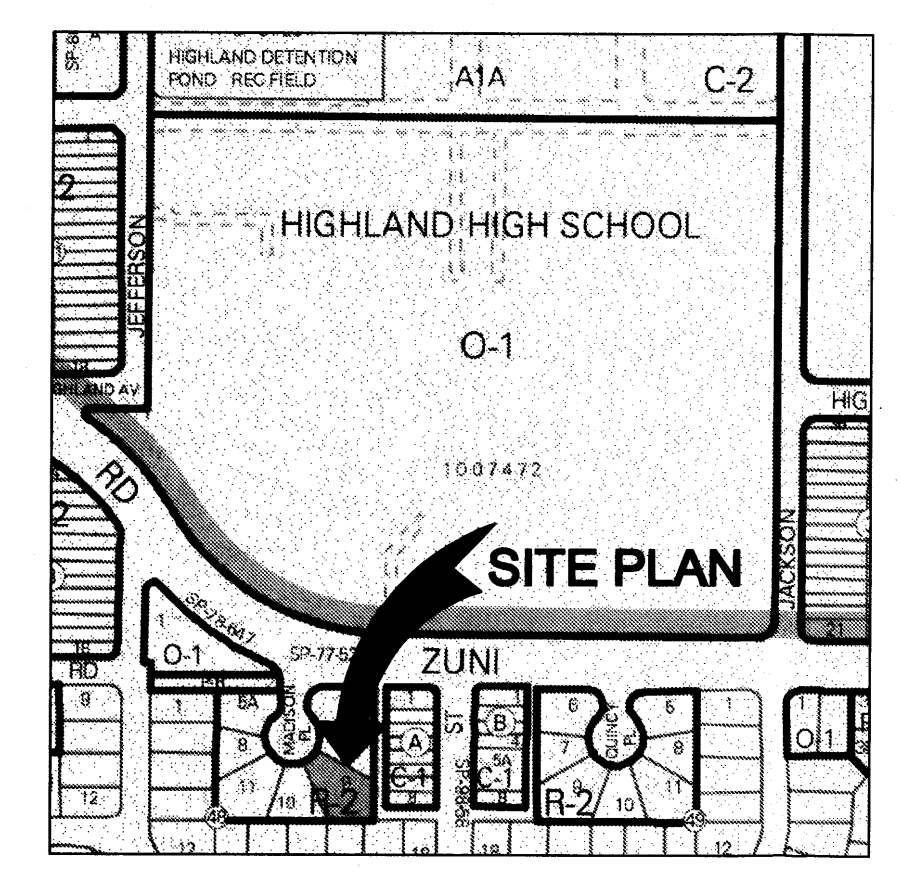
OFFSTREET PARKING REQUIRED:
ONE SPACE PER BATH = 2x4 = 8 SPACES

OFFSTREET PARKING PROVIDED:
8 SPACES (INCLUDES GARAGES)

APPLICABLE BUILDING CODE:
R.S. 2006, A.E.C.C. 2004

TRAFFIC CIRCULATION LAYOUT APPROVED

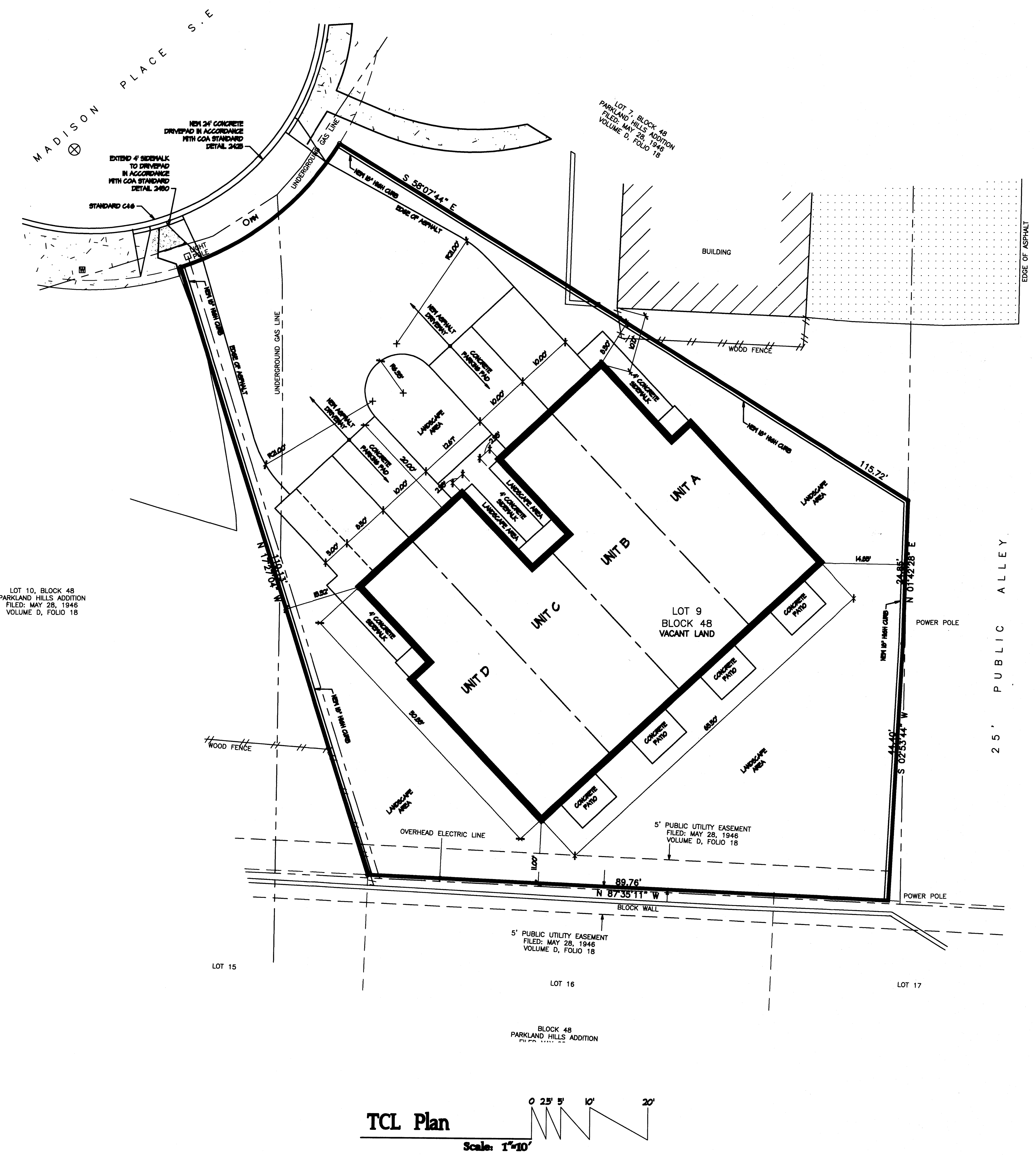
Signed: 06/22/10 Date



Enlarged Vicinity Map
N.T.S.



Zone Map
N.T.S.



TCL Plan
Scale: 1"=10'

RECEIVED
JUN 21 2010
HYDROLOGY SECTION