



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Ken Schultz
Mayor

UTILITY DEVELOPMENT DIVISION
HYDROLOGY SECTION
(505) 768-2650

December 8, 1987

Ken Hovey
Ken Hovey Design Group
335 Jefferson Street, SE Suite B
Albuquerque, New Mexico 87108

RE: REMODEL/ADDITION TO KIRTLAND PHILLIPS 66
(L-17/D14) PLAN DATED DECEMBER 2, 1987

Dear Mr. Hovey:

Based on the information provided on your submittal of December 3, 1987, the above referenced plan is approved for Building Permit. Please be advised that upon Certificate of Occupancy request, all concerns listed on this submittal must be completed.

Please attach a copy of this plan to the construction sets prior to sign-off by Hydrology.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya
Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj

PUBLIC WORKS DEPARTMENT

Walter Nickerson, P.E., City Engineer

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

DRAINAGE INFORMATION SHEET

REMODEL / ADDITION TO

PROJECT TITLE: KIRKLAND PHILLIPS 66 ZONE ATLAS/DRNG. FILE #: L-17/D14
LEGAL DESCRIPTION: TRACT 'B', N.M. SHARR CORP. ADDITION
CITY ADDRESS: 1620 CARLISLE BLVD SE

ENGINEERING FIRM: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

OWNER: RALPH ANDERSON CONTACT: -ADDRESS: 1620 CARLISLE SE PHONE: -ARCHITECT: KEN HOVEY DESIGN GROUP CONTACT: KEN HOVEYADDRESS: 335 JEFFERSON SE SUITE B PHONE: 255-9400

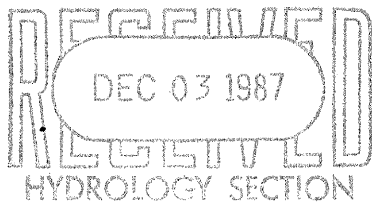
SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☒ YES☐ NO☐ COPY OF CONFERENCE RECAP
SHEET PROVIDED

DRB NO. _____

EPC NO. _____

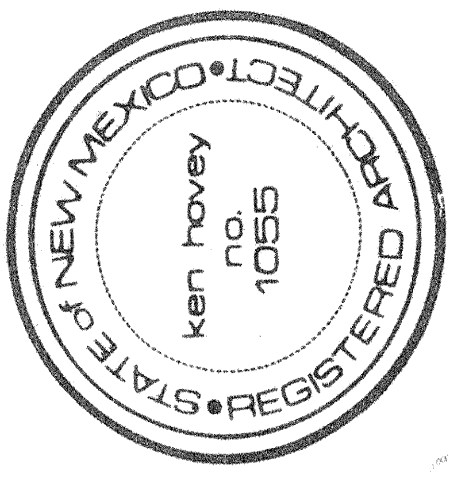
PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT☐ DRAINAGE PLAN☐ CONCEPTUAL GRADING & DRAINAGE PLAN☐ GRADING PLAN☐ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATION☒ DRAINAGE SUBMITTAL
REQUIREMENTS (SITE PLAN)

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☐ SITE DEVELOPMENT PLAN APPROVAL☐ FINAL PLAT APPROVAL☒ BUILDING PERMIT APPROVAL☐ FOUNDATION PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY APPROVAL☐ ROUGH GRADING PERMIT APPROVAL☐ GRADING/PAVING PERMIT APPROVAL☒ OTHER _____ (SPECIFY)DATE SUBMITTED: 12/3/87BY: REGI RUTAR



REMODEL & ADDITION TO
ARTLAND PHILLIPS 66

1020 CARLISLE BOULEVARD NE
ALBUQUERQUE, NEW MEXICO

KEYED NOTES

- Existing street light.
- Existing 9' wide sidewalk.
- Existing concrete curb and gutter.
- Existing driveway.
- Existing traffic control box.
- Existing traffic light.
- Existing handicap ramp.
- Existing remote air and water unit to be removed.
- Existing concrete slab-on-grade.
- Existing asphaltic paving.
- Line of existing canopy above.
- Existing pump island.
- Existing fuel dispenser.
- Existing underground fuel storage tanks.
- Existing 4 cubic yard dumpster.
- New 6'-0" long precast concrete parking bumpers.
- Existing sidewalk at building.
- Existing landscaped area with ten ponderosa pine trees.
- Existing landscaped area with nine ponderosa pine trees.
- Existing chainlink fence.
- Existing planter with cedar shrubs.
- Existing curbing.
- Existing red scoria ground cover.
- Existing pine tree.
- Three existing tam junipers.
- New asphalt handicap ramp.
- Line of clear site triangle.
- New bicycle rack.
- Remove existing underground oil tank. Place engineered fill in lift to greater than 8" below existing structure. Compact to 95% maximum proctor density after each lift until desired sub-grade elevation is achieved.
- Remove existing tire bin complete with concrete slab.
- Remove existing asphalt paving and scarify to a depth of 8", moisten to optimum moisture content (plus or minus 2%) and compact to 95% maximum proctor density.
- Existing vent thru roof from underground oil tank. Remove both underground and above grade portion of line.
- Existing vent line from double catch basin in service bay. Remove portion of line above grade. Abandon in place the underground portion of the vent line.
- Handicap parking space with new 12" wide by 18" high sign with the lower edge of sign at 4'-0" above grade. The sign shall display the international symbol of a wheel chair.
- 6'-0" precast concrete parking bumper at handicap stalls installed 3' from the end of the parking space, such that the handicap parking sign may be protected.
- New sign (separate sign permit required).
- Reuse existing concrete parking bumpers. Typical of five.

DESIGN DATA:

LEGAL DESCRIPTION: Tract "B" of the New Mexico Share Corporation Addition.

ZONE: L-17-Z
TYPE OF CONSTRUCTION: V-N
TYPE OF OCCUPANCY: V-N

GROSS SQUARE FOOTAGE OF EXISTING BLDG.: 2135 sq. ft.

GROSS SQUARE FOOTAGE OF ADDITION: 1346 sq. ft.

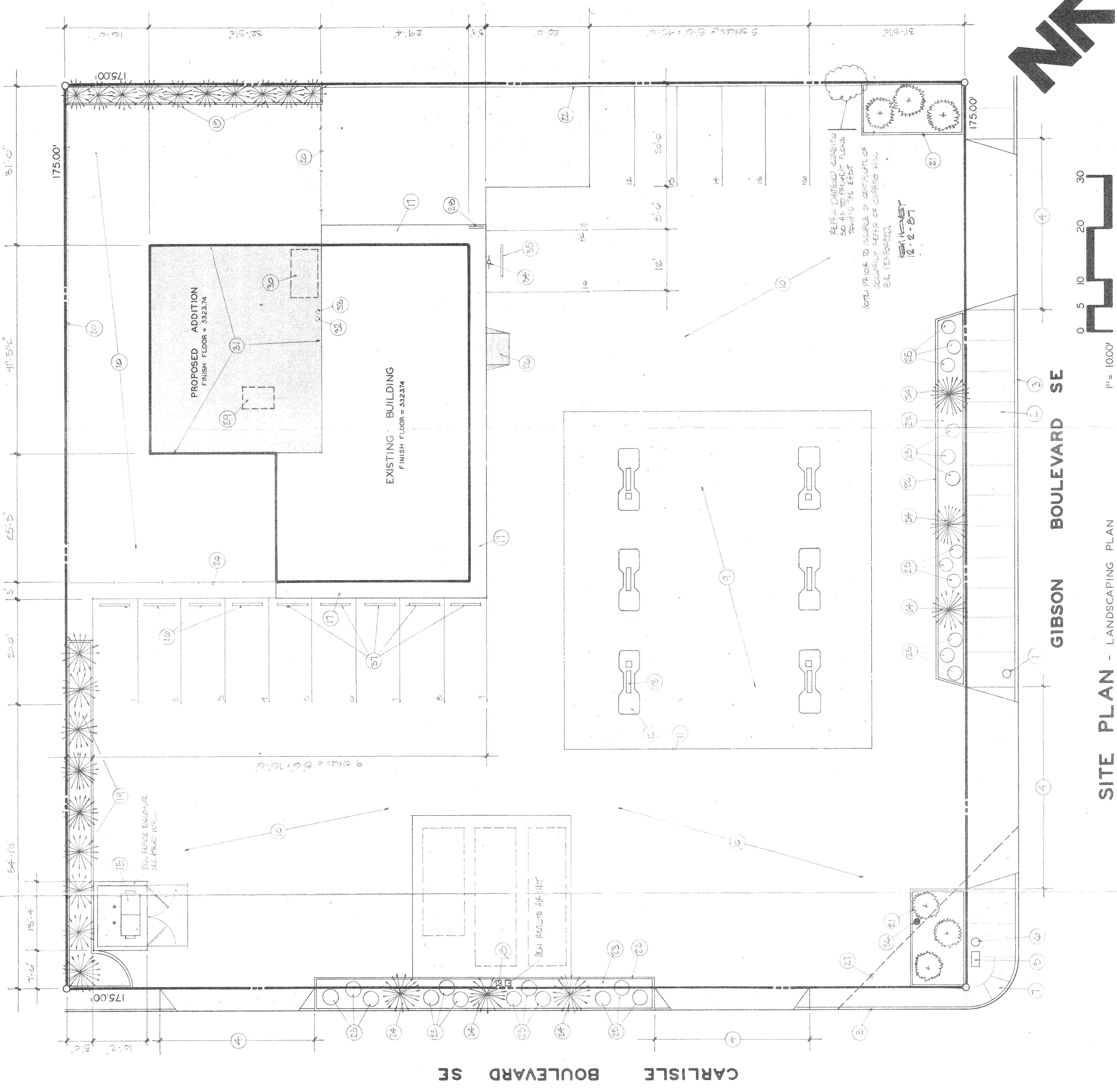
PARKING REQUIRED: 3481 S.F. / 200 = 17.41 SPACES

LESS 10% BUS ROUTE REDUCTION = 1.74 SPACES

TOTAL REQUIRED: = 16 SPACES

PARKING PROVIDED = 16 SPACES

DEC 1, 1987



SITE PLAN - LANDSCAPING PLAN

GIBSON BOULEVARD SE

CARLISLE BOULEVARD SE