

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

February 2, 2011

Kenneth R. Hovey, Registered Architect.
Ken Hovey, Architect
1606 Central Ave. SE, Ste. 101
Albuquerque, NM 87106

Re: Certification Submittal for a Permanent Building Certificate of Occupancy (C.O.)
for Highland Townhomes, [L-17 / D001B]
501 Madison Place SE
Engineer's Stamp Dated 01/31/11

Dear Mr. Hovey:

Based upon the information provided in your submittal received 02-01-11,
Transportation Development has no objection to the issuance of a Permanent Certificate
of Occupancy.

This letter serves as a "green tag" from Transportation Development for a
Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

L-17/p-013

PROJECT TITLE: HIGHLAND TOWNHOUSES ZONE MAP: ~~1617~~
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 5A, BLOCK 48 PARKLAND HILLS ADD'N
 CITY ADDRESS: 501 MADISON PLACE SE

ENGINEERING FIRM: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

OWNER: R.J. Development CONTACT: Rob
 ADDRESS: 25 FOREST VIEW DRIVE NE PHONE: 977-1332
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87122

ARCHITECT: KEN HOVEY CONTACT: KEN
 ADDRESS: 1606 CENTRAL AVE SE SUITE 101 PHONE: 242 6610
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87106

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: FAIR SQUARE BLDGS CONTACT: Rob
 ADDRESS: 6557 BAKER RD, NW PHONE: 977-1332
 CITY, STATE: LOS RANCHOS ZIP CODE: 87107

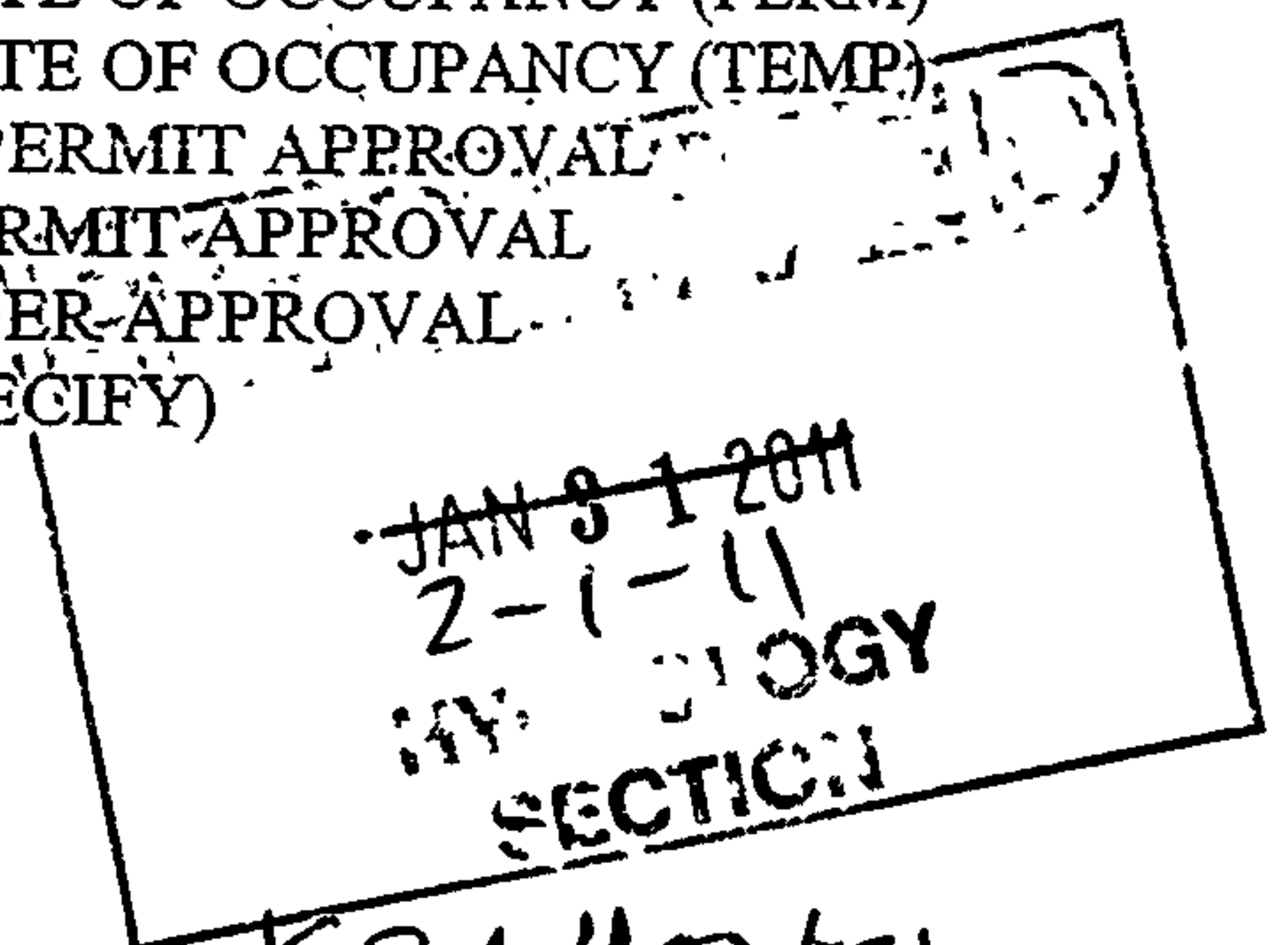
TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☒ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY)

ARCHITECT'S

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 1-31-11 BY: KEN HOVEY



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

KEN HOVEY, ARCHITECT



architecture

1806 CENTRAL AVENUE SE, SUITE 101 ALBUQUERQUE, NM 87106
B 505.242.6610 F 505.243.2129 ken_hovey@msn.com

Monday, January 31, 2011

City of Albuquerque
Transportation Department
600 Second Street NW
Albuquerque, New Mexico

Subject: Architect's TCL Certification for the Highland Townhomes.

I, Ken Hovey, prepared the Traffic Circulation Layout (TCL) for the subject project located at 501 Madison Place SE and more particularly described as Lot 5A, Block 48, Parkland Hills Addition, Albuquerque, New Mexico.

I have visited the site and performed a visual inspection of the as-built construction and I find that it is in substantial compliance with the TCL approved on 7/9/10.

I have submitted, herewith, a copy of the approved TCL with redlines showing any departure from the approved plan. The submitted plan is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

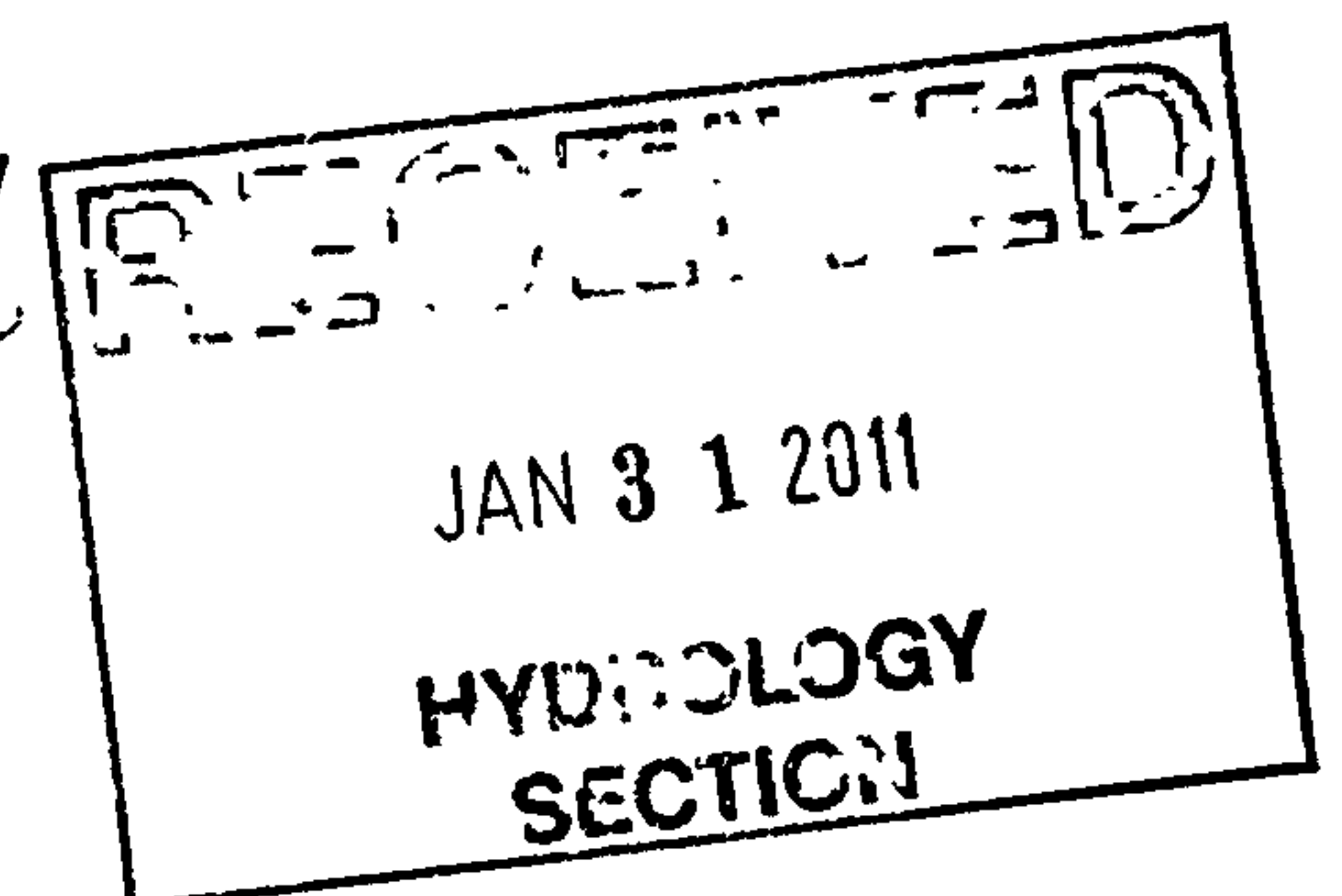
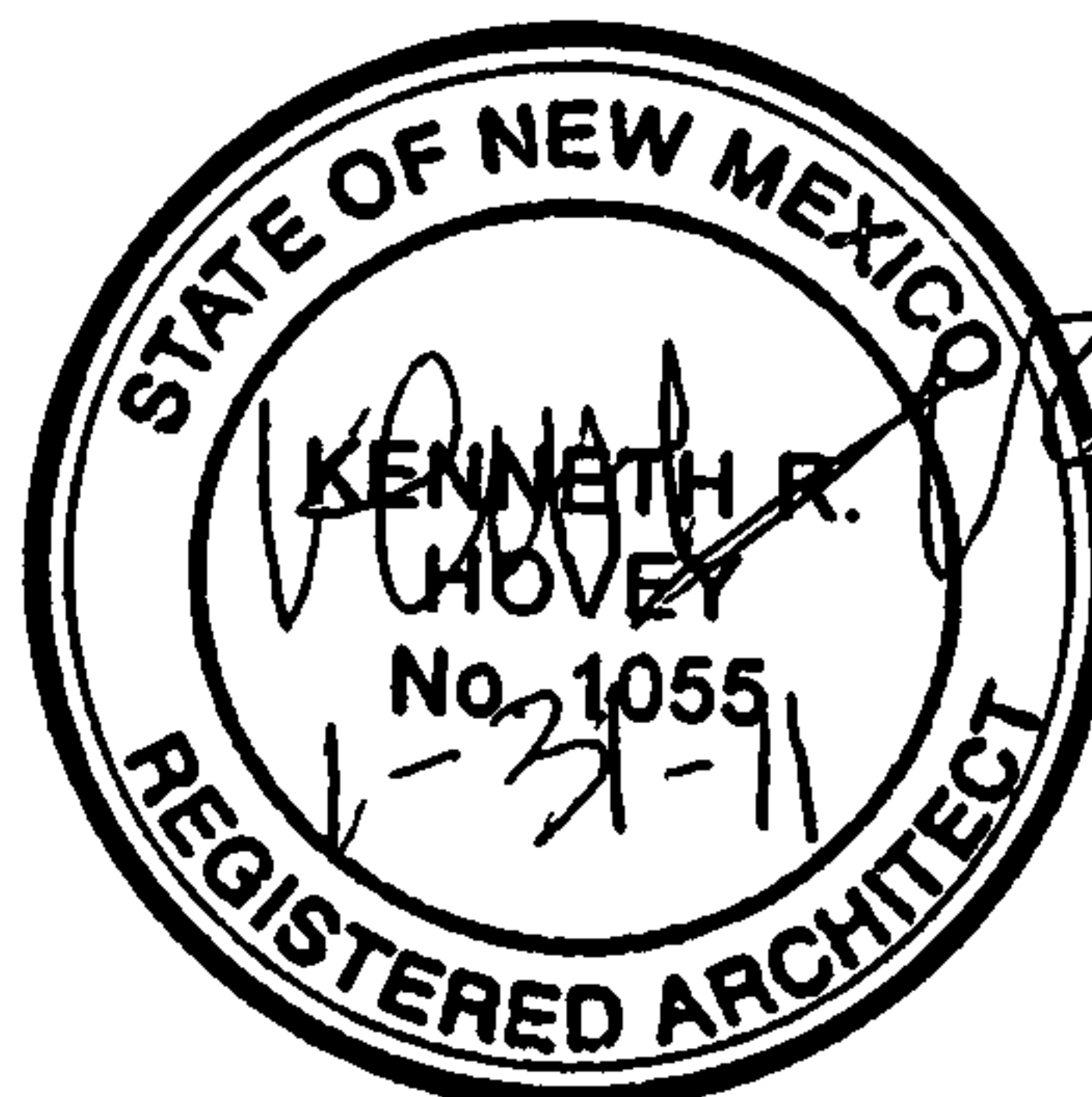
The information presented on the redlined TCL is intended only to verify substantial compliance of the Traffic aspects of this project and is not necessarily complete. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

This Architect's certification is submitted in support of issuance of a Certificate of Occupancy for the subject addresses.

If you have any questions, or if further discussion is required, please don't hesitate to contact me at (505) 242-6610 or by email at ken_hovey@msn.com.

Sincerely,

Ken Hovey
Architect & LEED AP



CITY OF ALBUQUERQUE



January 21, 2011

David Soule, P.E.
Rio Grande Engineering
P.O. Box 67305
Albuquerque, NM 87193

**Re: Madison Place Townhomes, 501 Madison Pl,
Request for Permanent C.O. - Approved
Engineer's Stamp dated: 7-16-10 (L-17/D001B)
Certification dated: 1-21-11**

Dear Mr. Soule,

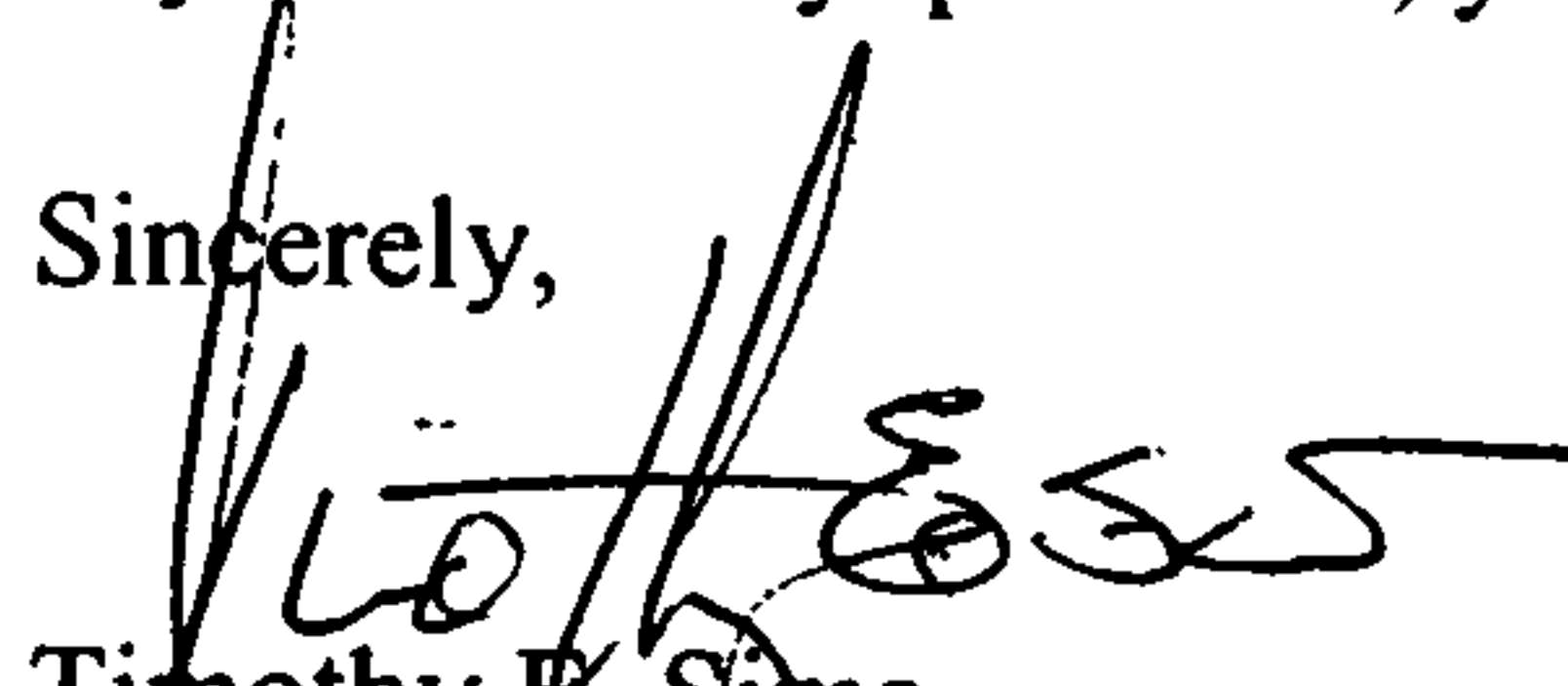
Based upon the information provided in the Certification received 1-21-11, the above referenced Certification is approved for a release of a Permanent Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3982.

Albuquerque

Sincerely,


Timothy E. Sims
Plan Checker—Hydrology Section
Development and Building Services

NM 87103

www.cabq.gov

C: CO Clerk—Katrina Sigala
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

L-17/0001B.

PROJECT TITLE: 501 Madison Place
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: 117-d001B
WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 5a, bloc 48, Parkland Hills addition
CITY ADDRESS: 512 Madison Place

ENGINEERING FIRM: Rio Grande Engineering
ADDRESS: PO BOX 67305
CITY, STATE: Alb

CONTACT: David Soule, PE
PHONE: (505)321-9099
ZIP CODE: 87199

OWNER: James Buchanan and Rob Turner
ADDRESS: 512 Madison Place
CITY, STATE: alb

CONTACT: _____
PHONE: _____
ZIP CODE: 87106

ARCHITECT: Ken Hovey
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: Geo surv CO
ADDRESS: _____
CITY, STATE: _____

CONTACT: David Vigil
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

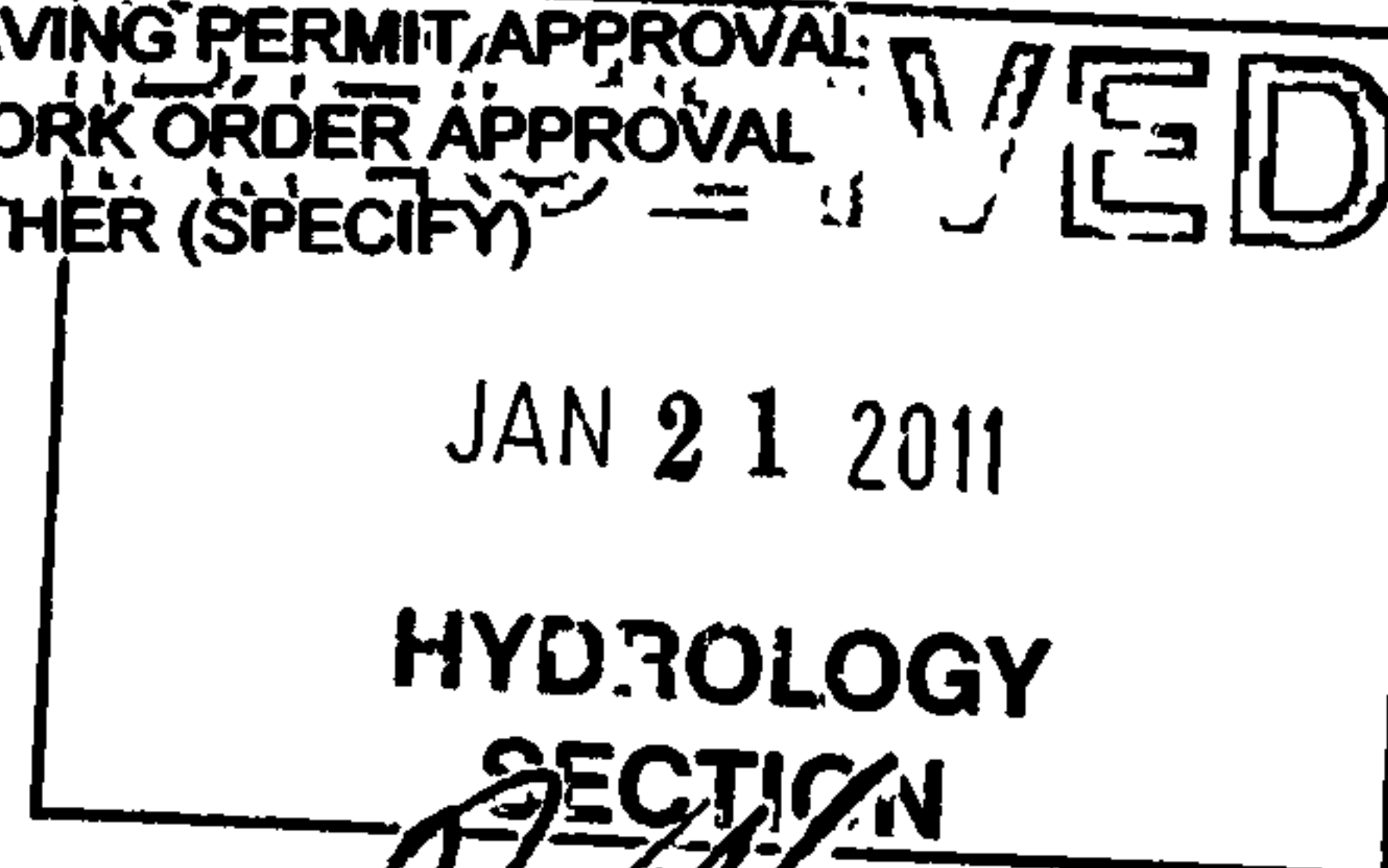
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- ☐ SIA / FINANACIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT/APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 16/2011 BY: David Soule



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

RIO GRANDE ENGINEERING OF NEW MEXICO, LLC

July 16, 2010

Mr. Curtis A. Cherne, PE
Principal Engineer
Planning Department
City of Albuquerque

**RE: Grading and Drainage Plan
501 Madison Place SE (L17-D001B)**

Dear Curtis:

The purpose of this letter is to accompany the enclosed grading plan for the referenced project.

This plan has been modified to address your written comments dated July 8, 2010. The following is a summary of your comments with the annotation as to how the plans were modified to address the comments:

1. I would prefer for the flow to exit into Madison, unless a drainage easement agreement is received from the owners of the property to the north and west.

The site currently discharges at the location. There is not a drainage easement but a utility easement exists. Due to the slope of the land is difficult to 'buck' grade to drain to the east. We have modified the plan to drain approximately half the site to Madison. The proposed discharge to the west has been reduced to less than existing. In addition a shallow (9"deep) harvesting pond has been added to eliminate nuisance flows. The discharge point is at the half road section that continues to the west to Zuni.

2. A new curb, gutter, sidewalk and drive pad need to be installed per COA specifications.

The plan has been modified to clarify what is existing and what is proposed.

3. Build notes are needed to identify all applications


We have added the appropriate build notes.

4. Please label existing and proposed contours

We have labeled the existing contours.

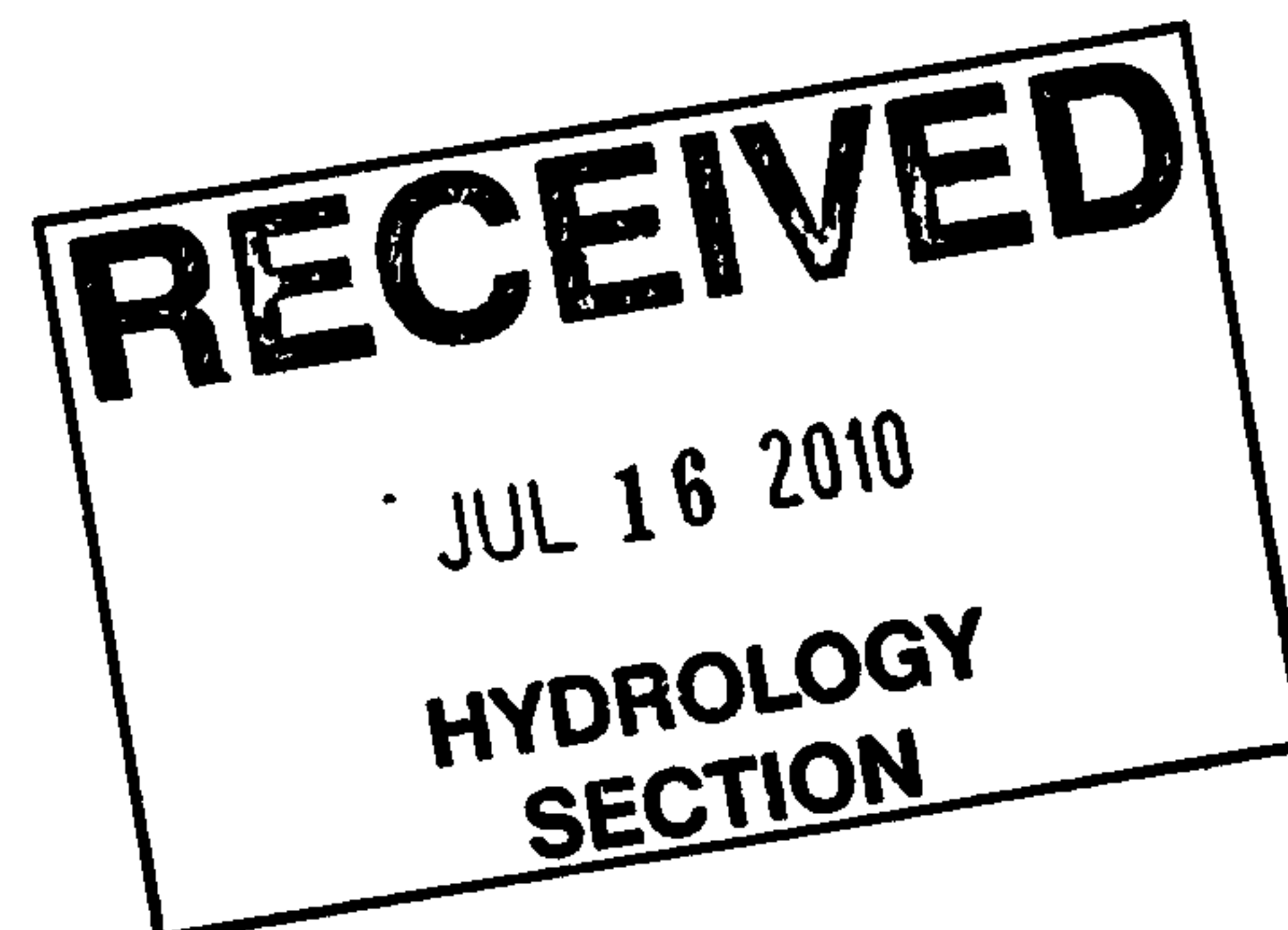
Should you have any questions regarding this resubmittal, please do not hesitate to call me.

Sincerely,



David Soule, PE

Enclosures



Weighted E Method

Existing Basins

| Basin | Area (sf) | Area (acres) | Treatment A | | Treatment B | | Treatment C | | Treatment D | | 100-Year | | |
|-------|--------------|-----------------|-------------|-------------|-------------|---------|-------------|---------|-------------|---------|-----------------------|-------------------|-------------|
| | | | % | (acres) | % | (acres) | % | (acres) | % | (acres) | Weighted E (ac-ft) | Volume (ac-ft) | Flow cfs |
| A | 11871.00 | 0.273 | 25% | 0.068130165 | 42% | 0.114 | 15% | 0.04088 | 19% | 0.052 | 1.032 | 0.023 | 0.74 |
| Total | 11871.00 | 0.27 | | 0.068 | | 0.114 | | 0.041 | | 0.052 | | 0.023 | 0.739 |

Proposed Developed Basins

| Basin | Area (sf) | Area (acres) | Treatment A | | Treatment B | | Treatment C | | Treatment D | | 100-Year, 6-hr. | | | 10-day |
|-------|--------------|-----------------|-------------|---------|-------------|---------|-------------|---------|-------------|---------|-----------------------|-------------------|-------------|-------------------|
| | | | % | (acres) | % | (acres) | % | (acres) | % | (acres) | Weighted E (ac-ft) | Volume (ac-ft) | Flow cfs | Volume (ac-ft) |
| A | 5077.00 | 0.117 | 0% | 0 | 21% | 0.024 | 15% | 0.01748 | 64% | 0.075 | 1.690 | 0.016 | 0.46 | 0.026 |
| B | 6794.00 | 0.156 | 0% | 0 | 19% | 0.030 | 14% | 0.02184 | 67% | 0.104 | 1.727 | 0.022 | 0.63 | 0.036 |
| Total | 11871.00 | 0.27 | | 0.00 | | 0.05 | | 0.04 | | 0.075 | | 0.039 | 1.089 | 0.063 |

Equations:

$$\text{Weighted E} = \frac{E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d}{\text{Total Area}}$$

$$\text{Volume} = \text{Weighted D} \cdot \text{Total Area}$$

$$\text{Flow} = Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$$

Where for 100-year, 6-hour storm

$$E_a = 0.53$$

$$E_b = 0.78$$

$$E_c = 1.13$$

$$E_d = 2.12$$

$$Q_a = 1.56$$

$$Q_b = 2.28$$

$$Q_c = 3.14$$

$$Q_d = 4.7$$

Existing Condition

Discharge to west

0.74 cfs

Developed Conditions

Discharge to west

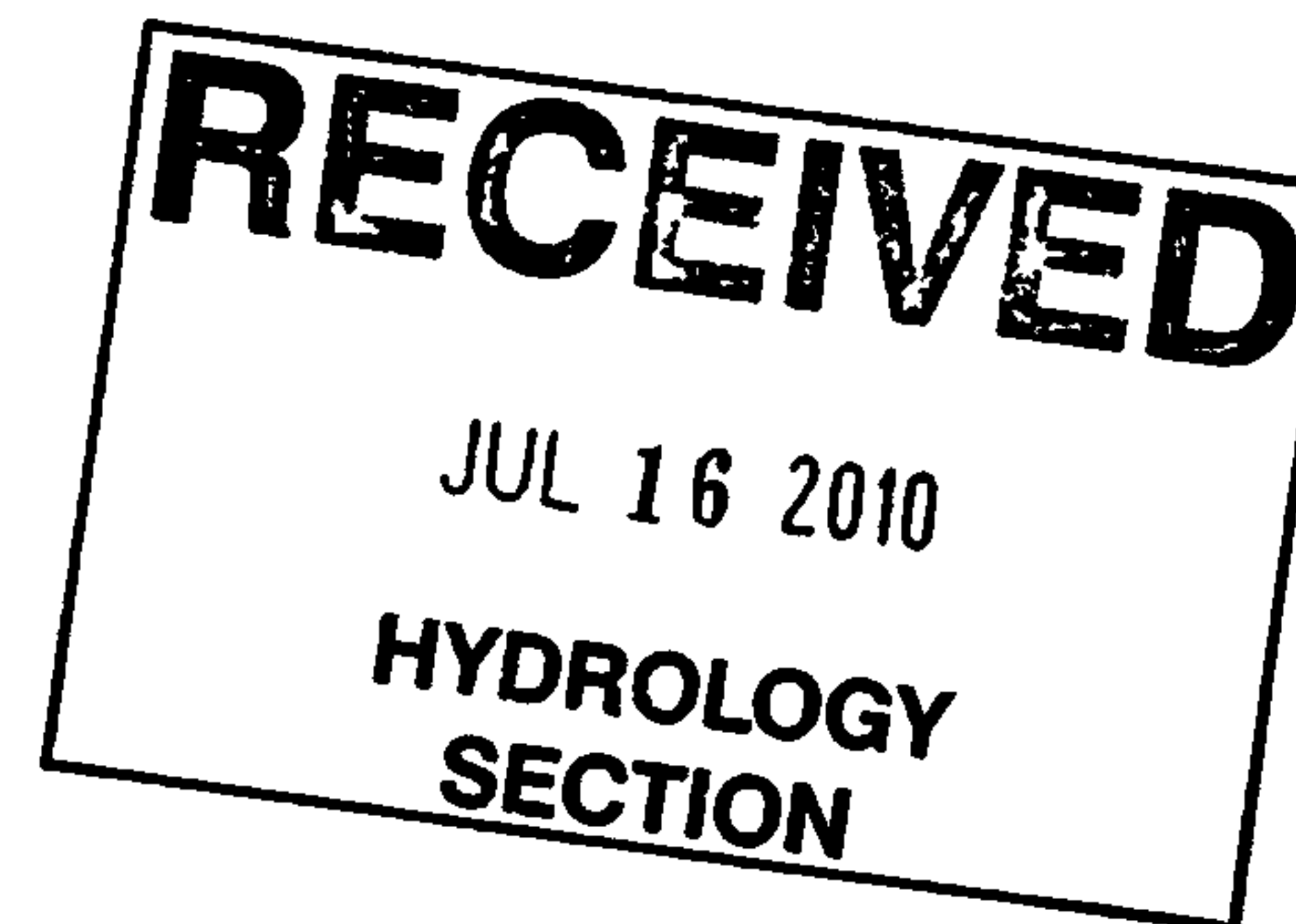
0.46 cfs

discharge to Madison

0.63 cfs

decrease flow rate from historical to west

0.11 cfs



BASIN A

LOT & BLOCK 40
PLAT MAY 28, 1944
VOLUME 10, P. 100

BASIN A

LOT & BLOCK 40
PLAT MAY 28, 1944
VOLUME 10, P. 100

RECEIVED
16 2010

RECEIVED
16 2010

RECEIVED
16 2010

DRAINAGE REPORT

For

**501 MADISON PLACE SE
LOT 5A BLOCK 48 PARKLAND HILLS ADDITION
Albuquerque, New Mexico**

Prepared by

Rio Grande Engineering
PO Box 67305
Albuquerque, New Mexico 87193

JUNE 2010



David Soule P.E. No. 14522

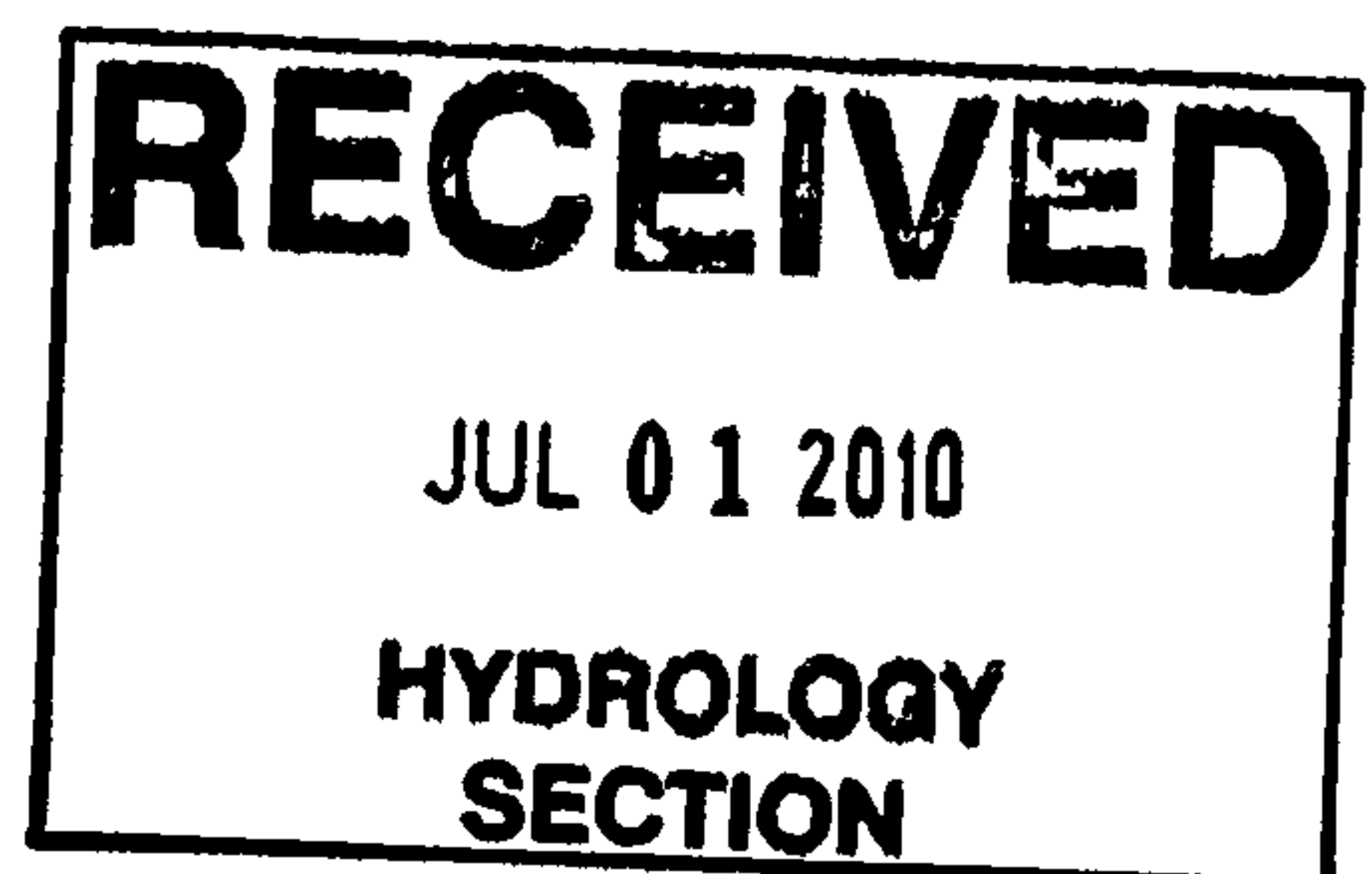


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Appendix

Site Hydrology A

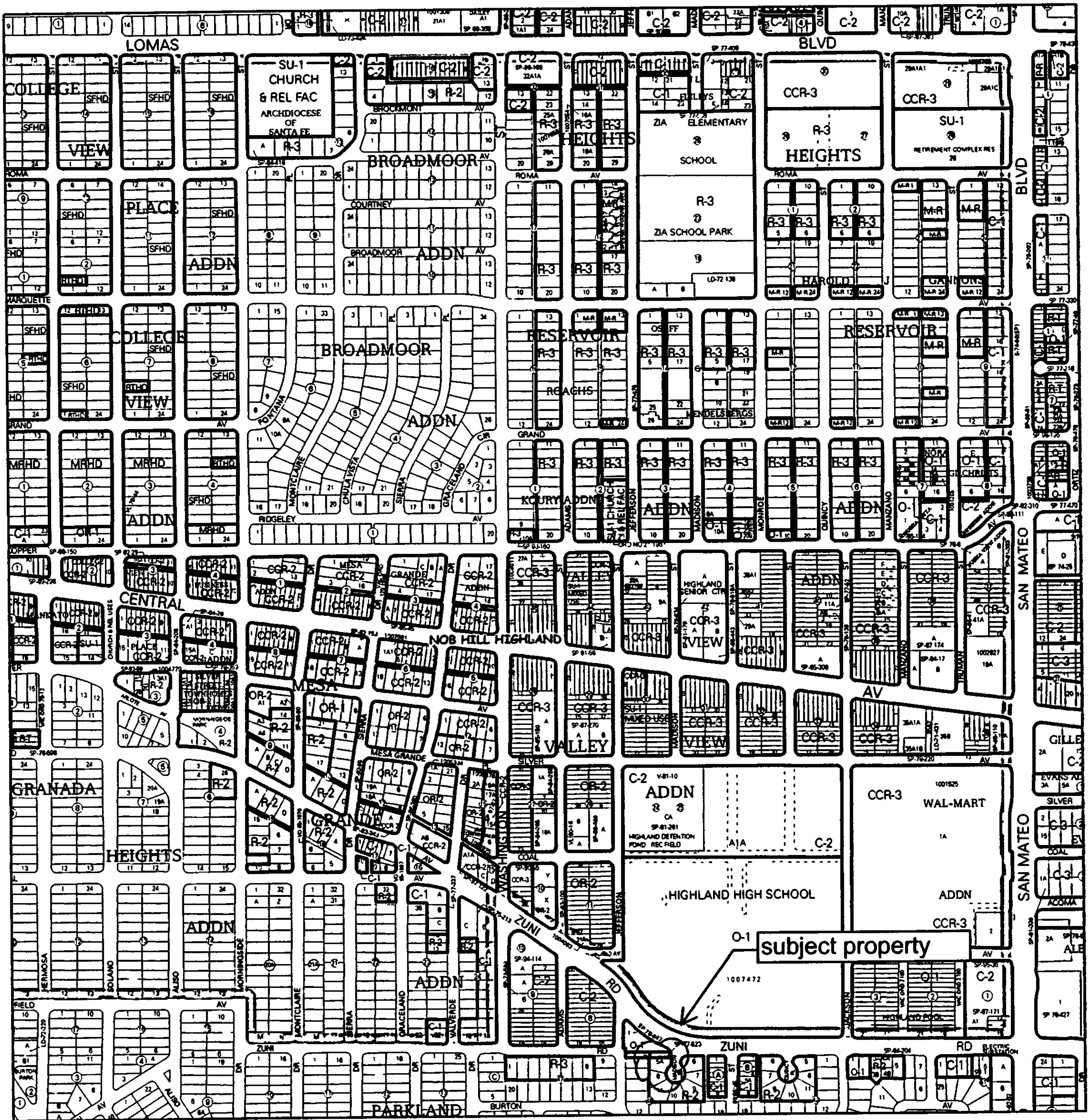
Map Pocket
Site Grading and Drainage Plan

PURPOSE

The purpose of this report is to provide the Drainage Management Plan for an approximately 4,800 square foot apartment building located on the southwest corner of Madison Place ~~SW~~^E and Zuni. This plan was prepared in accordance with the City of Albuquerque design regulations, utilizing the City of Albuquerque's Development Process Manual drainage guidelines. This report will demonstrate that the grading does not adversely affect the surrounding properties, nor the upstream or downstream facilities.

INTRODUCTION

The subject of this report, as shown on the Exhibit A, is a single parcel containing an area of .27 acres of land located on the southwest corner of Madison Place and Zuni in south east Albuquerque. The legal description of this site is lots 5A, block 48 Parkland Hills Addition. As shown on FIRM map35013C0354E, the entire property is located within Flood Zone X. This site is surrounded by fully developed parcels. This site appears to be a redevelopment of a previously torn down building. There is no evidence of this previous development but due to the location and age of the area, it is assumed a dwelling was located on site at some point in the past. Based on the site location and the characteristics of the adjacent drainage infrastructure this development shall continue to drain to a remnant of the old Zuni Road alignment that runs the northern 20' of this property. This site is the second site on the cul-de-sac that is being currently developed with the same footprint; the previous site (L17/D001C) was required to free discharge, with no onsite ponding allowed



For more current information and more details visit: <http://www.cabq.gov/gis>

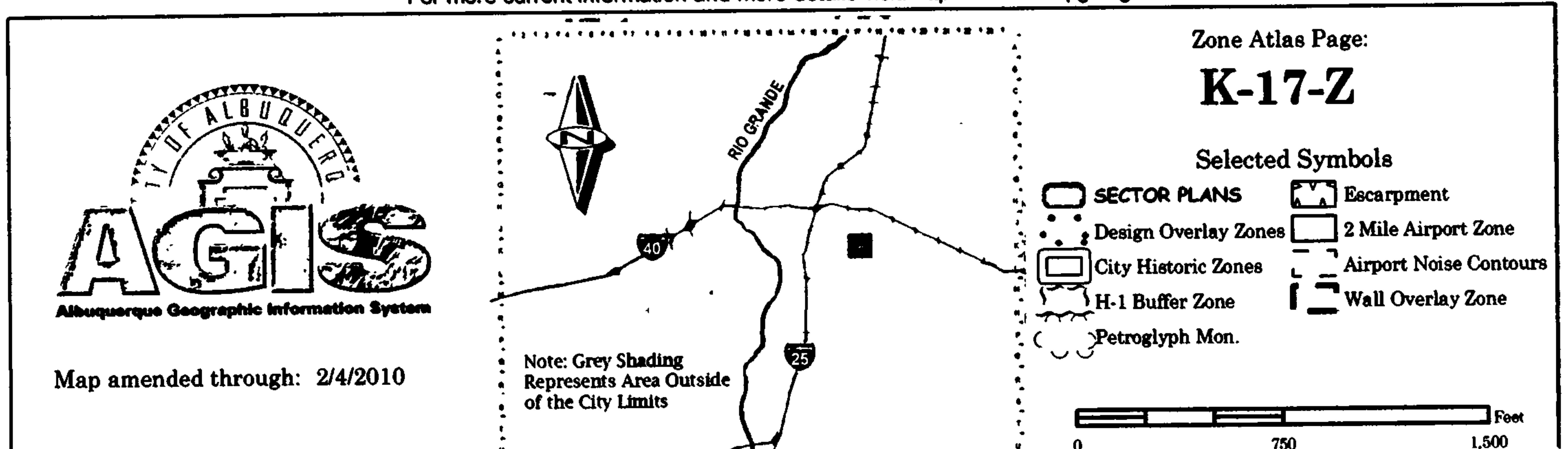


EXHIBIT A

EXISTING CONDITIONS

The site is currently undeveloped. Due to the high density residential area, this site is hard packed due to vehicular and pedestrian traffic. It appears this site has been graded and not in native conditions. The site slopes from south east to northwest. The site currently has a 1-2% general. There is a remnant of what appears to be the old Zuni Road alignment lying within the northern 20' of the property. The site is not impacted by any offsite flows, and is surrounded by developed properties or completed roadways. As shown in Appendix A, the existing site discharges at a peak rate of 0.74 cfs in a 100-year, 6-hour event. The site discharges to this remnant roadway where the flows continue west onto Zuni.

PROPOSED CONDITIONS

The proposed improvements consist of an approximately 4,800 square foot apartment buildings and associated parking. As shown in appendix A, the site will be graded to contain a single basin. Basin A will free discharge 1.09 cfs down the old Zuni roadway. The onsite grading will be .8%, which will allow for more infiltration within the landscape areas the entire site will drain to the existing remnant roadway. Therefore the existing drainage patterns will remain. The peak site discharge will increase by .35 cfs. Due to the City of Albuquerque's request for free discharge on the lot 8 plan (L17/D001C) within this same cul-de-sac we feel this same approach is appropriate on this lot. Due to the infill nature of the site, and the fact this site was in most likelihood developed in the past, we feel this increase should be acceptable to City Hydrology.

SUMMARY AND RECOMMENDATIONS

This project is a redevelopment project within a completely developed area of southeast Albuquerque. The site currently discharges .74 cfs to Zuni Road remnant. The developed conditions will discharge 1.09 cfs to the same remnant roadway section. The proposed increase of .35 cfs is minimal and shall have no negative impact on existing drainage facilities. Since this site encompasses less than 1/2 acre, a NPDES permit should not be required for construction.

APPENDIX A

SITE HYDROLOGY

Weighted E Method

Existing Basins

Existing Basins

| | | | | | | | | | | | 100-Year | | |
|-------|--------------|-----------------|-------------|-------------|-------------|---------|-------------|---------|-------------|---------|-----------------------|-------------------|-------------|
| Basin | Area (sf) | Area (acres) | Treatment A | | Treatment B | | Treatment C | | Treatment D | | Weighted E (ac-ft) | Volume (ac-ft) | Flow cfs |
| | | | % | (acres) | % | (acres) | % | (acres) | % | (acres) | | | |
| A | 11871.00 | 0.273 | 25% | 0.068130165 | 42% | 0.114 | 15% | 0.04088 | 19% | 0.052 | 1.032 | 0.023 | 0.74 |
| Total | 11871.00 | 0.27 | | 0.068 | | 0.114 | | 0.041 | | 0.052 | | 0.023 | 0.739 |

Proposed Developed Basins

| | | | | | | | | | | | 100-Year, 6-hr. | | | 10-day |
|-------|--------------|-----------------|-------------|---------|-------------|---------|-------------|---------|-------------|---------|-----------------------|-------------------|-------------|-------------------|
| Basin | Area (sf) | Area (acres) | Treatment A | | Treatment B | | Treatment C | | Treatment D | | Weighted E (ac-ft) | Volume (ac-ft) | Flow cfs | Volume (ac-ft) |
| | | | % | (acres) | % | (acres) | % | (acres) | % | (acres) | | | | |
| A | 11871.00 | 0.273 | 0% | 0 | 19% | 0.052 | 15% | 0.04088 | 68% | 0.180 | 1.717 | 0.039 | 1.09 | 0.063 |
| Total | 11871.00 | 0.27 | | 0.000 | | 0.052 | | 0.041 | | 0.180 | | 0.039 | 1.092 | 0.063 |

Equatlons:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)

Volume = Weighted D * Total Area

Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Where for 100-year, 6-hour storm

| | |
|----------|----------|
| Ea= 0.53 | Qa= 1.56 |
| Eb= 0.78 | Qb= 2.28 |
| Ec= 1.13 | Qc= 3.14 |
| Ed= 2.12 | Qd= 4.7 |

Existing Condition

Discharge 0.74 cfs

Developed Conditons

Discharge 1.09 cfs

Increase

0.35 cfs

CITY OF ALBUQUERQUE



July 8, 2010

Kenneth R. Hovey, R.A.
Ken Hovey Architect
1606 Central Ave Se Ste. 101
Albuquerque, NM 87106

Re: Highland Townhomes—Lot 5, 501 Madison Pl SE, Traffic Circulation Layout
Architect's Stamp dated 7-08-10 (L-17/D001B)

Dear Mr. Hovey,

The TCL submittal received 7-08-10 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

PO Box 1293

Albuquerque

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

NM 87103

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Nilo Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

L-17/D001B

PROJECT TITLE: HIGHLAND TOWN HOMES - LOT 5 ZONE MAP: K-VV
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 5 BLOCK 48 PARKLAND HILLS ADDN.
CITY ADDRESS: 501 MADISON PLACE SE

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

OWNER: Jason M. Buchanan CONTACT: Jason
ADDRESS: 5557 EAKES BL PHONE: 977-1332
CITY, STATE: Alb. NM ZIP CODE: 87107

ARCHITECT: KEA HONEY CONTACT: KEA
ADDRESS: 1606 CATANA AVENUE STE 10 PHONE: 242-6610
CITY, STATE: ABQ, NM ZIP CODE: 87106

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: Fair And Square Builders CONTACT: Jason
ADDRESS: 5557 EAKES BL PHONE: 977-1332
CITY, STATE: Alb. NM ZIP CODE: 87107

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

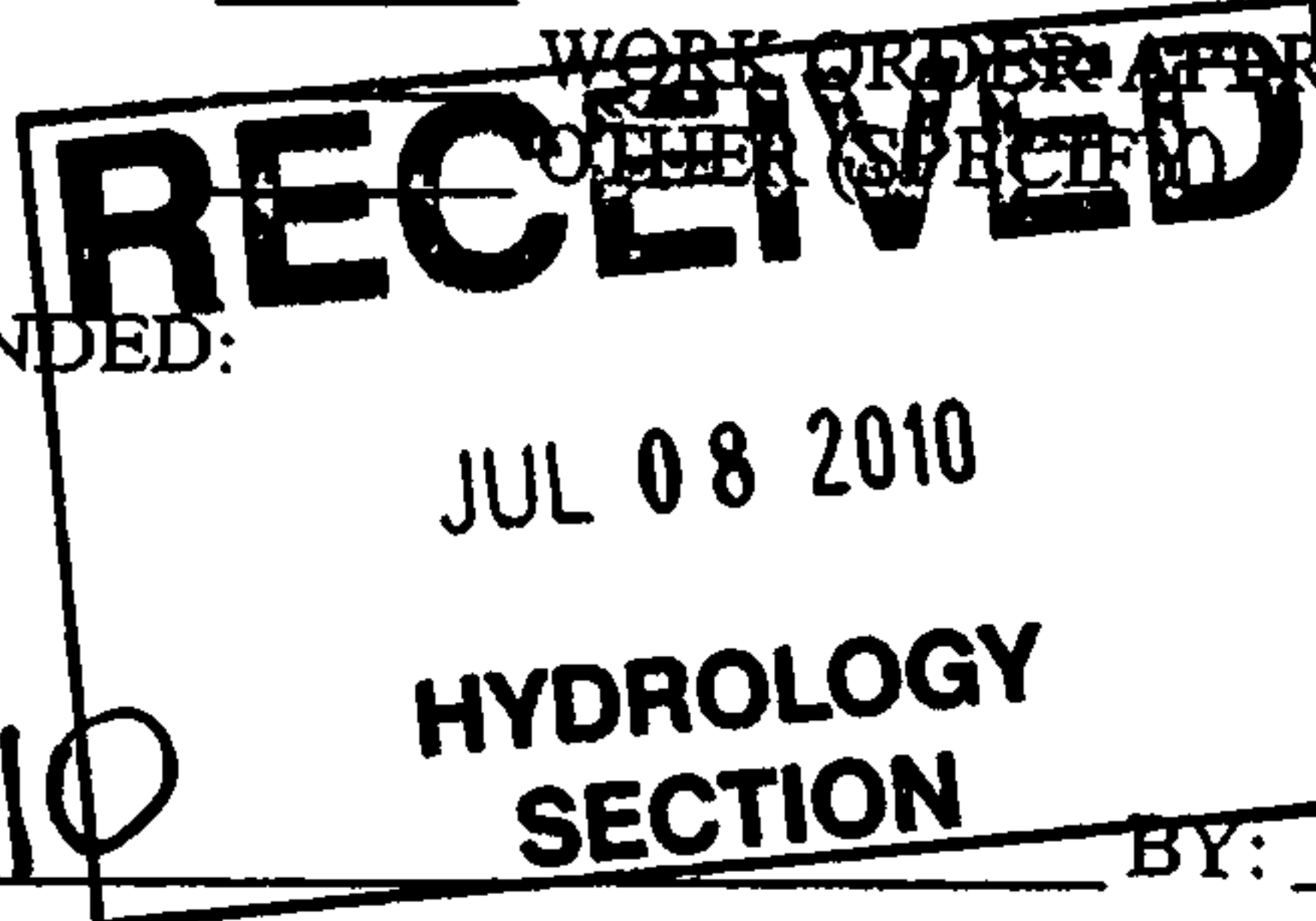
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SLA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
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- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 7-8-10 BY: [Signature]



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.