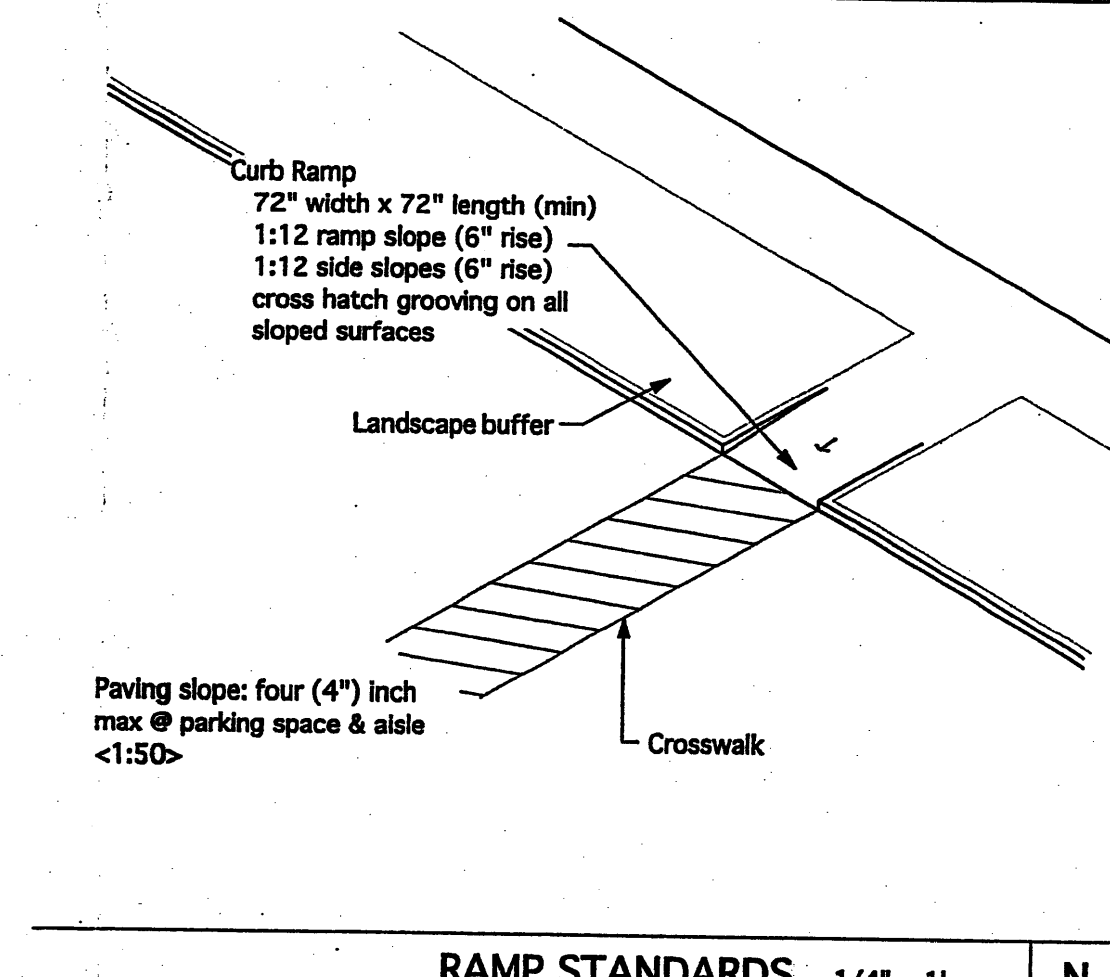
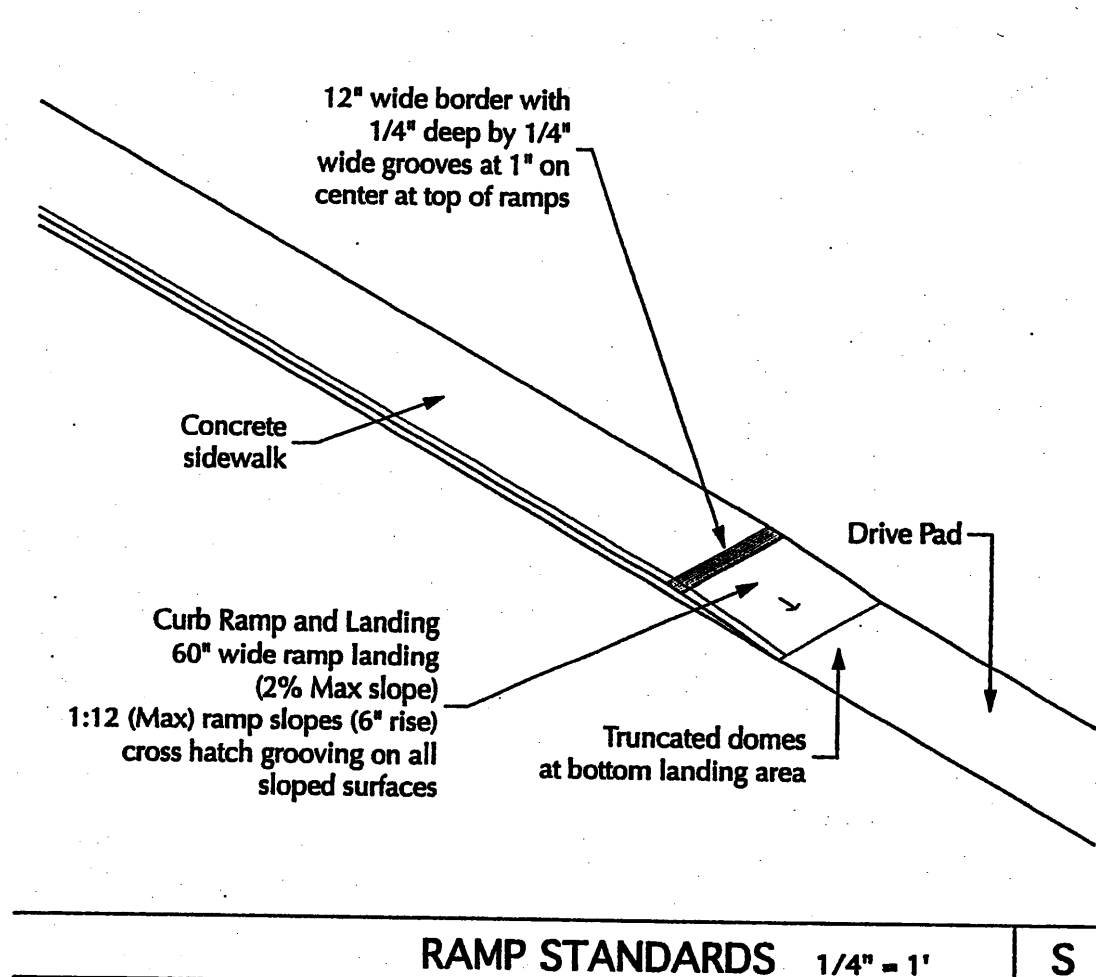
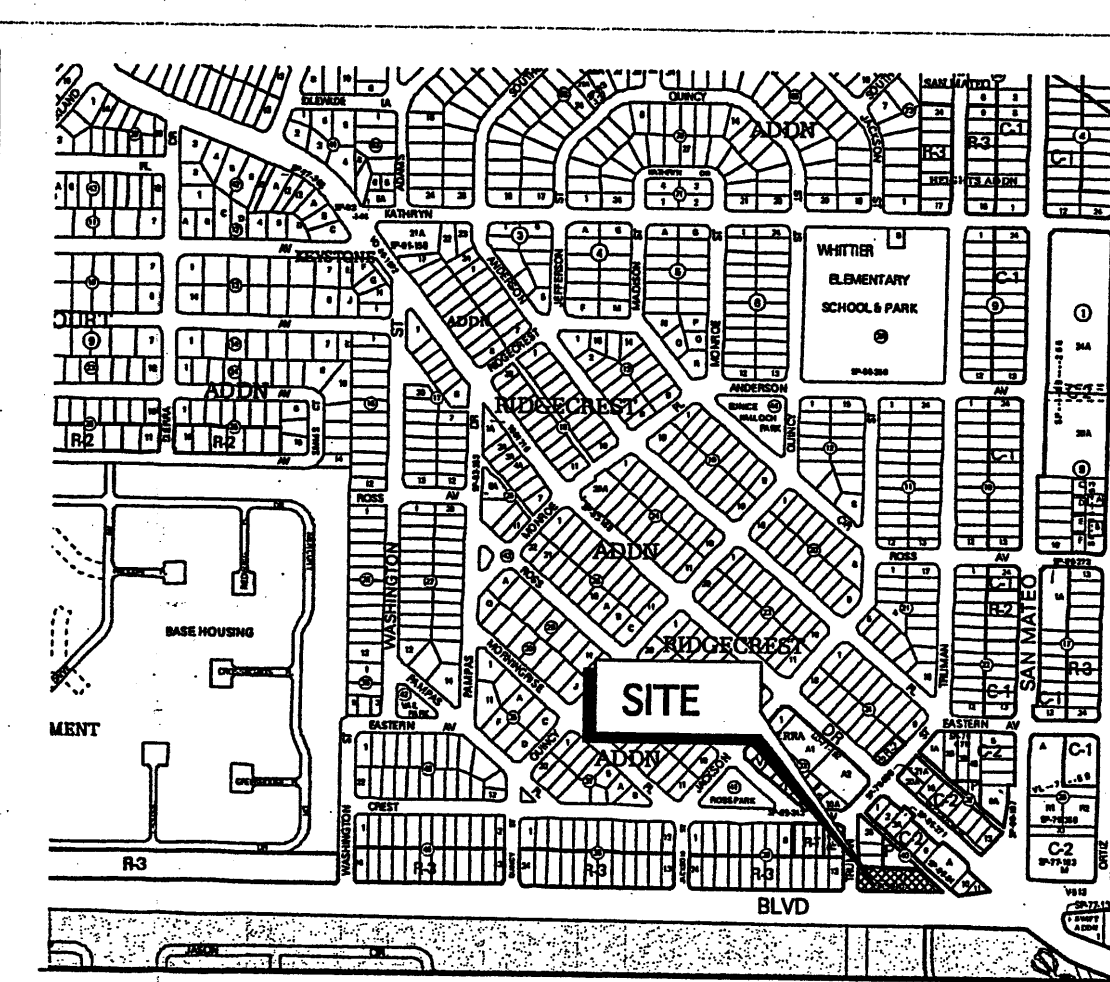
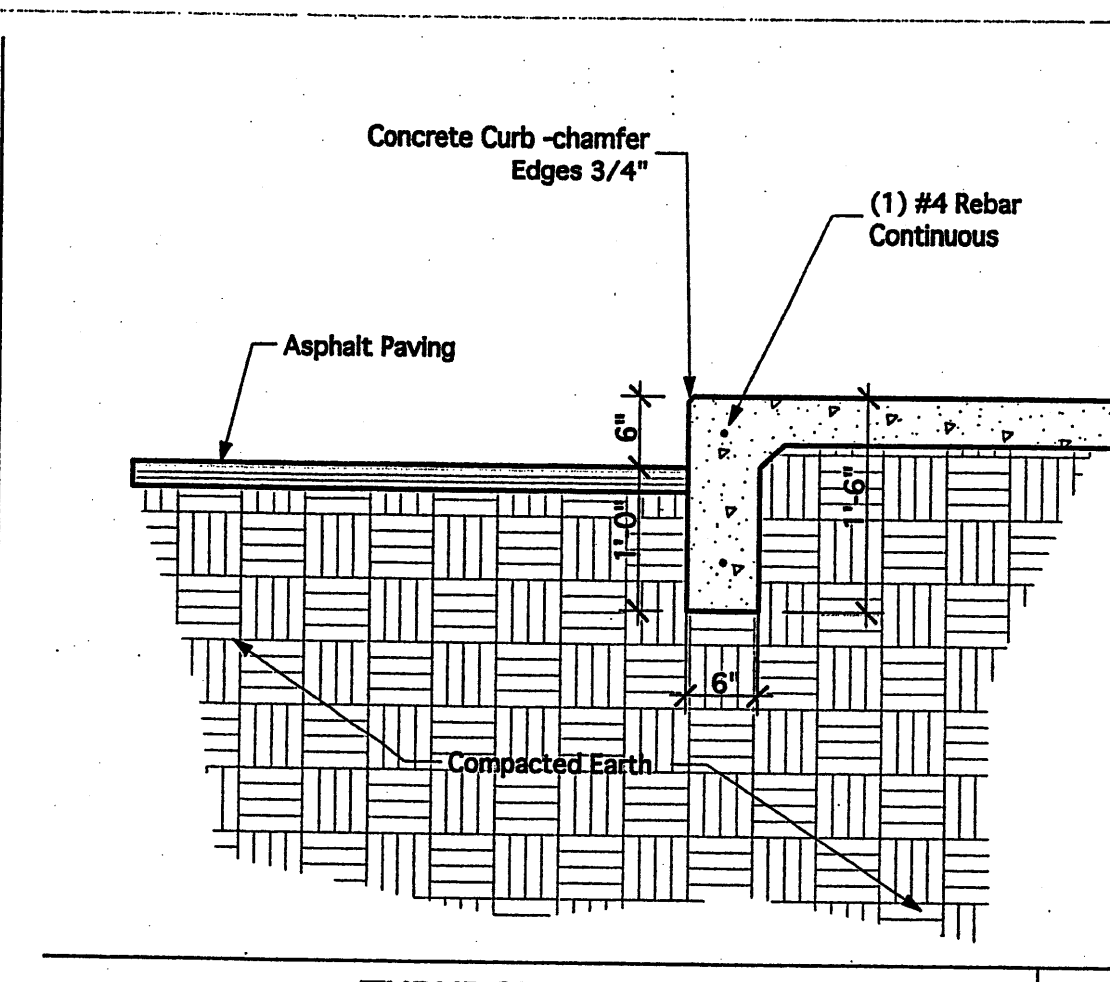
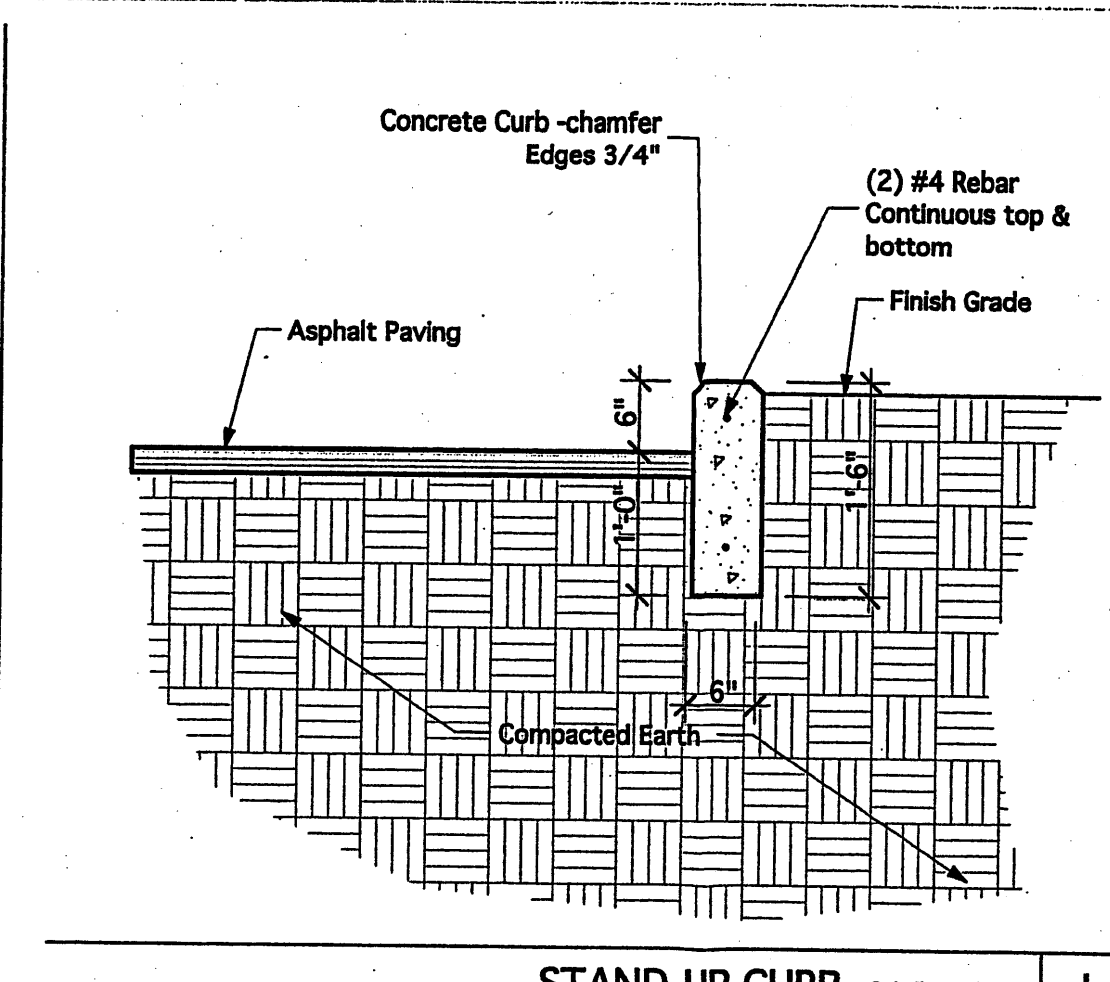
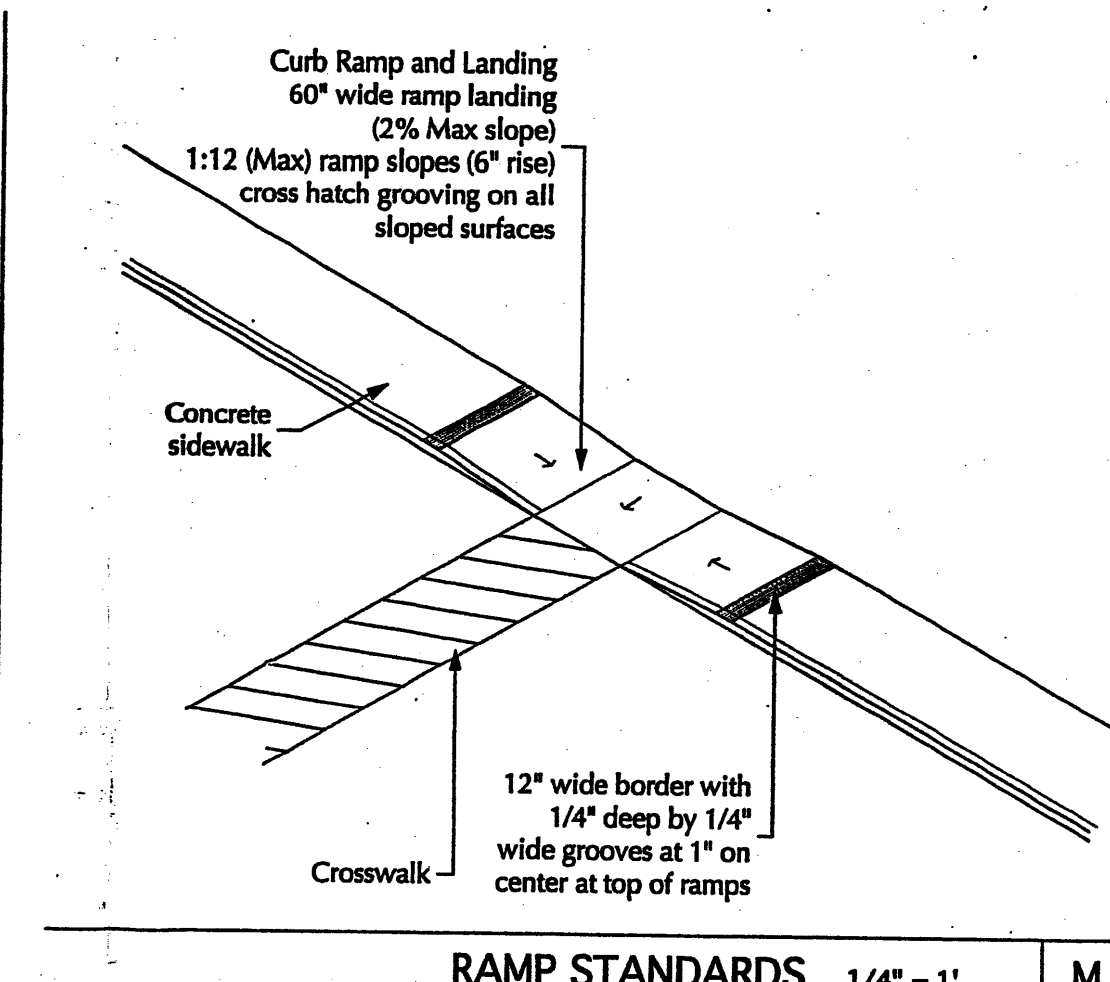
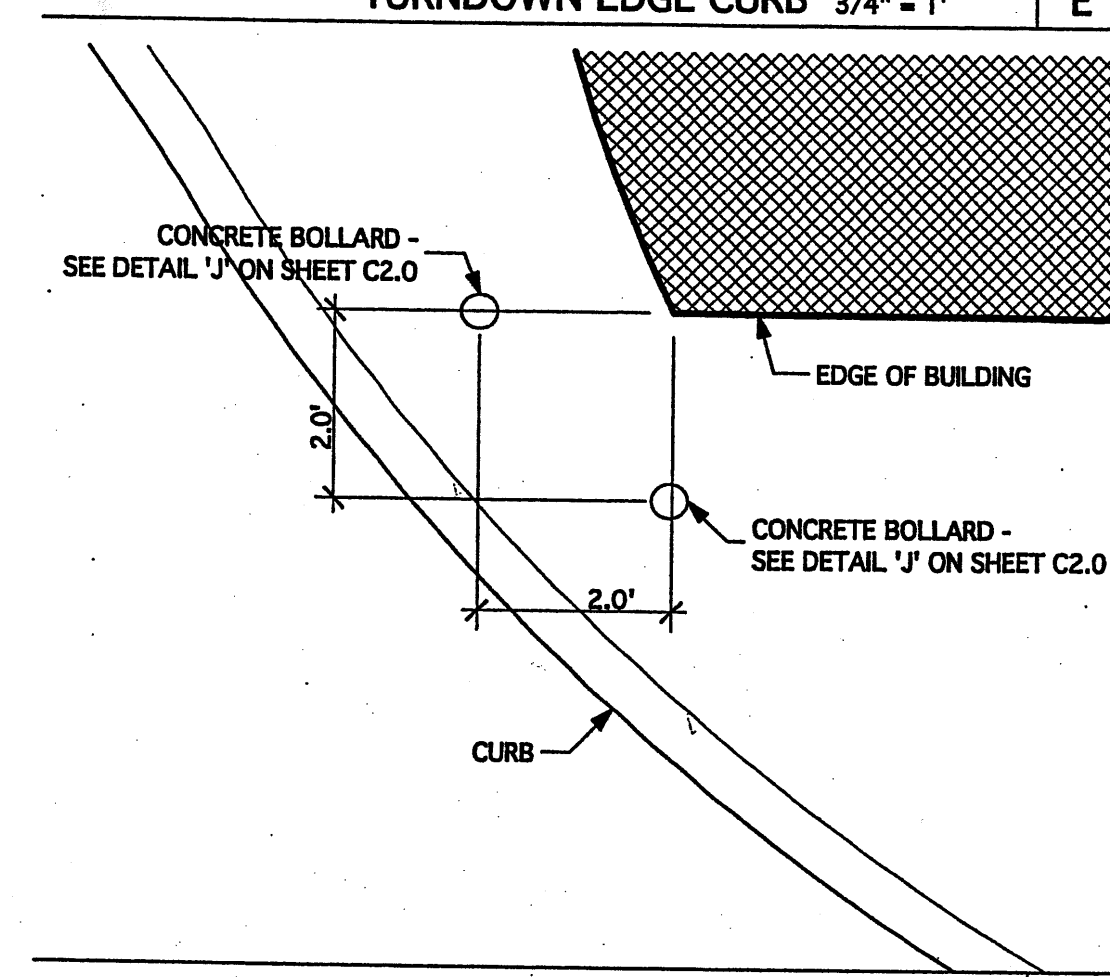


- TWO WAY CLEANOUT TO GRADE W/ FLUSH MOUNTED TRAFFIC RATED CAP - ONE WAY CLEANOUT TO GRADE W/ FLUSH MOUNTED TRAFFIC RATED CAP - GREASE INTERCEPTOR BELOW GRADE W/ FLUSH MOUNTED TRAFFIC RATED COVER - EXISTING STREET LIGHT FIXTURE - PARKING LOT LIGHT FIXTURE - EXISTING POLE SIGN - TRANSFORMER - VEHICLE CLEARANCE BAR - DRIVE THROUGH ORDER BOARD - EXISTING TRAFFIC SIGNAL AND SERVICE BOX - WATER METER WITH TRAFFIC RATED COVER	SYMBOL LEGEND
---	---------------



ADDRESS: 4901 GIBSON BLVD SE ALBUQUERQUE, NM 87108 LOT 12, BLOCK 40 RIDGECREST ADDN ZONE ATLAS PAGE: L-17-Z LAND USE ZONING: C-2 UPC # 101705647608840405 PARKING: REQUIRED: RESTAURANT: (1 SPACE PER 4 SEATS) 62 / 4 = 15 SPACES PROVIDED: STANDARD SPACES 21 SMALL CAR SPACES 2 HC SPACE 1 MOTORCYCLE 2 TOTAL 26 BICYCLE PARKING: REQUIRED: 1 SPACE PER 20 PARKING SPACES 26 SPACES / 20 = 1 SPACE PROVIDED: 2 SPACES (MINIMUM)	LEGAL DESCRIPTION
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TRAFFIC CIRCULATION LAYOUT NOTES

The engineer's certification required by the hydrology section needs to include certification that this site was constructed in accordance with the traffic circulation layout (TCL) before the certificate of occupancy is released.

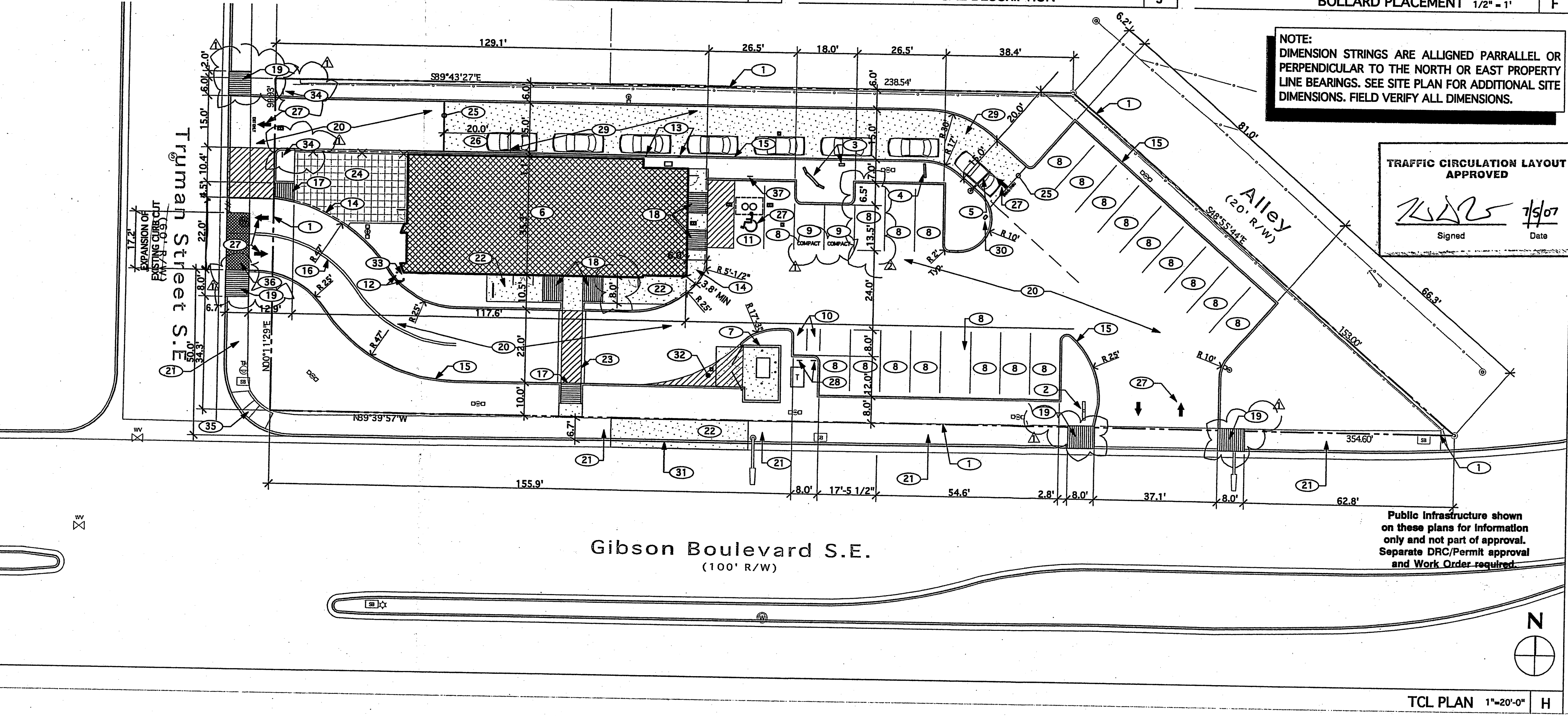
"THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN."

"THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT ACCEPTED BY TRAFFIC ENGINEER, AFTER APPROVAL FOR BUILDING PERMIT, WILL RESULT IN:

(1) UNTIMELY DELAY OF CERTIFICATION FOR FINAL CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND

(2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.

ALL EXISTING STREET SIDEWALK AND C&G IN DISREPAIR AFFECTING SAFE PEDESTRIAN AND/OR VEHICLE TRAVEL SHALL BE REMOVED AND REPLACED.



- TRAFFIC CIRCULATION LAYOUT APPROVED
- Signed: [Signature] Date: 1/5/07
- PROPERTY LINE (TYPICAL)
 - EXISTING POLE SIGN
 - DRIVE THROUGH MENU SIGN AND ORDER STATION. SEE DETAIL 'L' ON SHEET C2.0
 - DRIVE THROUGH PREVIEW MENU SIGN. SEE DETAIL 'K' ON SHEET C2.0
 - DRIVE THROUGH CLEARANCE SIGN. SEE DETAIL 'D' SHEET C2.0
 - NEW BUILDING LOCATION
 - DUMPSTER ENCLOSURE. SEE DETAIL 'Q' ON SHEET C2.0
 - TYPICAL PARKING SPACE 9'-0" WIDE (8'-6" MINIMUM) X 20' (18' + 2' OVERHANG).
 - SMALL CAR PARKING SPACE 9'-0" WIDE (8'-6" MINIMUM) X 15'-0" (13'-6" + 1'-6" OVERHANG) (PAINT "COMPACT" ON PAVEMENT).
 - MOTORCYCLE PARKING SPACE 4'-0" WIDE X 8'-0"
 - HANDICAP VAN SPACE 9'-0" WIDE (8'-6" MINIMUM) X 20'-0" (18' + 2' OVERHANG) WITH 8' WIDE ACCESS AISLE.
 - PIPE BOLLARD, SEE DETAIL 'J' ON SHEET C2.0
 - PIPE BOLLARD IN CURB, SEE DETAIL 'I' ON SHEET C2.0
 - TURNDOWN CONCRETE CURB, SEE DETAIL 'E' ON THIS SHEET
 - CONCRETE CURB, (TYPICAL) SEE DETAIL 'I' ON THIS SHEET
 - LANE DIVIDER - PAINTED DOUBLE STRIPING, EACH STRIPE 4" WIDE
 - CURB RAMP 1:12 SLOPE MAX. PROVIDE CONCRETE CURBS @ EACH SIDE. SEE DETAIL 'W' ON THIS SHEET (SIMILAR) FOR ADA COMPLIANCE
 - CURB RAMP 1:12 SLOPE MAX. PROVIDE CONCRETE CURBS @ EACH SIDE. SEE DETAIL 'W' ON THIS SHEET (SIMILAR) FOR ADA COMPLIANCE
 - CURB RAMP 1:12 SLOPE MAX. PROVIDE CONCRETE CURBS @ EACH SIDE. SEE DETAIL 'W' ON THIS SHEET (SIMILAR) FOR ADA COMPLIANCE
 - NEW ASPHALT PAVING, SEE SOILS REPORT
 - EXISTING CONCRETE SIDEWALK, CONTRACTOR SHALL REPAIR ANY DAMAGED SECTIONS AND CONSTRUCT PER CITY STANDARD DETAIL 2430
 - NEW 4" THICK CONCRETE SIDEWALK, SEE SITE PLAN FOR DIMENSIONS
 - NEW 6" WIDE PAINTED CROSSWALK WITH A 12" PAINTED STRIPE ON BOTH SIDES
 - 4" THICK COLORED AND SCORED CONCRETE PATIO WITH A 42" HIGH WROUGHT IRON FENCE ALONG DRIVE THRU LANE
 - INTERSECTION OF CONCRETE AND ASPHALT PAVEMENT
 - CONCRETE PAVING SHALL EXTEND 20'-0" FROM THE CENTER OF THE DRIVE-THRU WINDOW
 - PAVEMENT MARKING. SEE DETAIL 'R' ON SHEET C1.1 (TYPICAL)
 - MOTORCYCLE PARKING SIGN
 - 4" THICK CONCRETE PAVING
 - DIRECTIONAL SIGN, SEE DETAIL 'H' ON SHEET C2.0
 - NEW CURB AND GUTTER, CONSTRUCT PER CITY OF ALBUQUERQUE DRAWING 2415
 - PAINTED STRIPING
 - SEE DETAIL 'F' ON THIS SHEET FOR BOLLARD PLACEMENT
 - "DO NOT ENTER" RECTANGULAR POLE SIGN FACING TRUMAN STREET
 - EXISTING CURB RAMP, INSTALL TRUNCATED DOMES
 - DRIVE PAD EXTENSION, SEE DETAIL 'U' ON SHEET C1.1 AND KEYED NOTES 10 AND 11 ON SHEET C1.0
 - HANDICAPPED SIGN. SEE DETAIL 'O' ON SHEET C2.0

STATE OF NEW MEXICO
James C Lewis
REGISTERED PROFESSIONAL ENGINEER
No. 625107

James C Lewis Architect
General Design, Inc.
1620 Central Avenue SE
Albuquerque, NM 87106
(505) 247-1529 • gdl@mac.com

Architects Job No. 0627
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RECEIVED
JUN 27 2007
HYDROLOGY SECTION

CONTRACT DATE: XX.XX.XX
BUILDING TYPE: KT-y07
PLAN VERSION: 2007
SITE NUMBER: XXXXX
STORE NUMBER: XXXXX

KFC / TB
4901 Gibson Blvd SE
Albuquerque, NM 87108

TACO BELL
KT-y07

TCL PLAN
C1.3

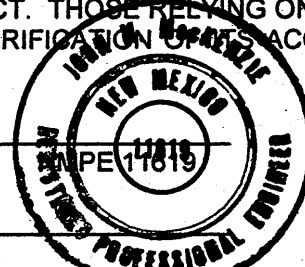
PLOT DATE: 4/27/07
RECEIVED
APR 15 2008
HYDROLOGY SECTION

DRAINAGE CERTIFICATION

I, JOHN M. MACKENZIE, NMPE 11619, OF THE FIRM MARK GOODWIN & ASSOCIATES, P.A. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 04/11/2008. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY LYNN D. LANTZ, NMPS 10856, OF THE FIRM Accurate Surveying. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 04/10/2008, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY GRADING CERTIFICATION APPROVAL.

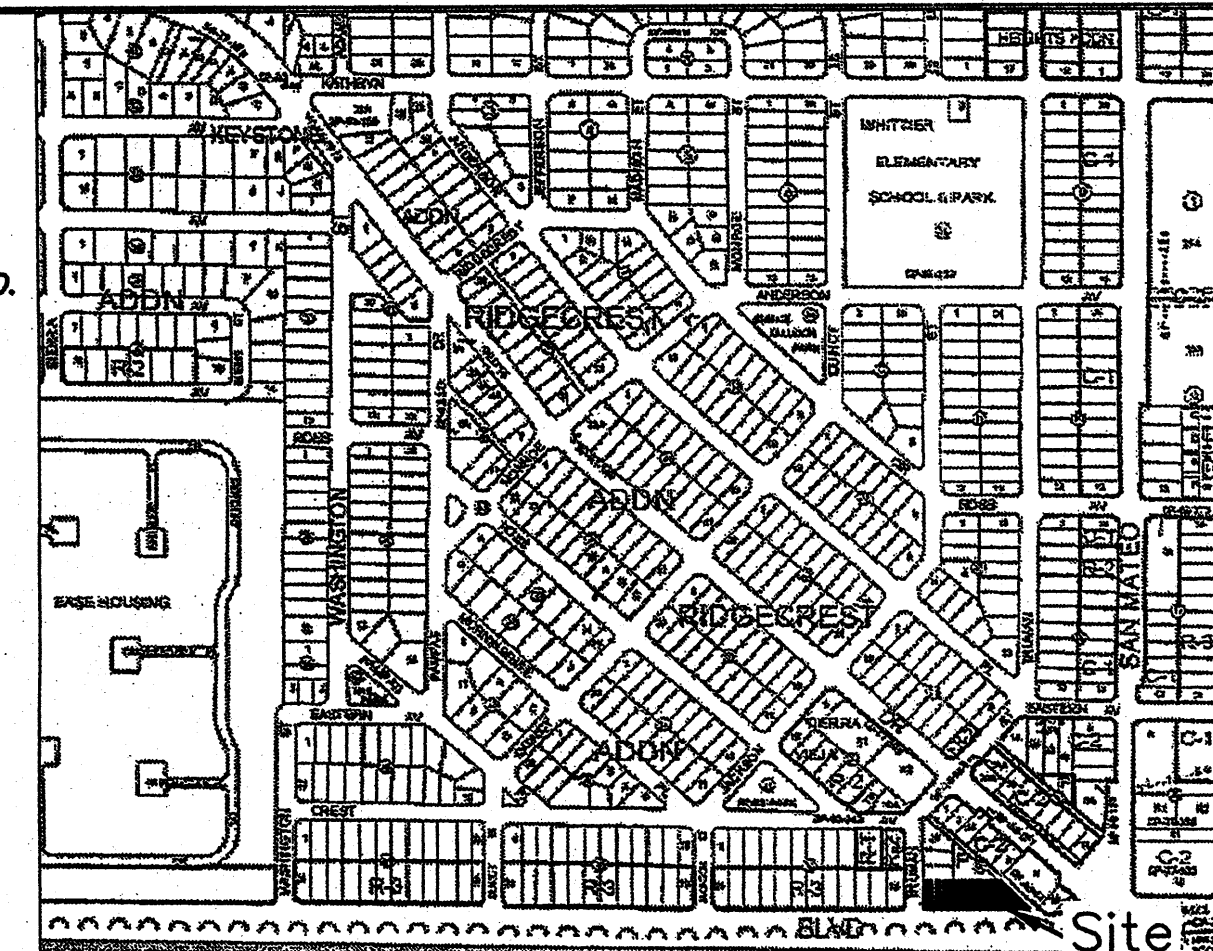
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

John Mackenzie
JOHN M. MACKENZIE
04-14-08
DATE



NOTES

- 1 WATER METER REPLACE BOX WITH TRAFFIC RATED.
- 2 RELOCATE EXISTING LIGHTING FIXTURE.
- 3 LANDSCAPE IRRIGATION VALVE BOX TO BE RELOCATED.
- 4 NEW DRIVE PAD 52' WIDE.
- 5 EXISTING PROPERTY LINE GRADES TO REMAIN.
- 6 PRIVATE DRIVE PAD 37' WIDE PER COA STD DRWG. 2425



BENCHMARK ZONE MAP: X-XX-Z

Benchmark

ACS MONUMENT "A-118" HAVING AN ELEVATION OF 5325.083, AND AN ACS MONUMENT "24-117" HAVING AN ELEVATION OF 5323.007.

Legal

LOTS NUMBERED TWELVE-A (12-A), BLOCK 40 OF RIDGECREST ADDITION AS THE SAME IS SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 5, 1986, IN BOOK C88, PAGE 104.

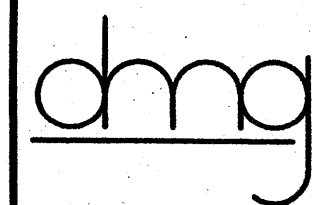
LEGEND

- EXISTING CURB & GUTTER
- BLOCK WALL
- EXISTING CHAINLINK FENCE
- EXISTING CONTOUR
- POWER POLE
- OVERHEAD UTILITY
- LIGHT POLE
- FIRE HYDRANT
- GAS VALVE
- WATER VALVE
- WATER METER
- UTILITY PEDESTAL
- EXISTING SPOTS
- EXISTING BUILDING
- PROPERTY LINE
- PROPOSED BUILDINGS
- PROPOSED SPOT ELEVATION, As-built FL Elevation
- PROPOSED FLOW DIRECTION
- NEW CURB & GUTTER
- DRIVEWAY CENTER STRIPING
- NEW COA STANDARD CURB & GUTTER PER STD DWG #2415A
- NEW WATER BREAK
- UNI-DIRECTIONAL WHEEL CHAIR RAMP
- BASIN
- BASIN DRAINAGE BOUNDARY

RECEIVED
HYDROLOGY SECTION
APR 14 2008

KFC GIBSON

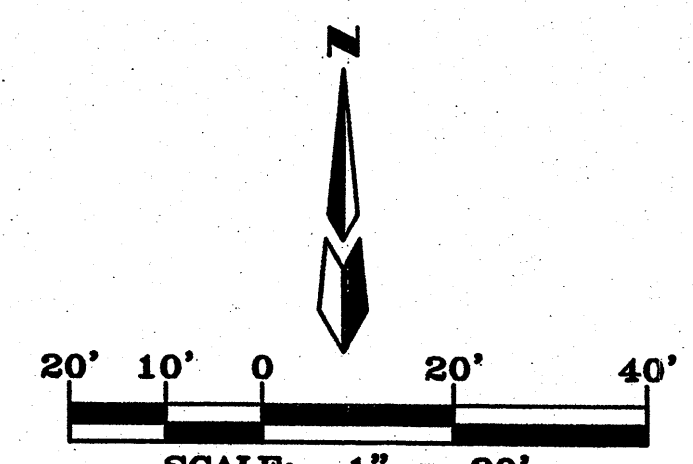
GRADING & DRAINAGE PLAN



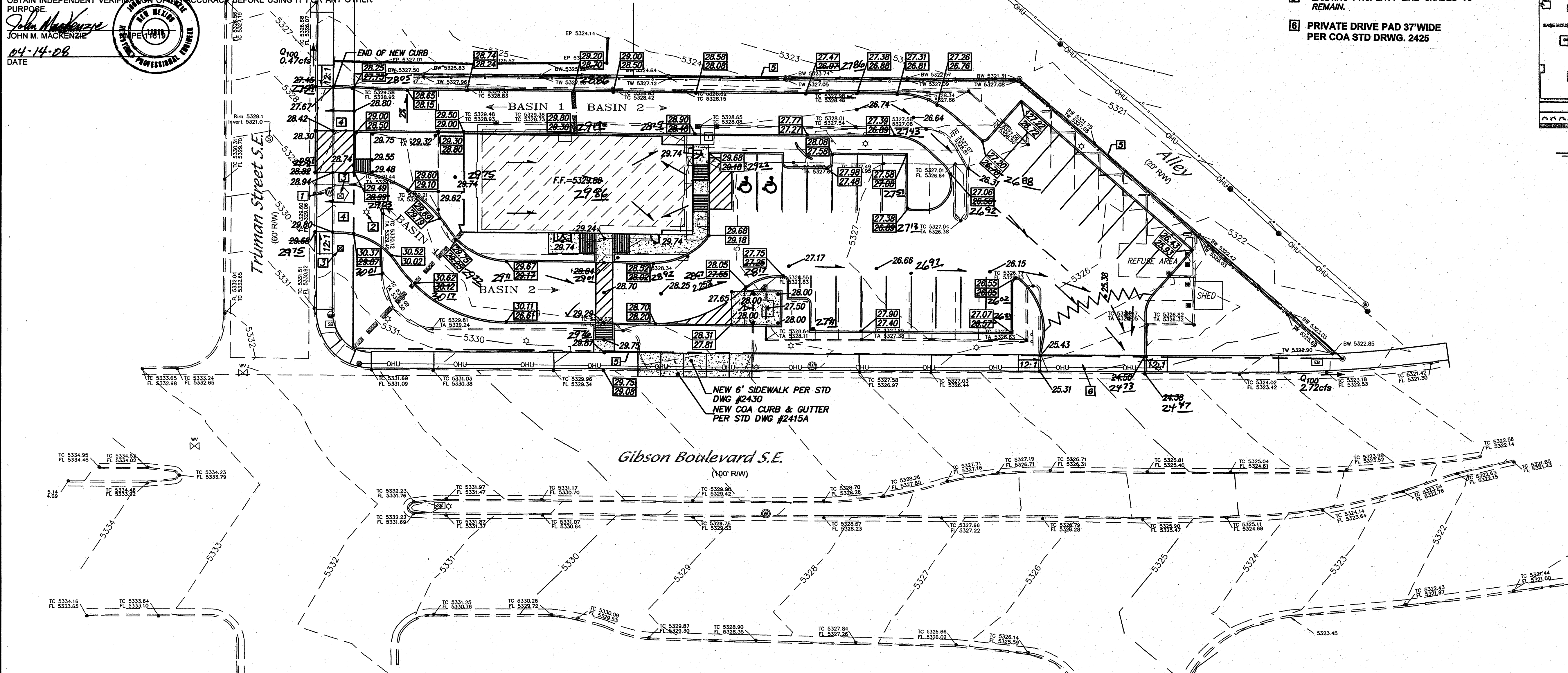
MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS

P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: BJG Drawn: CAR Checked: JMM
Scale: 1"=20' Date: 5/30/07 Job: A06081 Sheet 1 of 1



F:\A06\JOBS\A06081 KFC GIBSON\A06081GD.DWG\05-30-07\CAR SPS



I. PROJECT DESCRIPTION

The project consists of raising existing Taco Bell building and replace with a new KFC building on the same pad elevation. The site consists of approximately 1/4 acre. The legal description being Lot 12-A, Block 40, Ridgcrest addition is located at the northeast corner of the intersection of Gibson Boulevard and Truman Street, SE. The property on the north side of this subject property is partially developed and there is an existing alleyway adjacent to the east property line. The new development will remain pretty much the same as exists today with exception of an increase in landscape area and some reduction in paved area.

II. DRAINAGE DESIGN CRITERIA AND PREVIOUS REPORTS

The design criteria used in this report was in accordance with the Hydrology Section, 22.2 of the City of Albuquerque's Development Process Manual, Volume 2, Design Criteria, as updated through September 1999. The 100-year 6-hour storm event was analyzed to determine site runoff using $P(1\text{ hr}) = 2.01$; $P(6\text{ hr}) = 2.35$. The site consists of two basins. Basin 1 drains to Truman Street and Basin 2 to Gibson Boulevard. The soil treatment values used for determination of the developed condition runoff were as follows: Basin 1, Treatment D=90, Treatment C=0 and Treatment B=10 and Basin 2, Treatment D=90, Treatment C=0 and Treatment B=20 as determined using Table A-4, LAND TREATMENTS, in the DPM.

III. EXISTING DRAINAGE CONDITIONS

Under existing drainage conditions the lots drain in a similar pattern with a portion of the runoff discharging to Truman Street and the remainder to Gibson Boulevard. There is no offsite drainage to either of these areas due to the existing improved streets adjacent to each of these basins as well as the fact that this property is higher than the property to the north and the alley to the east. Therefore, there will not be any offsite flows to have to accommodate with the development of this lot. From AHYMO the existing developed flow rate is 3.33 cfs.

IV. DEVELOPED DRAINAGE CONDITIONS

The total developed conditions flow from this site, assuming the fully developed conditions utilizing AHYMO, is approximately 0.47 cfs from Basin 1 to Truman Street and 2.72 cfs from Basin 2 into Gibson Boulevard for a total of 3.19 cfs which, is slightly less than existing condition flows. The flow from these lots will discharge directly into Truman Street to the west and Gibson Boulevard to the south.

V. CONCLUSIONS

The proposed drainage scheme for the new building and paved area can be readily accommodated through the implementation of this plan and will actually be decreased slightly with the increase in the landscaped area.

NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0362E

FIRM
FLOOD INSURANCE RATE MAP

BERNALILLO COUNTY,
NEW MEXICO
AND INCORPORATED AREAS

PANEL 362 OF 825

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

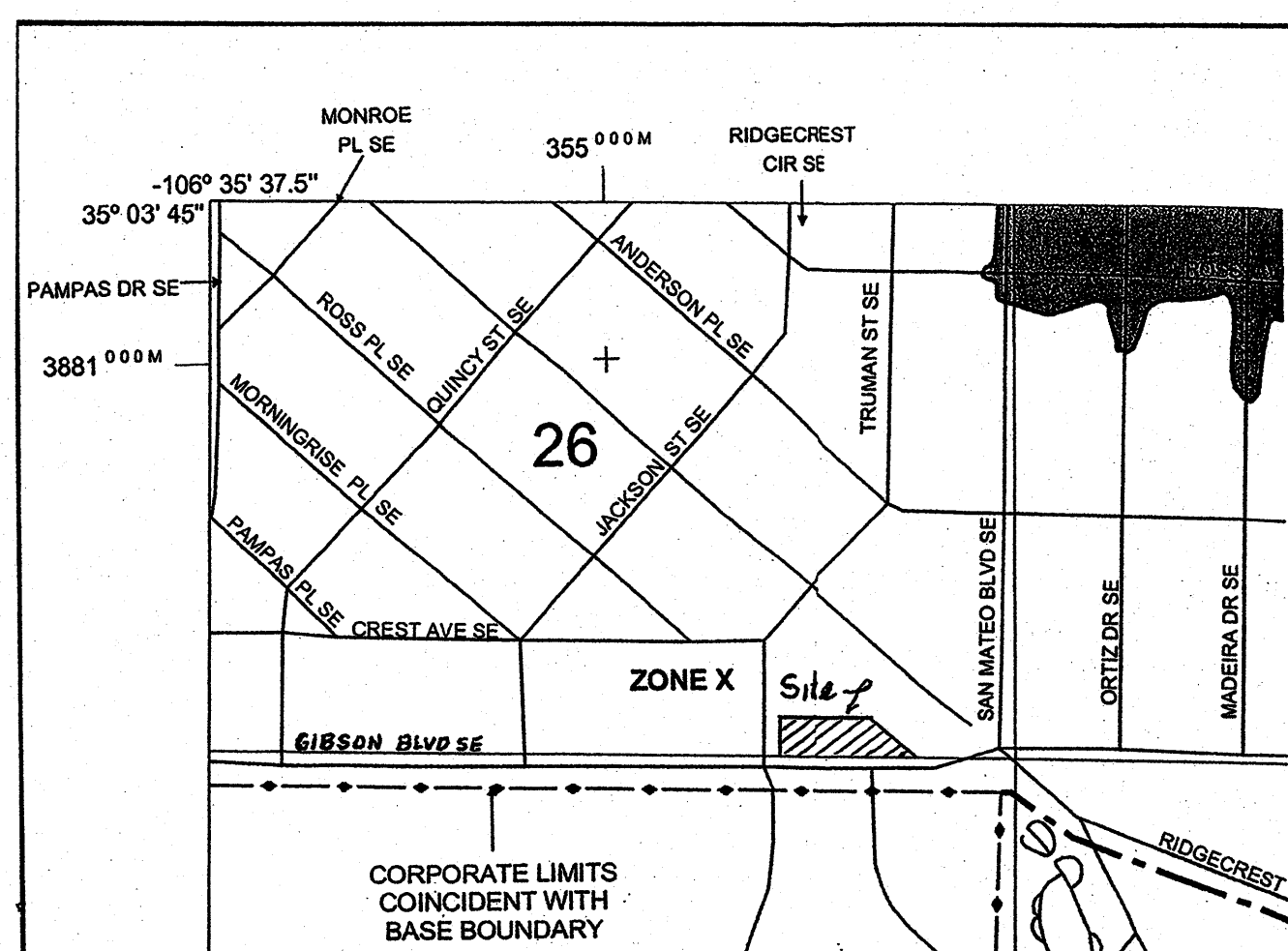
COMMUNITY	NUMBER	PANEL	SUFFIX
ALBUQUERQUE, CITY OF	350002	0362	E
BERNALILLO COUNTY	350001	0362	E

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.

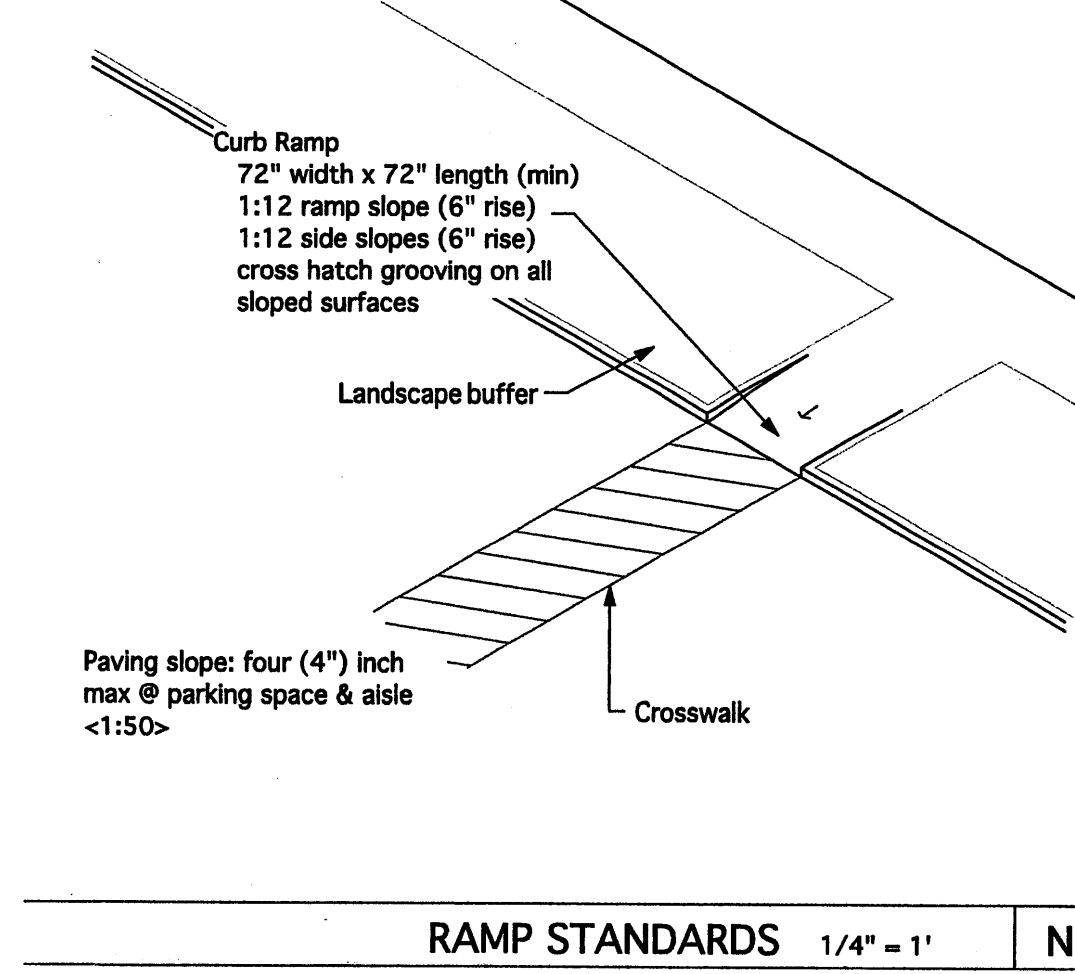
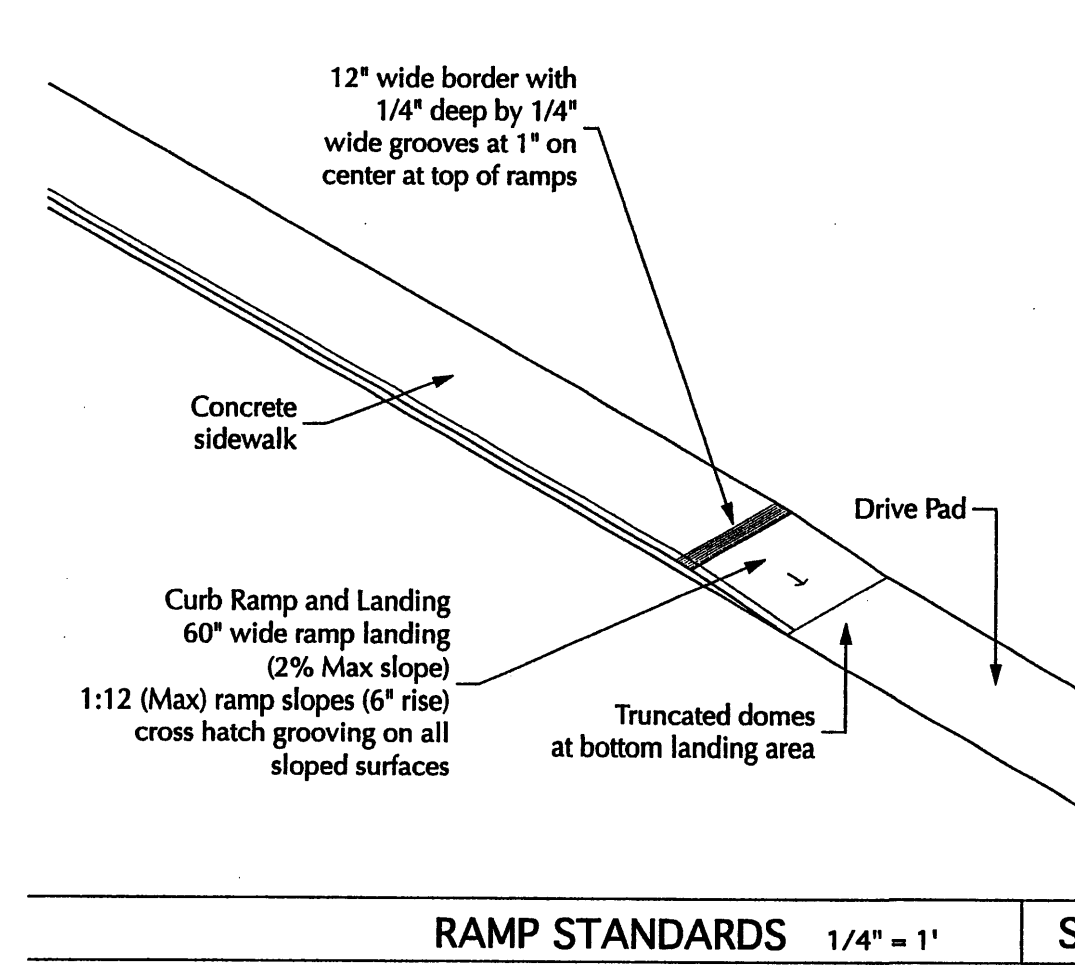
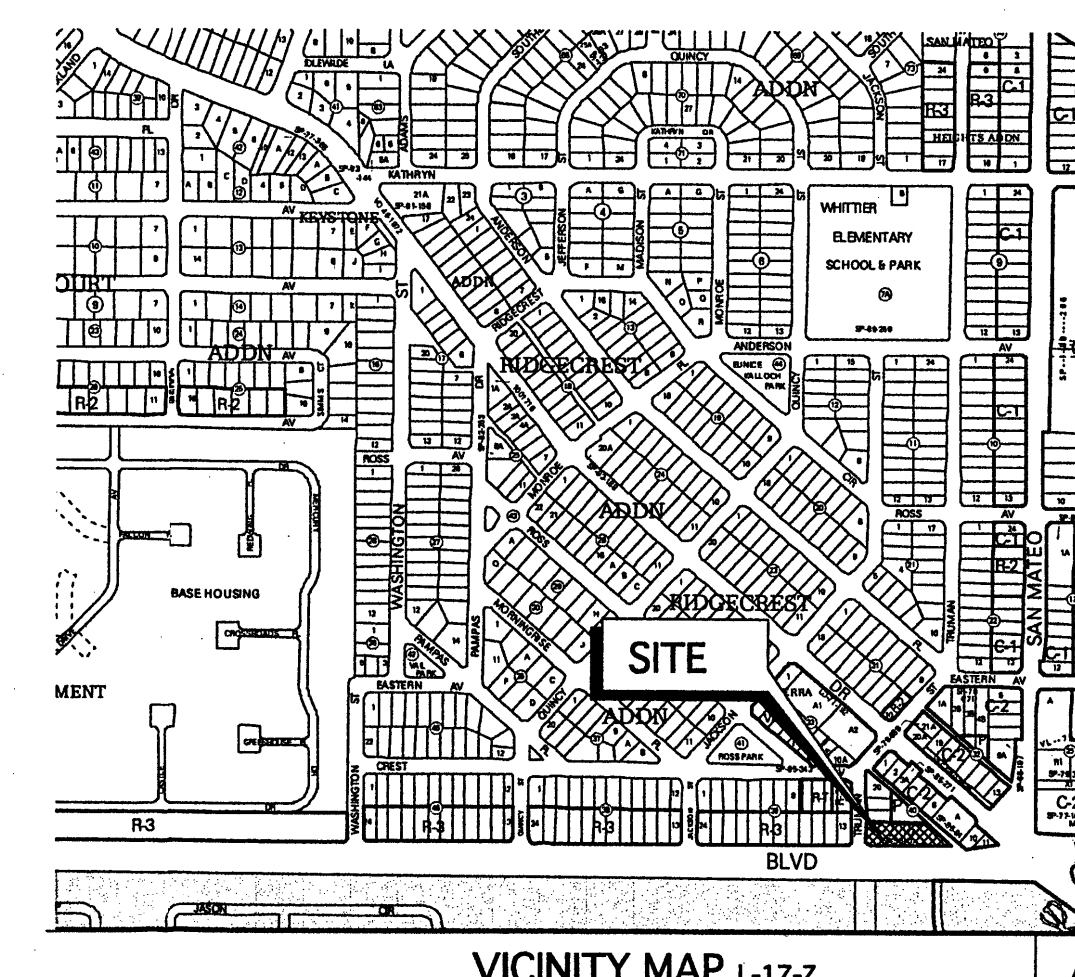
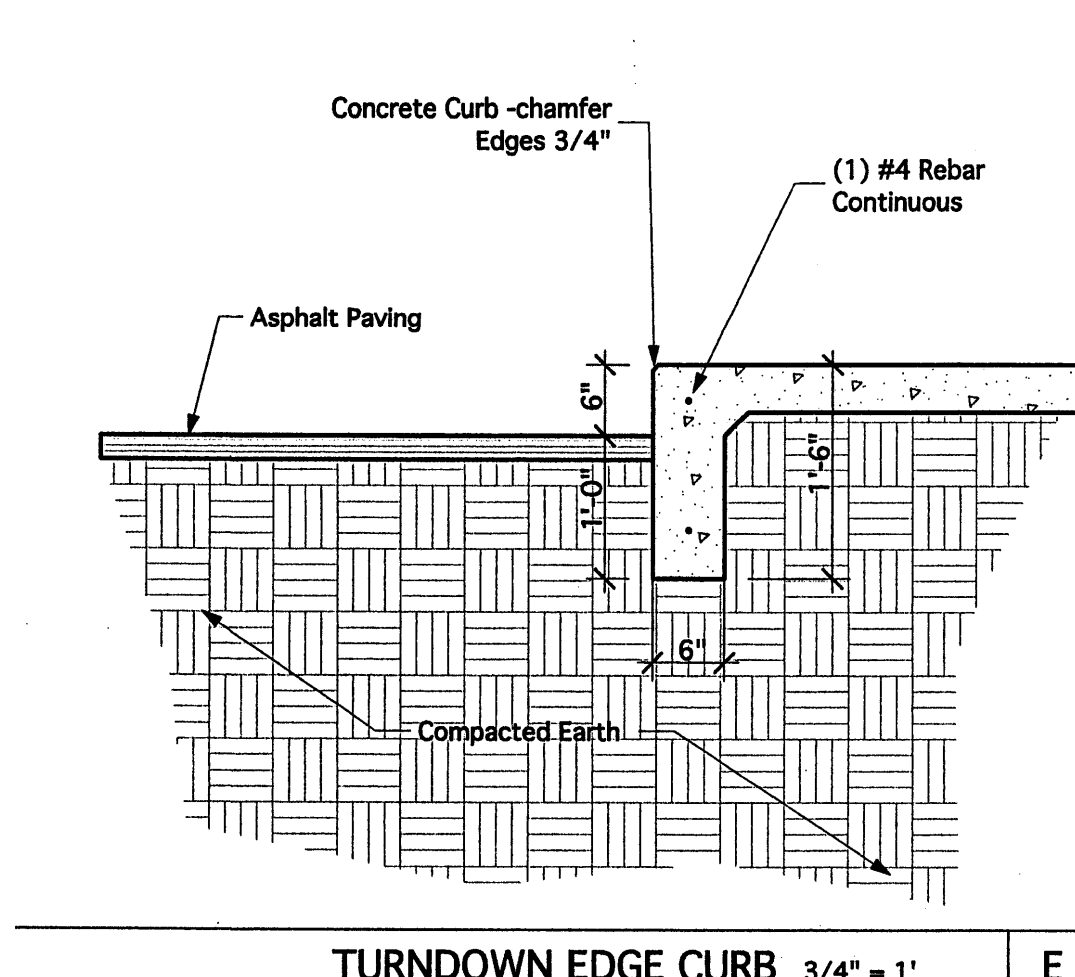
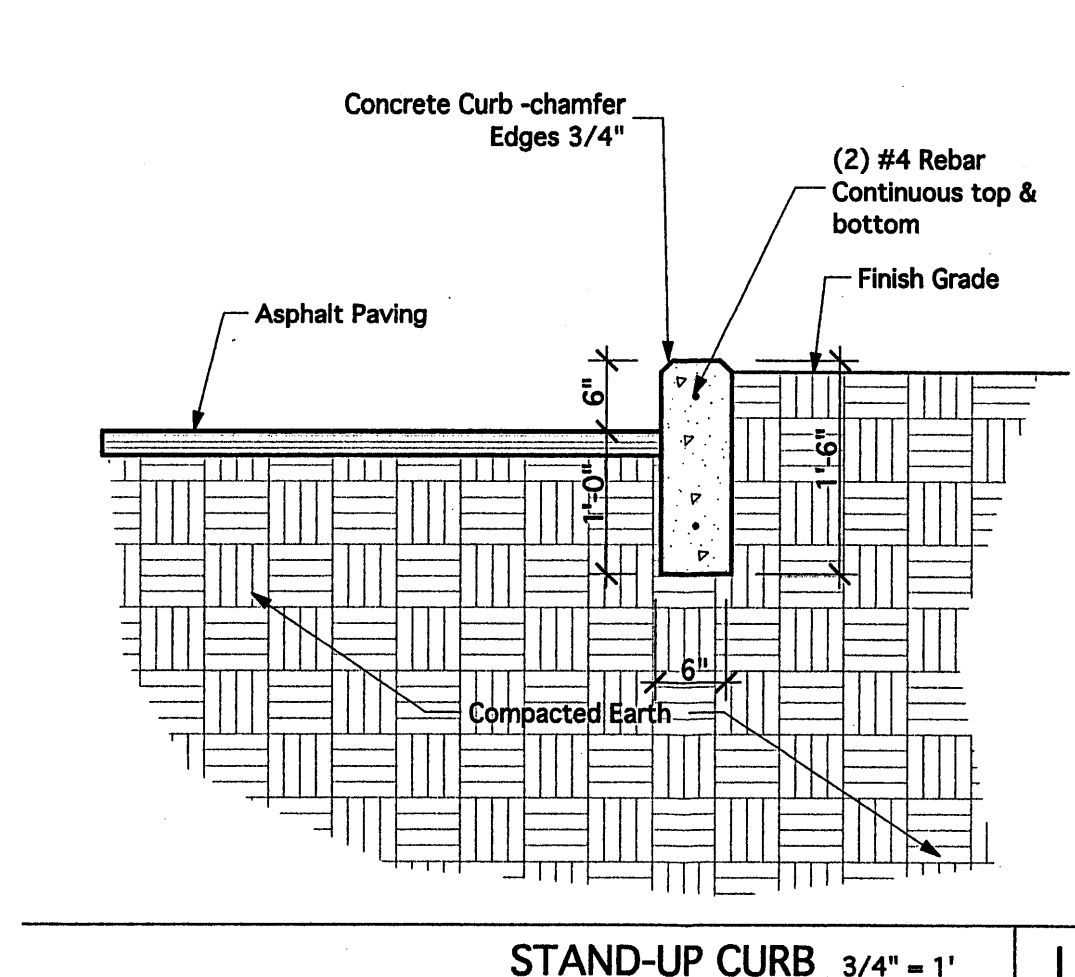
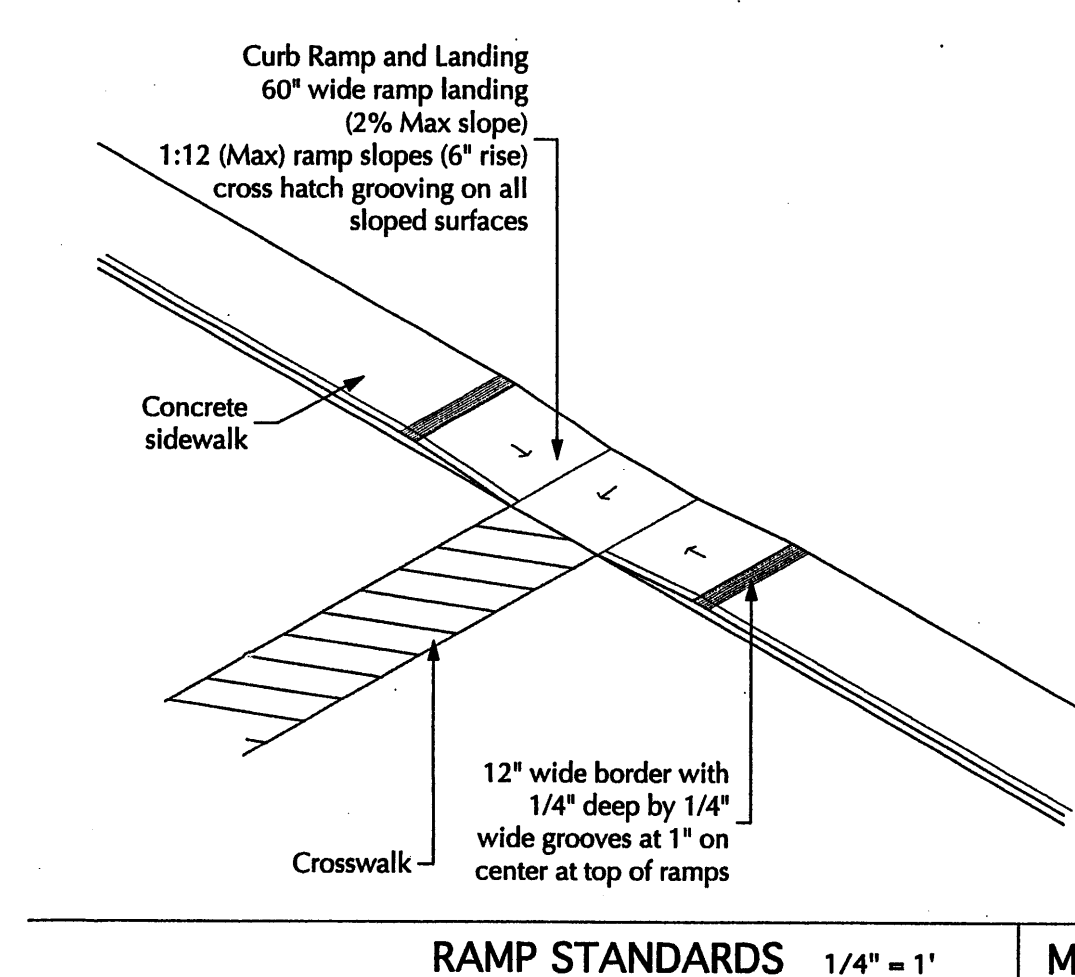
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MAP REVISED
NOVEMBER 19, 2003

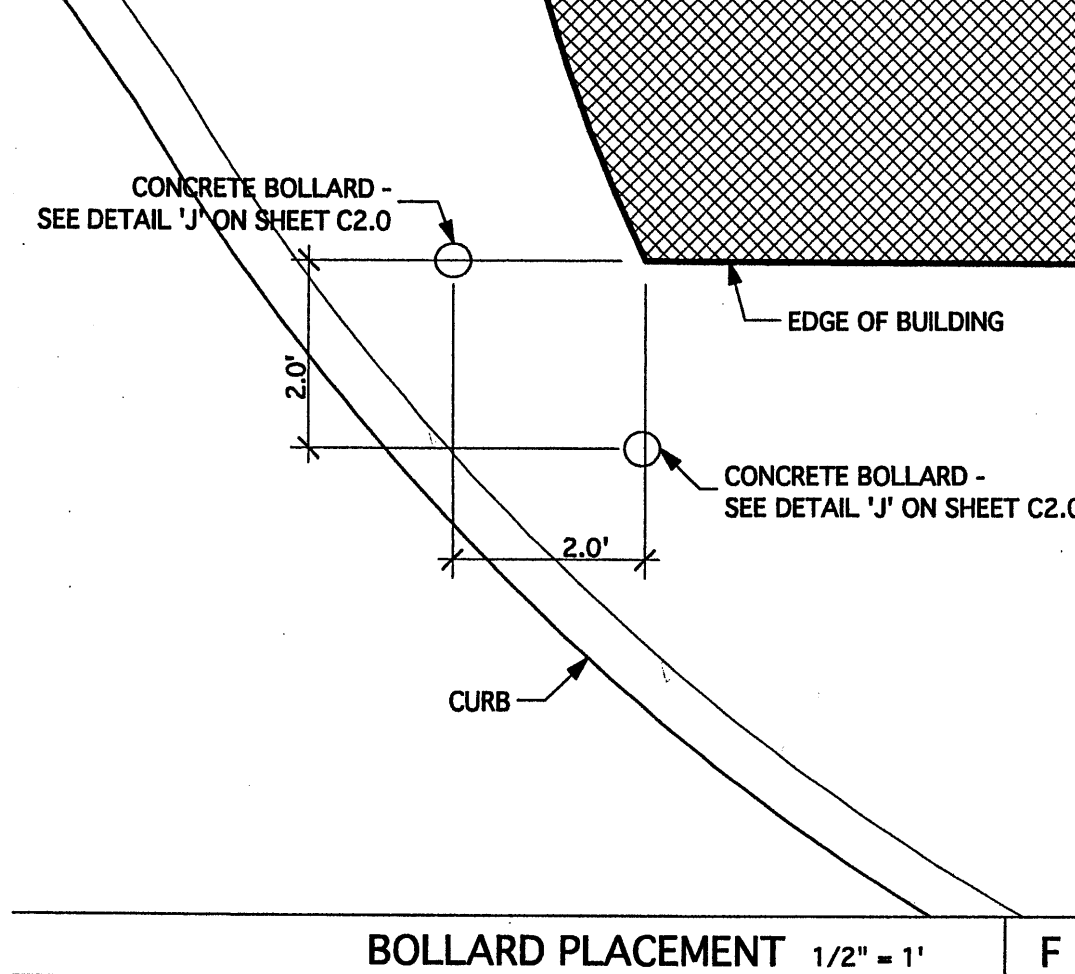
Federal Emergency Management Agency



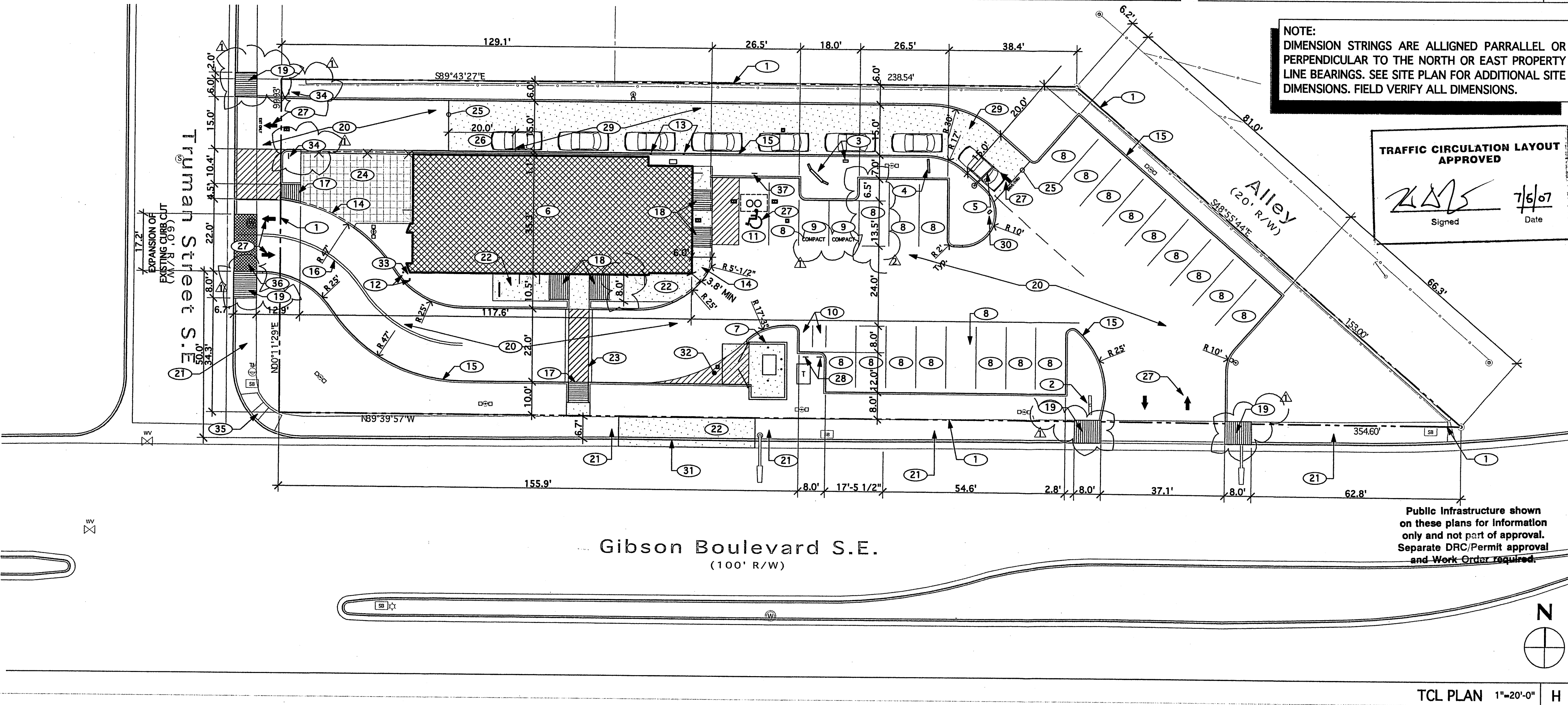
- TWO WAY CLEANOUT TO GRADE W/ FLUSH MOUNTED TRAFFIC RATED CAP - ONE WAY CLEANOUT TO GRADE W/ FLUSH MOUNTED TRAFFIC RATED CAP - GREASE INTERCEPTOR BELOW GRADE W/ FLUSH MOUNTED TRAFFIC RATED COVER - EXISTING STREET LIGHT FIXTURE - PARKING LOT LIGHT FIXTURE - EXISTING POLE SIGN - TRANSFORMER - VEHICLE CLEARANCE BAR - DRIVE THROUGH ORDER BOARD - EXISTING TRAFFIC SIGNAL AND SERVICE BOX - WATER METER WITH TRAFFIC RATED COVER	
SYMBOL LEGEND	R



4901 GIBSON BLVD SE ALBUQUERQUE, NM 87108	
LOT 12, BLOCK 40 RIDGECREST ADDN	
ZONE ATLAS PAGE: L-17-Z	
LAND USE ZONING: C-2	
UPC # 101705647608840405	
PARKING:	
REQUIRED:	15 SPACES
RESTAURANT: (1 SPACE PER 4 SEATS) $62 / 4 = 15$ SPACES	
PROVIDED:	
STANDARD SPACES	21
SMALL CAR SPACES	2
HC SPACE	1
MOTORCYCLE	2
TOTAL	26
BICYCLE PARKING:	
REQUIRED:	1 SPACE PER 20 PARKING SPACES
	$26 \text{ SPACES} / 20 = 1 \text{ SPACE}$
PROVIDED:	2 SPACES (MINIMUM)
LEGAL DESCRIPTION	
J	



TRAFFIC CIRCULATION LAYOUT NOTES The engineer's certification required by the hydrology section needs to include certification that this site was constructed in accordance with the traffic circulation layout (TCL) before the certificate of occupancy is released. "THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN." "THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT ACCEPTED BY TRAFFIC ENGINEER, AFTER APPROVAL FOR BUILDING PERMIT, WILL RESULT IN: (1) UNTIMELY DELAY OF CERTIFICATION FOR FINAL CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES. ALL EXISTING STREET SIDEWALK AND C&G IN DISREPAIR AFFECTING SAFE PEDESTRIAN AND/OR VEHICLE TRAVEL SHALL BE REMOVED AND REPLACED.		
TCL NOTES	B	



- PROPERTY LINE (TYPICAL) - EXISTING POLE SIGN - DRIVE THROUGH MENU SIGN AND ORDER STATION. SEE DETAIL 'L' ON SHEET C2.0 - DRIVE THROUGH PREVIEW MENU SIGN. SEE DETAIL 'K' ON SHEET C2.0 - DRIVE THROUGH CLEARANCE SIGN. SEE DETAIL 'D' SHEET C2.0 - NEW BUILDING LOCATION - DUMPSTER ENCLOSURE. SEE DETAIL 'Q' ON SHEET C2.0 - TYPICAL PARKING SPACE 9'-0" WIDE (8'-6" MINIMUM) X 20' (18' + 2' OVERHANG). - SMALL CAR PARKING SPACE 9'-0" WIDE (8'-6" MINIMUM) X 15'-0" (13'-6" + 1'-6" OVERHANG) (PAINT "COMPACT" ON PAVEMENT). - MOTORCYCLE PARKING SPACE 4'-0" WIDE X 8'-0" - HANDICAP VAN SPACE 9'-0" WIDE (8'-6" MINIMUM) X 20'-0" (18' + 2' OVERHANG) WITH 8' WIDE ACCESS AISLE. - PIPE BOLLARD, SEE DETAIL 'J' ON SHEET C2.0 - PIPE BOLLARD IN CURB, SEE DETAIL 'F' ON SHEET C2.0 - TURN DOWN CONCRETE CURB. SEE DETAIL 'E' ON THIS SHEET - CONCRETE CURB. (TYPICAL) SEE DETAIL 'I' ON THIS SHEET - LANE DIVIDER - PAINTED DOUBLE STRIPING, EACH STRIPE 4" WIDE - CURB RAMP 1:12 SLOPE MAX. PROVIDE CONCRETE CURBS @ EACH SIDE. SEE DETAIL 'N' ON THIS SHEET (SIMILAR) FOR ADA COMPLIANCE - CURB RAMP 1:12 SLOPE MAX. PROVIDE CONCRETE CURBS @ EACH SIDE. SEE DETAIL 'M' ON THIS SHEET (SIMILAR) FOR ADA COMPLIANCE - CURB RAMP 1:12 SLOPE MAX. PROVIDE CONCRETE CURBS @ EACH SIDE. SEE DETAIL 'S' ON THIS SHEET (SIMILAR) FOR ADA COMPLIANCE - NEW ASPHALT PAVING, SEE SOILS REPORT - EXISTING CONCRETE SIDEWALK, CONTRACTOR SHALL REPAIR ANY DAMAGED SECTIONS AND CONSTRUCT PER CITY STANDARD DETAIL 2430 - NEW 4" THICK CONCRETE SIDEWALK, SEE SITE PLAN FOR DIMENSIONS - NEW 6" WIDE PAINTED CROSSWALK WITH A 12" PAINTED STRIPE ON BOTH SIDES 4" THICK COLORED AND SCORED CONCRETE PATIO WITH A 42" HIGH WROUGHT IRON FENCE ALONG DRIVE THRU LANE - INTERSECTION OF CONCRETE AND ASPHALT PAVEMENT - CONCRETE PAVING SHALL EXTEND 20'-0" FROM THE CENTER OF THE DRIVE-THRU WINDOW - PAVEMENT MARKING. SEE DETAIL 'R' ON SHEET C1.1 (TYPICAL) - MOTORCYCLE PARKING SIGN 4" THICK CONCRETE PAVING - DIRECTIONAL SIGN, SEE DETAIL 'H' ON SHEET C2.0 - NEW CURB AND GUTTER, CONSTRUCT PER CITY OF ALBUQUERQUE DRAWING 2415 - PAINTED STRIPING - SEE DETAIL 'F' ON THIS SHEET FOR BOLLARD PLACEMENT "DO NOT ENTER" RECTANGULAR POLE SIGN FACING TRUMAN STREET - EXISTING CURB RAMP, INSTALL TRUNCATED DOMES - DRIVE PAD EXTENSION, SEE DETAIL 'J' ON SHEET C1.1 AND KEYED NOTES 10 AND 11 ON SHEET C1.0 - HANDICAPPED SIGN. SEE DETAIL 'O' ON SHEET C2.0	KEY NOTES D
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STATE OF NEW MEXICO
James C. Lewis
REGISTERED PROFESSIONAL ENGINEER
No. 101705647608840405
6/25/07

James C. Lewis Architect
General Design, Inc.
1620 Central Avenue SE
Albuquerque, NM 87106
(505) 247-1529 • gdl@mac.com

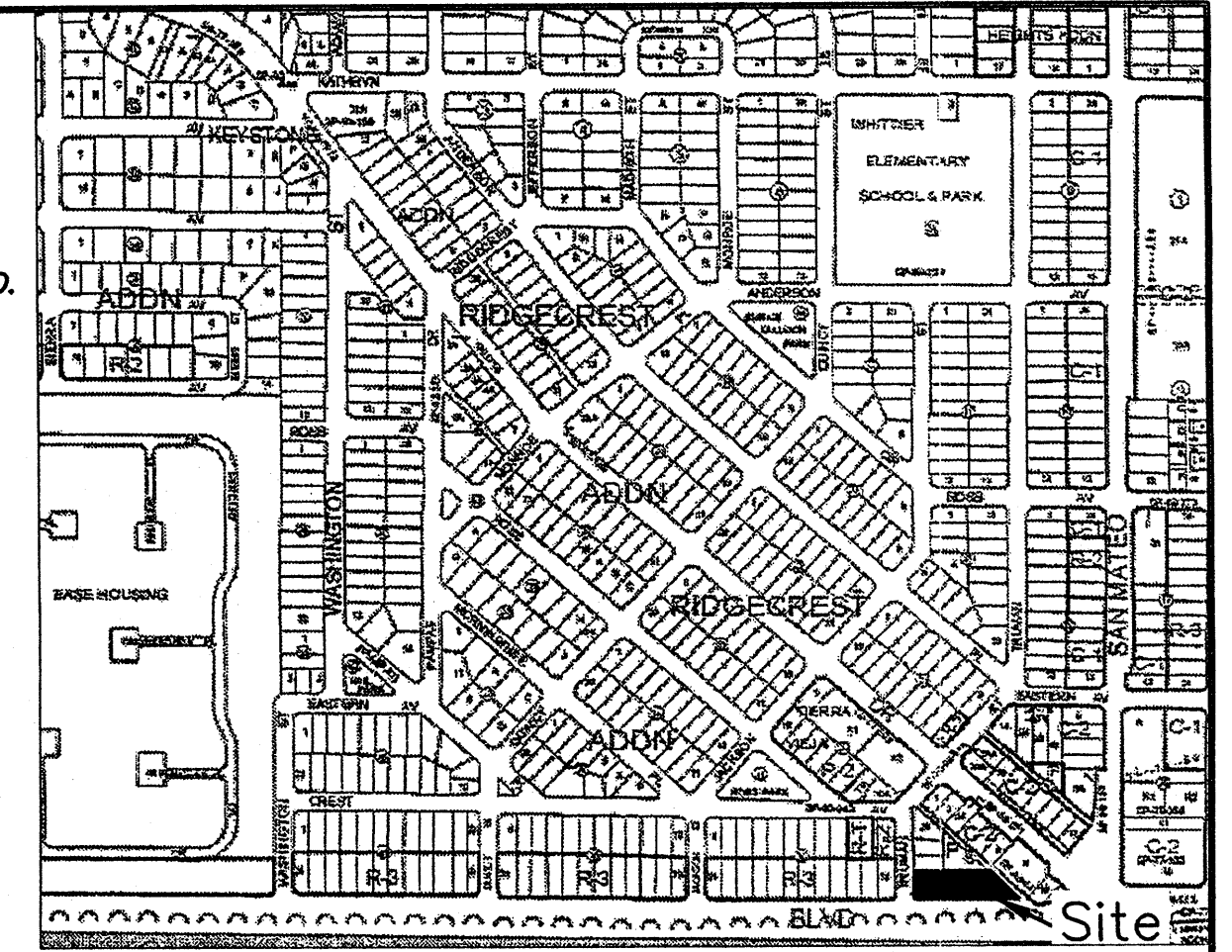
Architecture & Planning

Architects Job No. 0627
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CONTRACT DATE: XX/XX/XX BUILDING TYPE: KT-y07 PLAN VERSION: 2007 SITE NUMBER: XXXXX STORE NUMBER: XXXXX KFC / TB 4901 Gibson Blvd SE Albuquerque, NM 87108 TACO BELL KT-y07 TCL PLAN C1.3 PLOT DATE: 42.07	
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NOTES

- 1 WATER METER REPLACE BOX WITH TRAFFIC RATED.
- 2 RELOCATE EXISTING LIGHTING FIXTURE.
- 3 LANDSCAPE IRRIGATION VALVE BOX TO BE RELOCATED.
- 4 NEW DRIVE PAD 52' WIDE.
- 5 EXISTING PROPERTY LINE GRADES TO REMAIN.
- 6 PRIVATE DRIVE PAD 37' WIDE PER COA STD DRWG. 2425



BENCHMARK ZONE MAP: X-XX-Z

Benchmark

ACS MONUMENT "4-M18" HAVING AN ELEVATION OF 5325.083, AND AN ACS MONUMENT "24-L17" HAVING AN ELEVATION OF 5323.007.

Legal

LOTS NUMBERED TWELVE-A (12-A), BLOCK 40 OF RIDGECREST ADDITION AS THE SAME IS SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 5, 1988, IN BOOK C28, PAGE 104.

LEGEND

- EXISTING CURB & GUTTER
- BLOCK WALL
- EXISTING CHAINLINK FENCE
- EXISTING CONTOUR
- POWER POLE
- OVERHEAD UTILITY
- LIGHT POLE
- FIRE HYDRANT
- GAS VALVE
- WATER VALVE
- WATER METER
- UTILITY PEDESTAL
- EXISTING SPOTS
- EXISTING BUILDING
- PROPERTY LINE
- PROPOSED BUILDINGS
- PROPOSED SPOT ELEVATION
- PROPOSED FLOW DIRECTION
- NEW CURB & GUTTER
- DRIVEWAY CENTER STRIPING
- NEW COA STANDARD CURB & GUTTER PER STD DWG #2415A
- NEW WATER BREAK
- UNI-DIRECTIONAL WHEEL CHAIR RAMP
- BASIN
- BASIN DRAINAGE BOUNDARY

I. PROJECT DESCRIPTION

The project consists of raising and existing Taco Bell building and replace with a new KFC building on the same pad elevation. The site consists of approximately 1/4 acre. The legal description being Lot 12-A, Block 40, Ridgcrest addition is located at the northeast corner of the intersection of Gibson Boulevard and Truman Street, SE. The property on the north side of this subject property is partially developed and there is an existing alleyway adjacent to the east property line. The new development will remain pretty much the same as exists today with exception of an increase in landscape area and some reduction in paved area.

II. DRAINAGE DESIGN CRITERIA AND PREVIOUS REPORTS

The design criteria used in this report was in accordance with the Hydrology Section, 22.2 of the City of Albuquerque's Development Process Manual, Volume 2, Design Criteria, as updated through September 1999. The 100-year 6-hour storm event was analyzed to determine site runoff using P (1 hr) = 2.01", P (6 hr) = 2.35". The site consists of two basins. Basin 1 drains to Truman Street and Basin 2 to Gibson Boulevard. The soil treatment values used for determination of the developed condition runoff were as follows: Basin 1, Treatment D=90, Treatment C=0 and Treatment B=10 and Basin 2, Treatment D=80, Treatment C=0 and Treatment B=20 as determined using Table A-4, LAND TREATMENTS, in the DPM.

III. EXISTING DRAINAGE CONDITIONS

Under existing drainage conditions the lots drain in a similar pattern with a portion of the runoff discharging to Truman Street and the remainder to Gibson Boulevard. There is no offsite drainage to either of these areas due to the existing improved streets adjacent to each of these basins as well as the fact that this property is higher than the property to the north and the alley to the east. Therefore, there will not be any offsite flows to have to accommodate with the development of this lot. From AHYMO the existing developed flow rate is 3.33 cfs.

IV. DEVELOPED DRAINAGE CONDITIONS

The total developed conditions flow from this site, assuming the fully developed conditions utilizing AHYMO, is approximately 0.47 cfs from Basin 1 to Truman Street and 2.72 cfs from Basin 2 into Gibson Boulevard for a total of 3.19 cfs which is slightly less than existing condition flows. The flow from these lots will discharge directly into Truman Street to the west and Gibson Boulevard to the south.

V. CONCLUSIONS

The proposed drainage scheme for the new building and paved area can be readily accommodated through the implementation of this plan and will actually be decreased slightly with the increase in the landscaped area.

PANEL 0362E

FIRM

FLOOD INSURANCE RATE MAP

BERNALILLO COUNTY, NEW MEXICO AND INCORPORATED AREAS

PANEL 362 OF 825

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

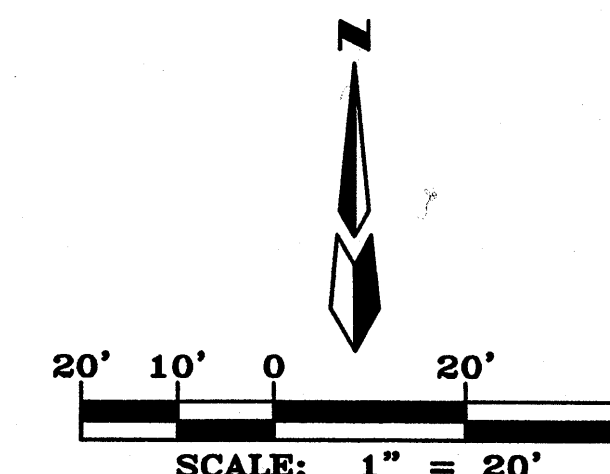
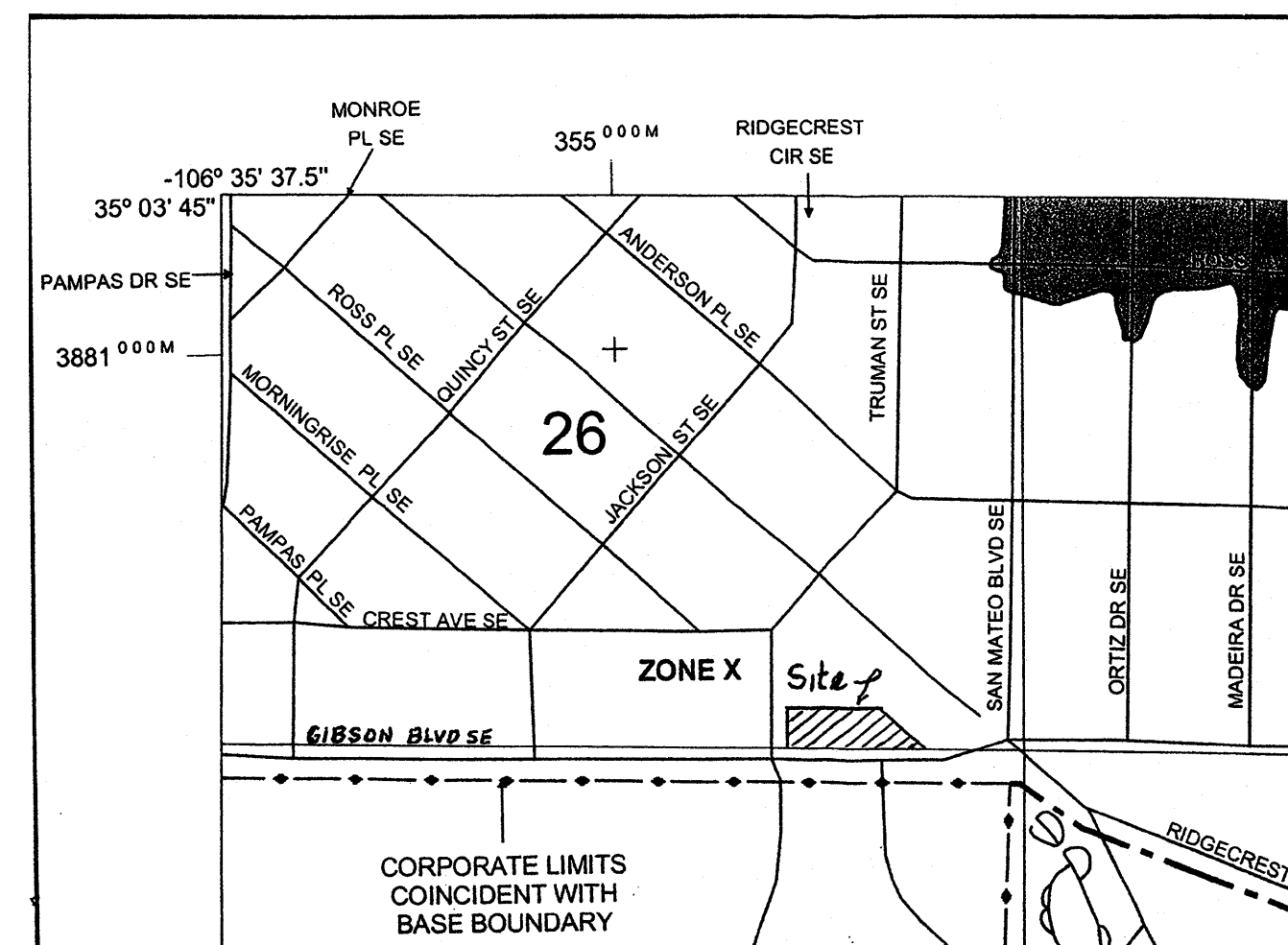
COMMUNITY	NUMBER	PANEL	SUFFIX
ALBUQUERQUE, CITY OF	350002	0362	E
BERNALILLO COUNTY	350001	0362	E

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.

MAP NUMBER
35001C0362E

MAP REVISED
NOVEMBER 19, 2003

Federal Emergency Management Agency



F:\A06\JOBS\A0601 KFC GIBSON\A0601GD.DWG\05-30-07\CAR SP5

KFC GIBSON

GRADING & DRAINAGE PLAN

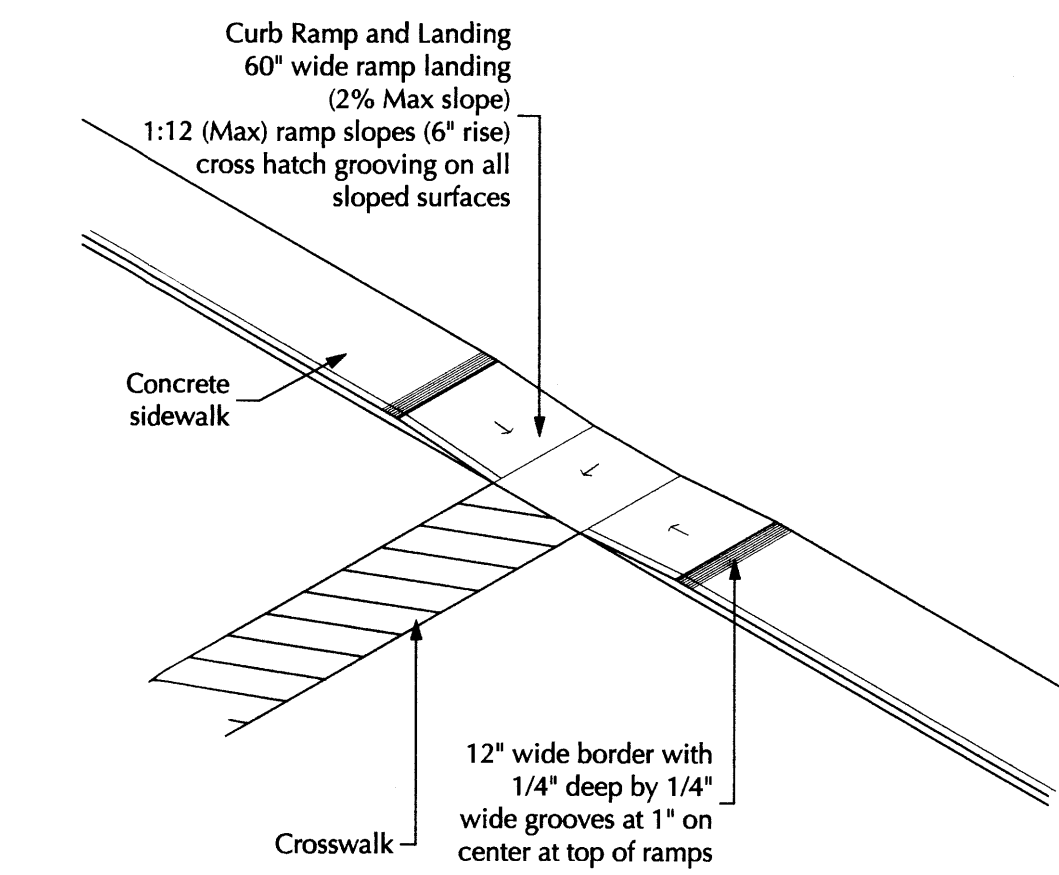
dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: BJG Drawn: CAR Checked: JMM Sheet 1 of 1
Scale: 1"=20' Date: 5/30/07 Job: A06081

- TWO WAY CLEANOUT TO GRADE W/ FLUSH MOUNTED TRAFFIC RATED CAP
- ONE WAY CLEANOUT TO GRADE W/ FLUSH MOUNTED TRAFFIC RATED CAP
- GREASE INTERCEPTOR BELOW GRADE W/ FLUSH MOUNTED TRAFFIC RATED COVER
- EXISTING STREET LIGHT FIXTURE
- PARKING LOT LIGHT FIXTURE
- EXISTING POLE SIGN
- TRANSFORMER
- VEHICLE CLEARANCE BAR
- DRIVE THROUGH ORDER BOARD
- EXISTING TRAFFIC SIGNAL AND SERVICE BOX
- WATER METER WITH TRAFFIC RATED COVER

SYMBOL LEGEND

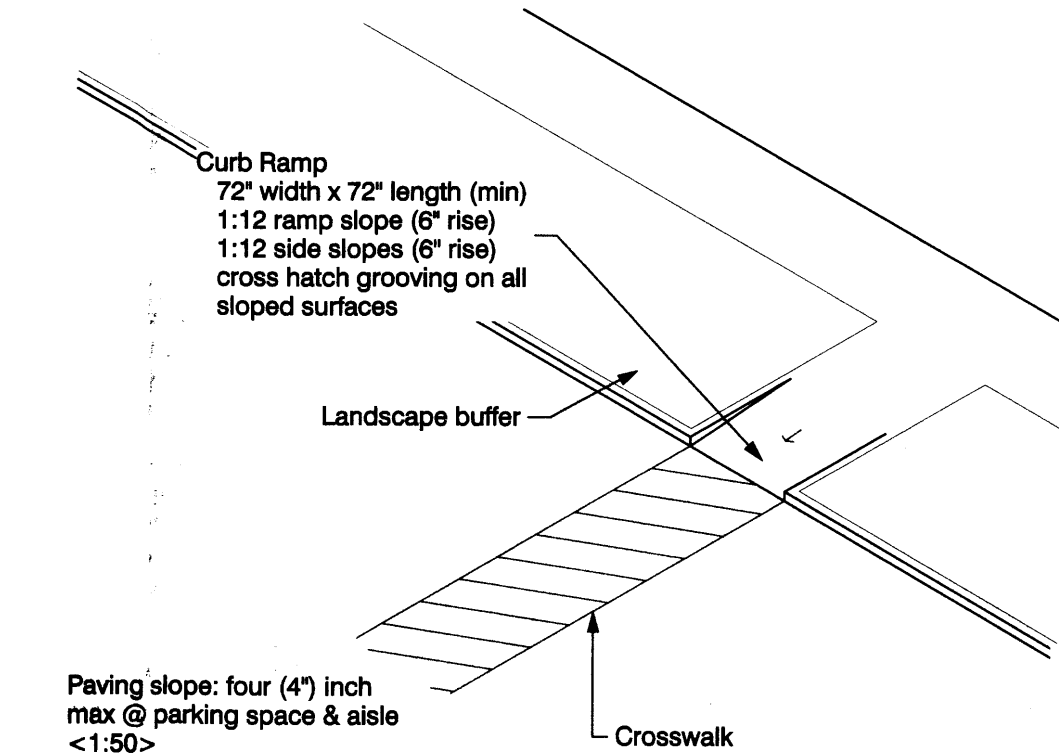
R



RAMP STANDARDS

1/4" = 1'

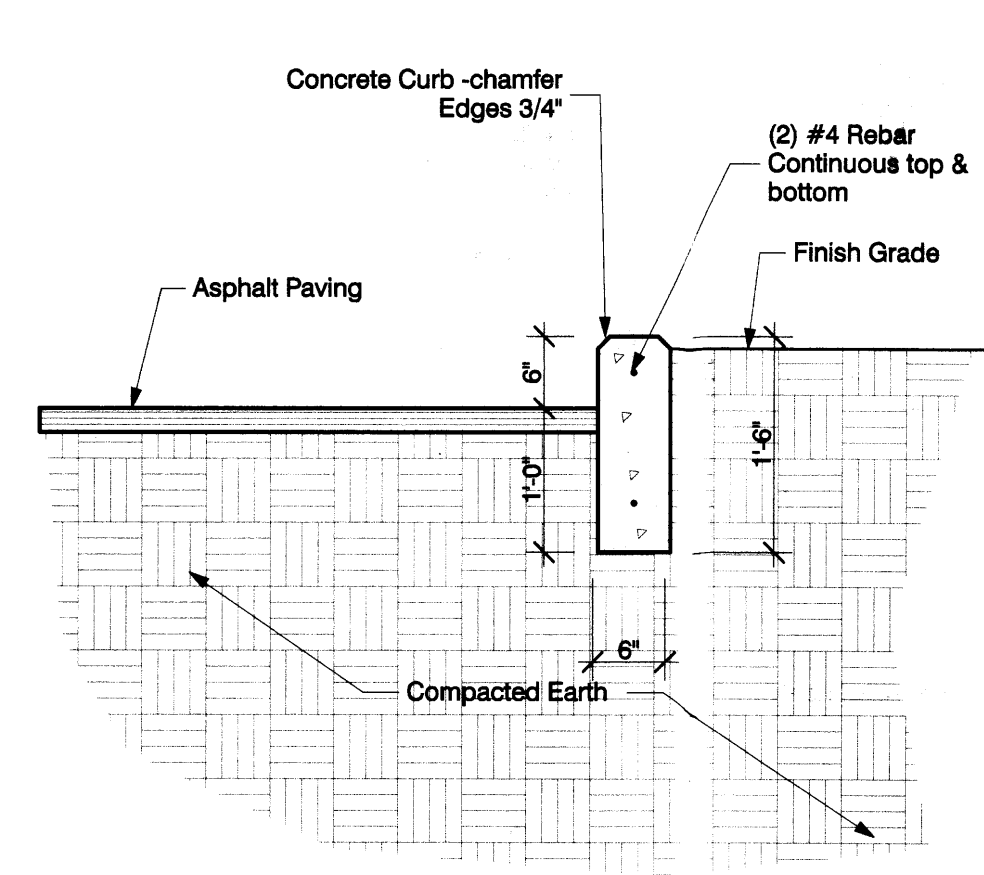
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RAMP STANDARDS

1/4" = 1'

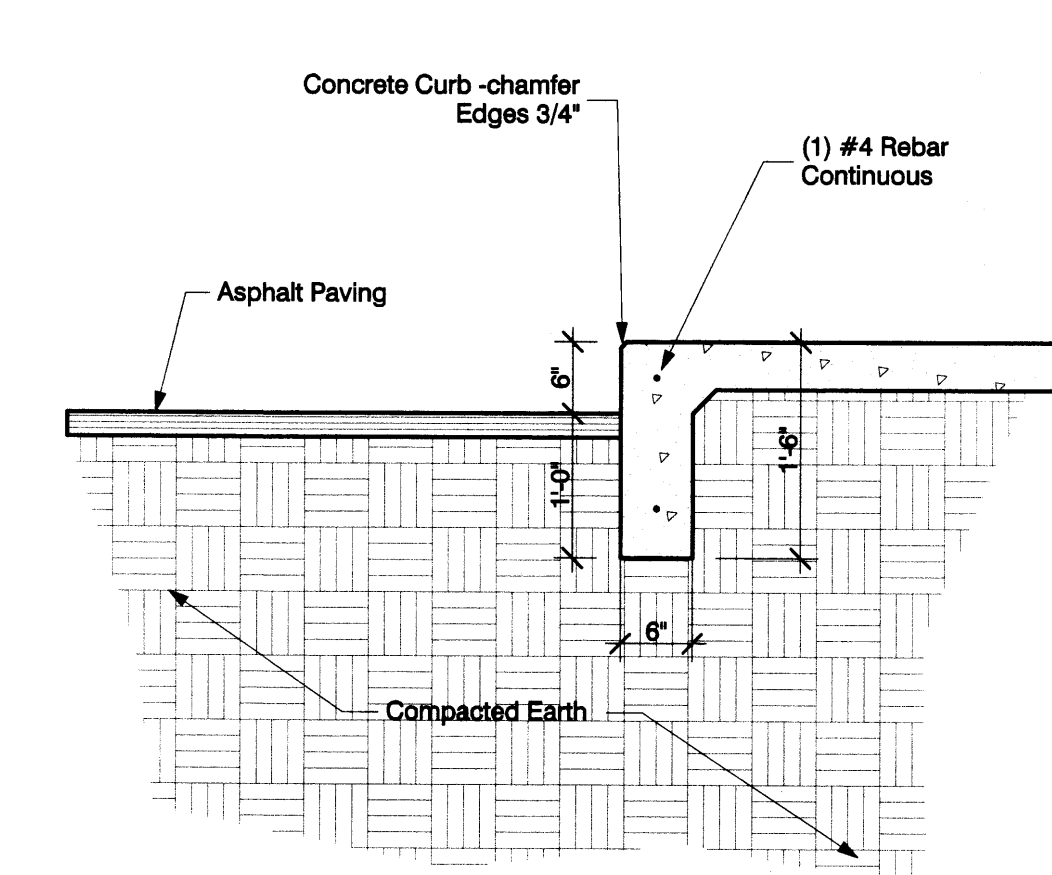
N



STAND-UP CURB

3/4" = 1'

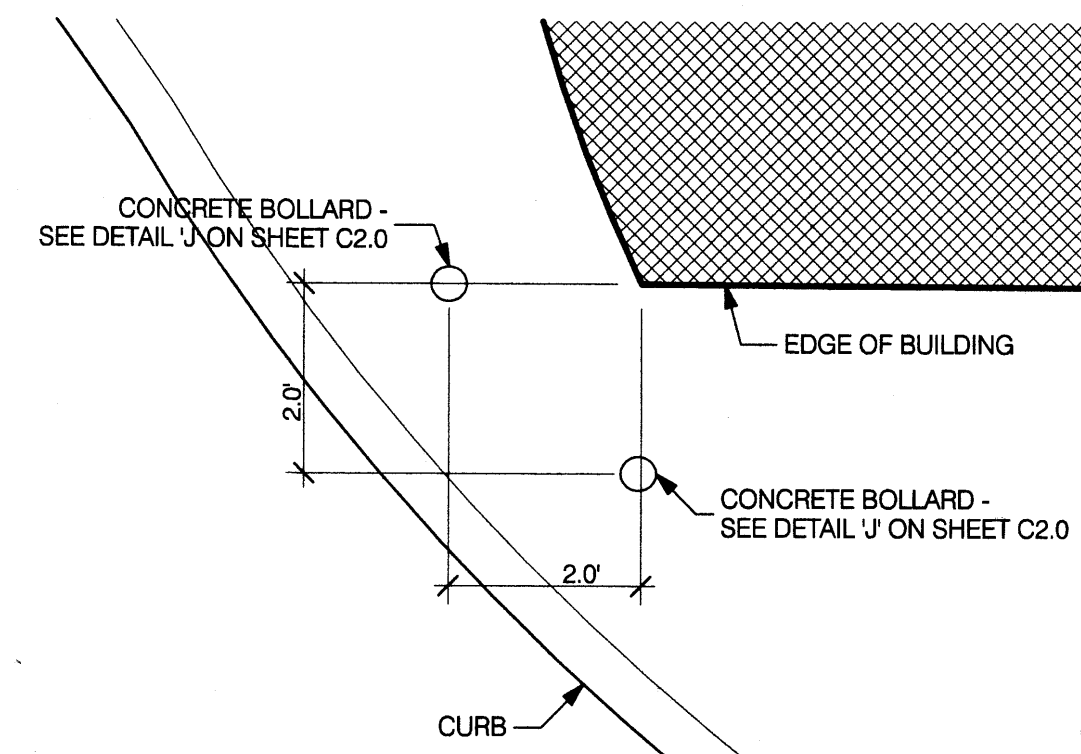
I



TURNDOWN EDGE CURB

3/4" = 1'

E



BOLLARD PLACEMENT

1/2" = 1'

F

ADDRESS:
4901 GIBSON BLVD SE
ALBUQUERQUE, NM 87108

LOT 12, BLOCK 40
RIDGECREST ADDN

ZONE ATLAS PAGE: L-17-Z

LAND USE ZONING: C-2

UPC # 101705647608840405

PARKING:

REQUIRED: 15 SPACES
RESTAURANT: (1 SPACE PER 4 SEATS) 62 / 4 = 15 SPACES
PROVIDED: 21
STANDARD SPACES 2
SMALL CAR SPACES 1
HC SPACE 2
MOTORCYCLE 2
TOTAL 26

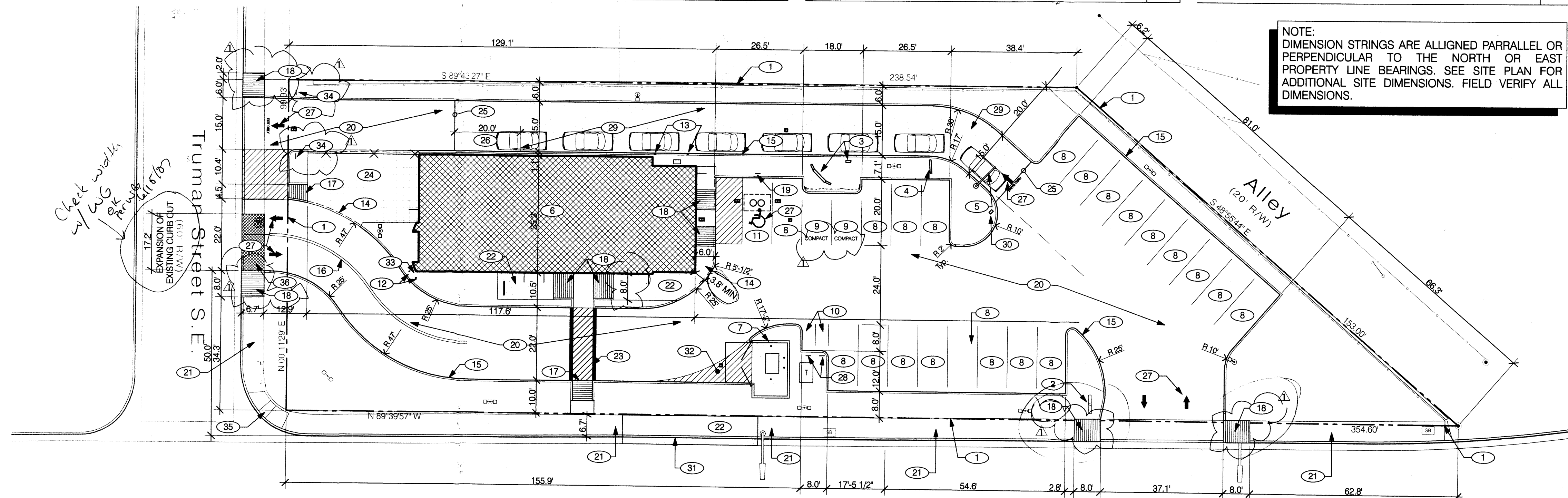
BICYCLE PARKING:

REQUIRED: 1 SPACE PER 20 PARKING SPACES
26 SPACES / 20 = 1 SPACE
PROVIDED: 2 SPACES (MINIMUM)

LEGAL DESCRIPTION

J

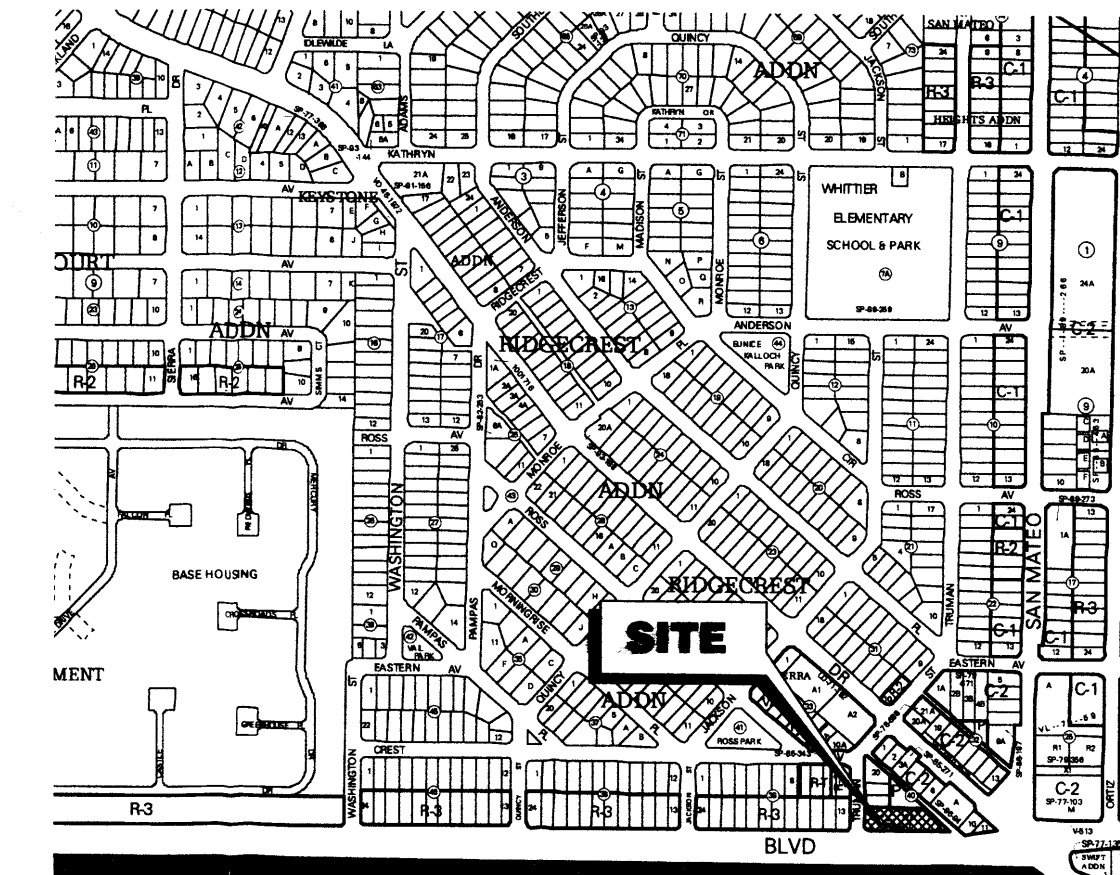
NOTE:
DIMENSION STRINGS ARE ALLIGNED PARRALLEL OR PERPENDICULAR TO THE NORTH OR EAST PROPERTY LINE BEARINGS. SEE SITE PLAN FOR ADDITIONAL SITE DIMENSIONS. FIELD VERIFY ALL DIMENSIONS.



TCL PLAN

1"=20'-0"

H



VICINITY MAP

L-17-Z

A

TRAFFIC CIRCULATION LAYOUT NOTES

The engineer's certification required by the hydrology section needs to include certification that this site was constructed in accordance with the traffic circulation layout (TCL) before the certificate of occupancy is released.

THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN. THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT ACCEPTED BY TRAFFIC ENGINEER, AFTER APPROVAL FOR BUILDING PERMIT, WILL RESULT IN:

- UNTIMELY DELAY OF CERTIFICATION FOR FINAL CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND
- INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.

ALL EXISTING STREET SIDEWALK AND C&G IN DISREPAIR AFFECTING SAFE PEDESTRIAN AND/OR VEHICLE TRAVEL SHALL BE REMOVED AND REPLACED.

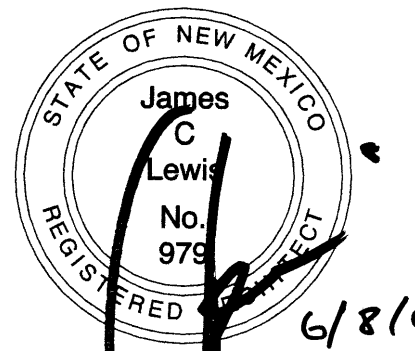
TCL NOTES

B

- PROPERTY LINE (TYPICAL)
- EXISTING POLE SIGN
- DRIVE THROUGH MENU SIGN AND ORDER STATION. SEE DETAIL 'L' ON SHEET C2.0
- DRIVE THROUGH PREVIEW MENU SIGN. SEE DETAIL 'K' ON SHEET C2.0
- DRIVE THROUGH CLEARANCE SIGN. SEE DETAIL 'D' ON SHEET C2.0
- NEW BUILDING LOCATION
- DUMPSTER ENCLOSURE. SEE DETAIL 'Q' ON SHEET C2.0
- TYPICAL PARKING SPACE 9'-0" WIDE (8'-6" MINIMUM) X 20' (18' + 2' OVERHANG).
- SMALL CAR PARKING SPACE 9'-0" WIDE (8'-6" MINIMUM) X 15'-6" (13'-6" + 2' OVERHANG) (PAINT 'COMPACT' ON PAVEMENT). - 1/2' overhang max
- MOTORCYCLE PARKING SPACE 4'-0" WIDE X 8'-0"
- HANDICAP VAN SPACE 9'-0" WIDE (8'-6" MINIMUM) X 20'-0" (18' + 2' OVERHANG) WITH 8' WIDE ACCESS AISLE
- PIPE BOLLARD, SEE DETAIL 'J' ON SHEET C2.0
- PIPE BOLLARD IN CURB, SEE DETAIL 'P' ON SHEET C2.0
- TURN DOWN CONCRETE CURB. SEE DETAIL 'E' ON THIS SHEET
- CONCRETE CURB. (TYPICAL) SEE DETAIL 'I' ON THIS SHEET
- LANE DIVIDER - PAINTED DOUBLE STRIPING, EACH STRIPE 4" WIDE
- CURB RAMP 1:12 SLOPE MAX. PROVIDE CONCRETE CURBS @ EACH SIDE. SEE DETAIL 'N' ON THIS SHEET (SIMILAR) FOR ADA COMPLIANCE
- CURB RAMP 1:12 SLOPE MAX. PROVIDE CONCRETE CURBS @ EACH SIDE. SEE DETAIL 'M' ON THIS SHEET (SIMILAR) FOR ADA COMPLIANCE
- HANDICAPPED SIGN. SEE DETAIL 'O' ON SHEET C2.0
- NEW ASPHALT PAVING, SEE SOILS REPORT
- EXISTING CONCRETE SIDEWALK, REPAIR DAMAGED
- NEW 4" THICK CONCRETE SIDEWALK, SEE SITE PLAN FOR DIMENSIONS
- NEW 6" WIDE PAINTED CROSSWALK WITH A 12" PAINTED STRIPE ON BOTH SIDES
- 4" THICK COLORED AND SCORED CONCRETE PATIO WITH A 4" HIGH WROUGHT IRON FENCE ALONG DRIVE THRU LANE
- INTERSECTION OF CONCRETE AND ASPHALT PAVEMENT
- CONCRETE PAVING SHALL EXTEND 20'-0" FROM THE CENTER OF THE DRIVE-THRU WINDOW
- PAVEMENT MARKING. SEE DETAIL 'R' ON SHEET C1.1 (TYPICAL)
- MOTORCYCLE PARKING SIGN
- 4" THICK CONCRETE PAVING
- DIRECTIONAL SIGN, SEE DETAIL 'H' ON SHEET C2.0
- NEW CURB AND GUTTER, CONSTRUCT PER CITY OF ALBUQUERQUE DRAWING 2415
- PAINTED STRIPING
- SEE DETAIL 'F' ON THIS SHEET FOR BOLLARD PLACEMENT
- 'DO NOT ENTER' RECTANGULAR POLE SIGN FACING TRUMAN STREET
- EXISTING CURB RAMP, INSTALL TRUNCATED DOMES
- DRIVE PAD EXTENSION, SEE DETAIL 'J' ON SHEET C1.1 AND KEYED NOTES 10 AND 11 ON SHEET C1.0

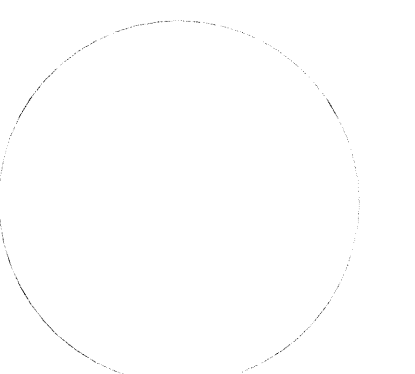
KEY NOTES

D



James C Lewis Architect
General Design, Inc.
1620 Central Avenue SE
Albuquerque, NM 87106
(505) 247-1539 • gdl@mac.com

Architects Job No. 0627
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CONTRACT DATE: XX.XX.XX
BUILDING TYPE: KT-y07
PLAN VERSION: 2007
SITE NUMBER: XXXXX
STORE NUMBER: XXXXX

KFC / TB

4901 Gibson Blvd SE
Albuquerque, NM 87108

KT-y07

TCL PLAN

C1.3

PLOT DATE: 4.2.07

REGISTERED JUN 11 2007 HYDROLOGY SECTION