

# DRAINAGE INFORMATION SHEET

PROJECT TITLE: Blanco - <sup>Lamp</sup> Shade Store ZONE ATLAS/DRNG. FILE #: 4-17 <sup>D22</sup> ~~22~~

DRB #: \_\_\_\_\_ EPC# \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: (SA) LOTS 5/6/7 B/LK. B, Parkland Hills

CITY ADDRESS: Monroe St., S.E.

ENGINEERING FIRM: Clark Consulting Engineers CONTACT: Philip Clark

ADDRESS: 19 Ryan Road Edgewood NM 87015 PHONE: 281-2444

OWNER: Stella Blanco CONTACT: \_\_\_\_\_

ADDRESS: 115 Dallas, SE 87108 PHONE: 262-2270

ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CONTRACTOR: Cedar Ridge Bldrs. CONTACT: Lee Plimpton

ADDRESS: 41 Meadowlark PHONE: 281-4106  
Tigraas

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION
- ☐ OTHER \_\_\_\_\_

## PRE-DESIGN MEETING:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

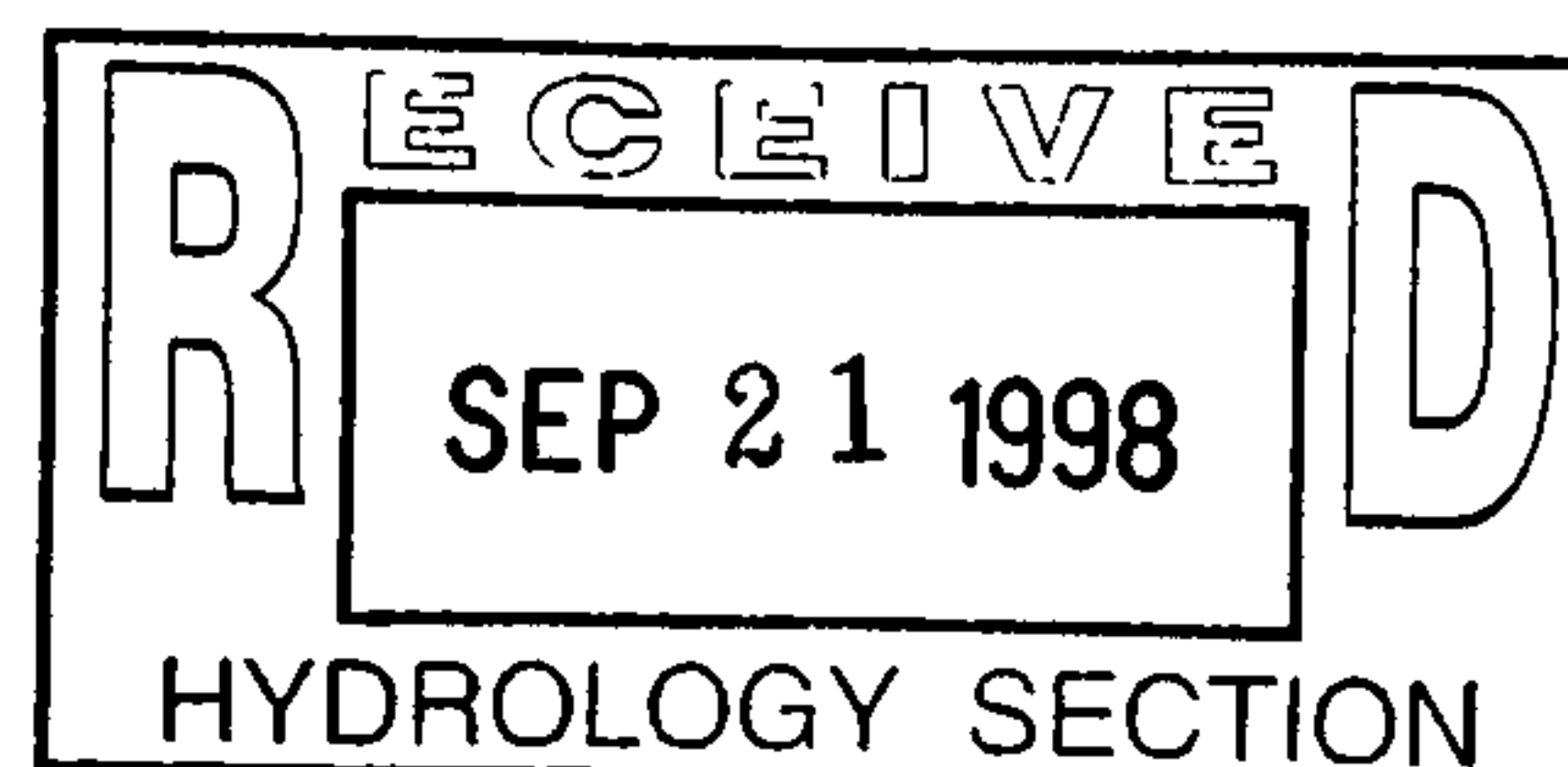
## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S.DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S.DEV. PLAN FOR BLDG PER. APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ SUBDIVISION CERTIFICATION
- ☐ OTHER \_\_\_\_\_

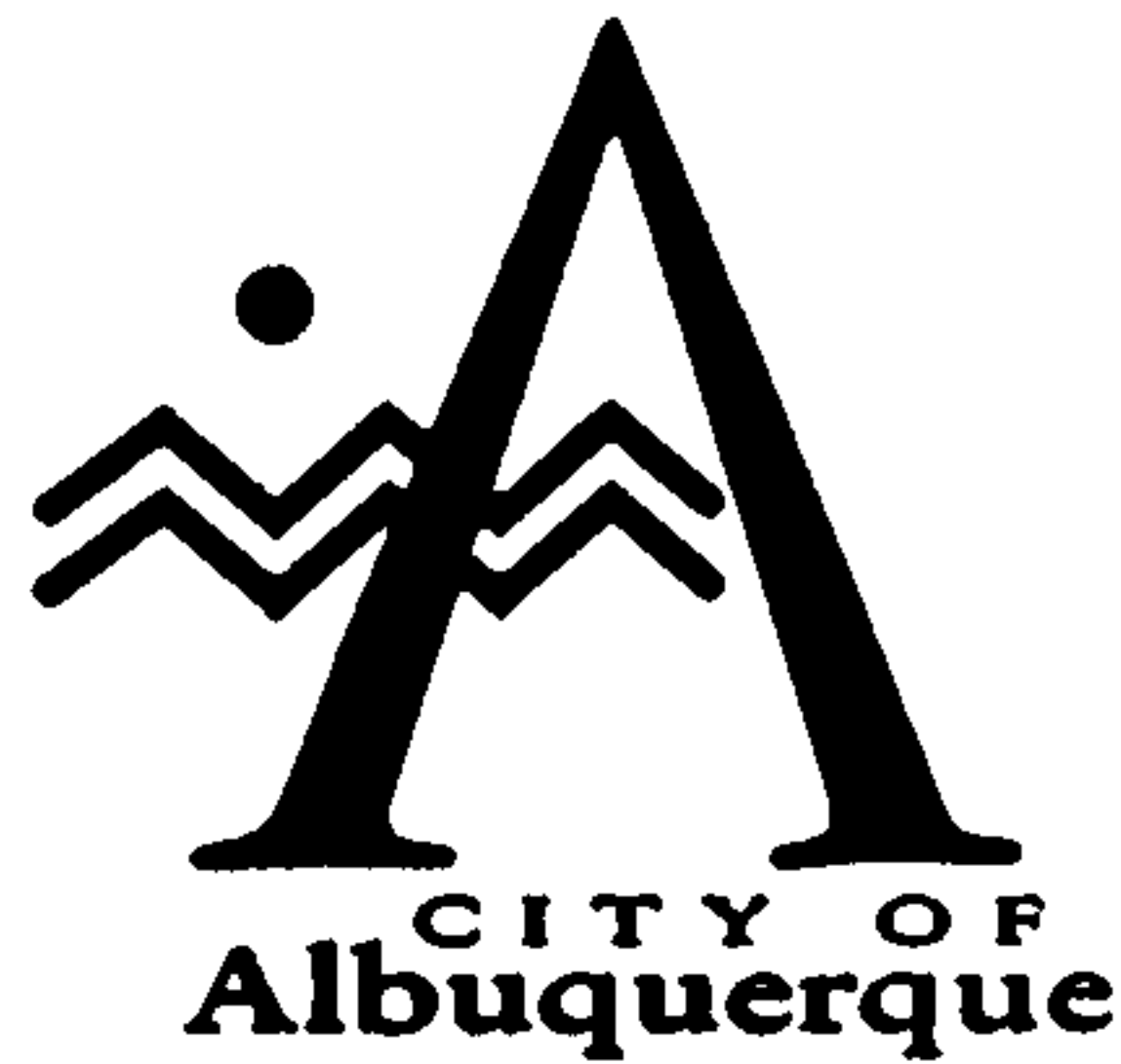
(Specify)

Date: 9/21/98

Submitted by: *[Signature]*



*510 Monroe*



May 11, 1998

Philip Clark, P.E.  
Clark Consulting Engineers  
19 Ryan Road  
Edgewood, NM 87015

*D22*  
**RE: RETAIL LAMP STORE (L17-~~17~~). DRAINAGE AND GRADING PLAN FOR  
BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED APRIL 30, 1998.**

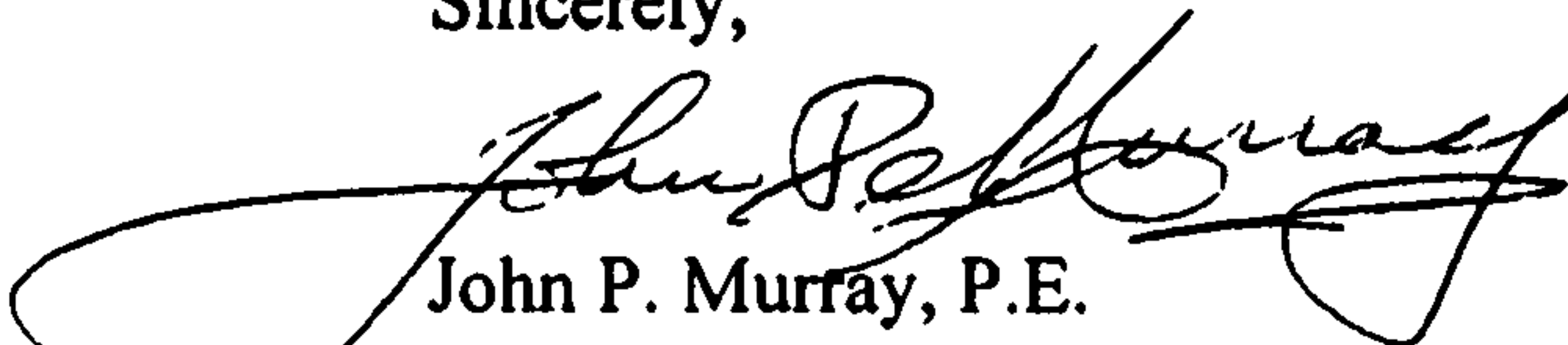
Dear Mr. Clark:

Based on the information provided on your April 30, 1998 submittal, the above referenced project is approved for Building Permit.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,

  
John P. Murray, P.E.  
Hydrology

c: ~~Andrew Garcia~~  
✓ File

Good for You, Albuquerque!



**C<sub>C</sub><sub>E</sub> Clark Consulting Engineers**  
#19 Ryan Road  
Edgewood, New Mexico 87015  
TELE & FAX (505) 281-2444

Philip W. Clark, P.E.  
Owner

DATE: 6/8/98

TRANSMITTAL FORM

DELIVER TO: Bernie Montoya  
ORGANIZATION NAME: City Hydrol.  
FROM: PWC  
REGARDING: L-17/EF  
D22

MESSAGE/ITEM: \_\_\_\_\_

Well,

Had to create (add) additional  
parking in rear, therefore are paving  
alley. Therefore revised grading  
accordingly.

Thanks,  
Phil Clark

# DRAINAGE INFORMATION SHEET

PROJECT TITLE: Retail Lamp Store ZONE ATLAS/DRNG. FILE #: L-17 <sup>D22</sup> ~~1000~~

DRB #: \_\_\_\_\_ EPC# \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: LOTS 5/6/7, B1K. B, Parkland Hills

CITY ADDRESS: Monroe St., S.E.

ENGINEERING FIRM: Clark Consulting Engineers CONTACT: Philip Clark

ADDRESS: 19 RYAN ROAD EDGEWOOD NM 87015 PHONE: 281-2444

OWNER: Stella Blanco CONTACT: Stella

ADDRESS: c/o The Shadey Lady Lamps PHONE: 262-2270  
115 Dallas, SE 8708

ARCHITECT: N/A CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

SURVEYOR: SW Survey Co., Inc. CONTACT: Dan

ADDRESS: 333 Lomas NE PHONE: 247-4444

CONTRACTOR: Cedar Ridge Bldrs. CONTACT: \_\_\_\_\_

ADDRESS: #1 Meadowlark PHONE: 281-4107  
Tijeras, N.M.

## TYPE OF SUBMITTAL:

☒ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

☐ OTHER \_\_\_\_\_

## PRE-DESIGN MEETING:

☐ YES (telecon w/ Lisa)

☒ NO

☐ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ S.DEV. PLAN FOR SUB'D. APPROVAL

☐ S.DEV. PLAN FOR BLDG PER. APPROVAL

☐ SECTOR PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ GRADING PERMIT APPROVAL

☐ PAVING PERMIT APPROVAL

☐ S.A.D. DRAINAGE REPORT

☐ DRAINAGE REQUIREMENTS

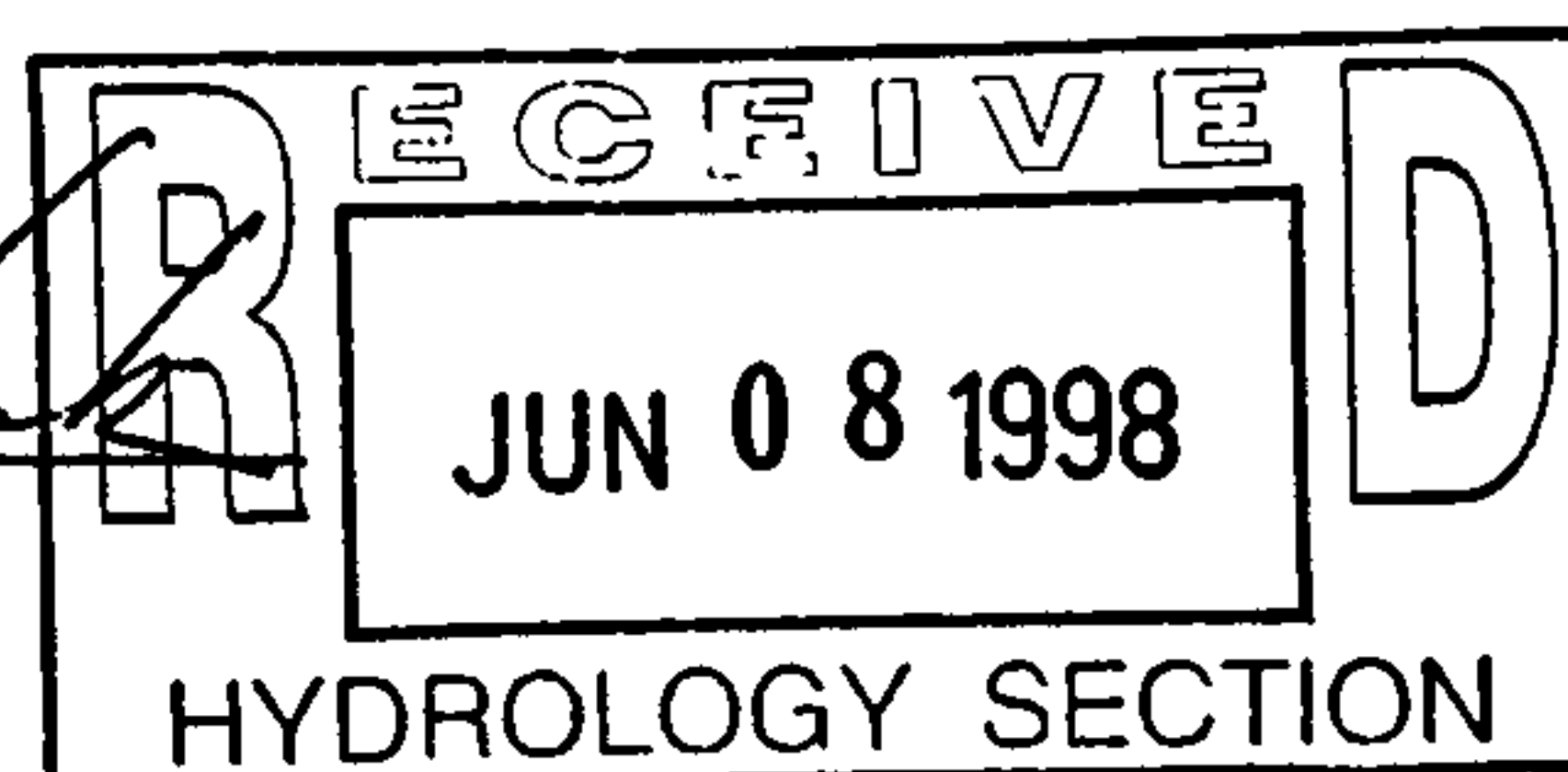
☐ SUBDIVISION CERTIFICATION

☐ OTHER \_\_\_\_\_

(Specify)

Date: 6/8/98

Submitted by: Philip W. Clark



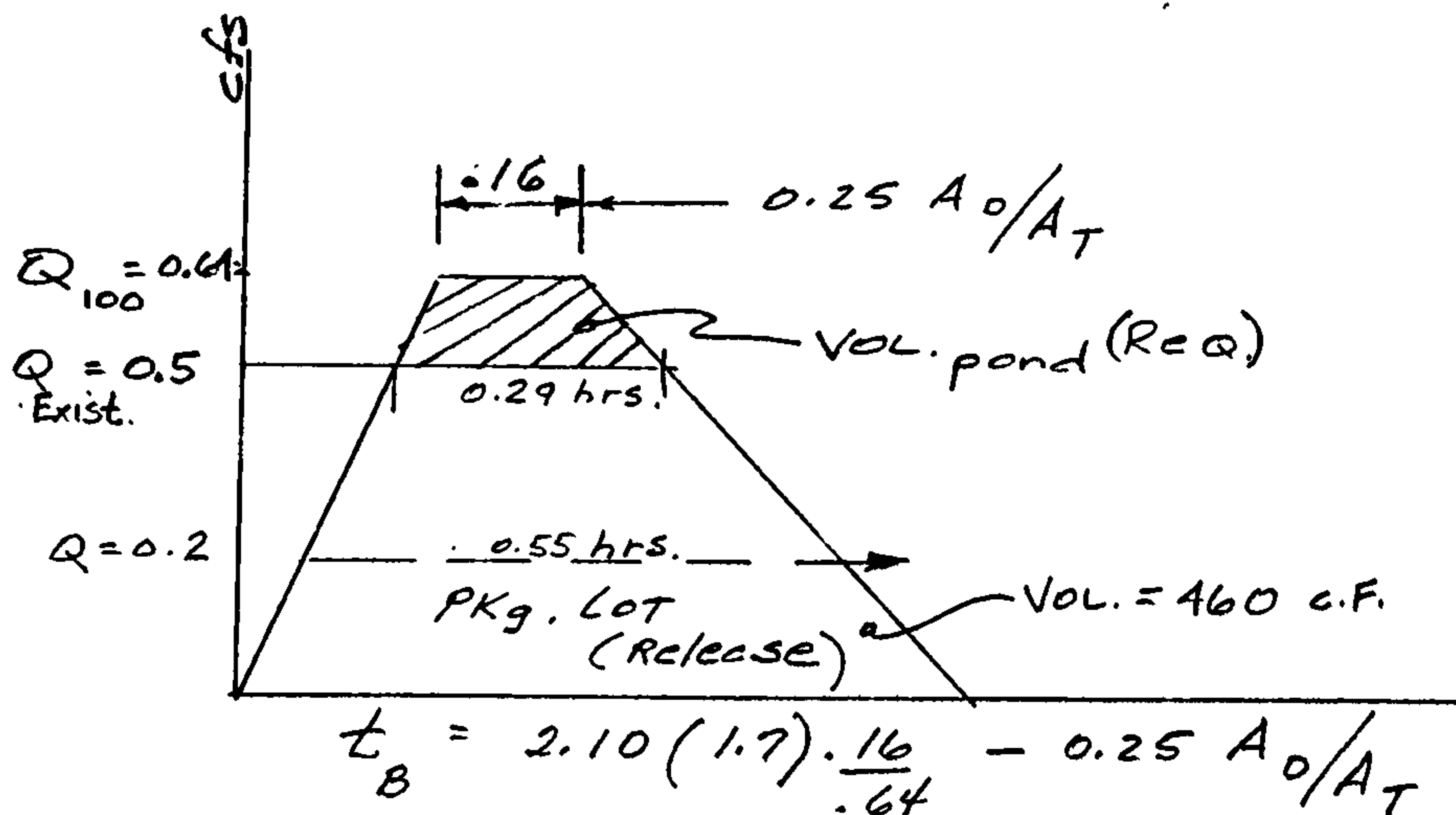


DATE: 3.20.98

PROJECT: Shady Lady  
Retail Store  
on Monroe

# CALCULATIONS

Size Detention Pond per Sect. A. B, D.P.M., Ch. 22



$$A_0/A_T = \frac{0.10}{0.16}$$

$$E_{100} = 1.7 \text{ in.}$$

$$\text{Vol. pond. (Req. min.)} = \frac{.16 + .29}{2} (.14) 3600 \frac{\text{sec.}}{\text{hr.}} = 113 \text{ c.f.}$$

Calc. Discharge to be Released Directly thru Driveway  
To Monroe ST.

$$A_0 (\text{Asp. PKg. Lot.}) = \frac{1830 \text{ sq ft}}{43560} = 0.04 \text{ ac.}$$

$$Q = 0.04 (4.7 \text{ cfs/ac.}) = 0.20 \text{ cfs}$$

Calc. Ponding Volume Provided

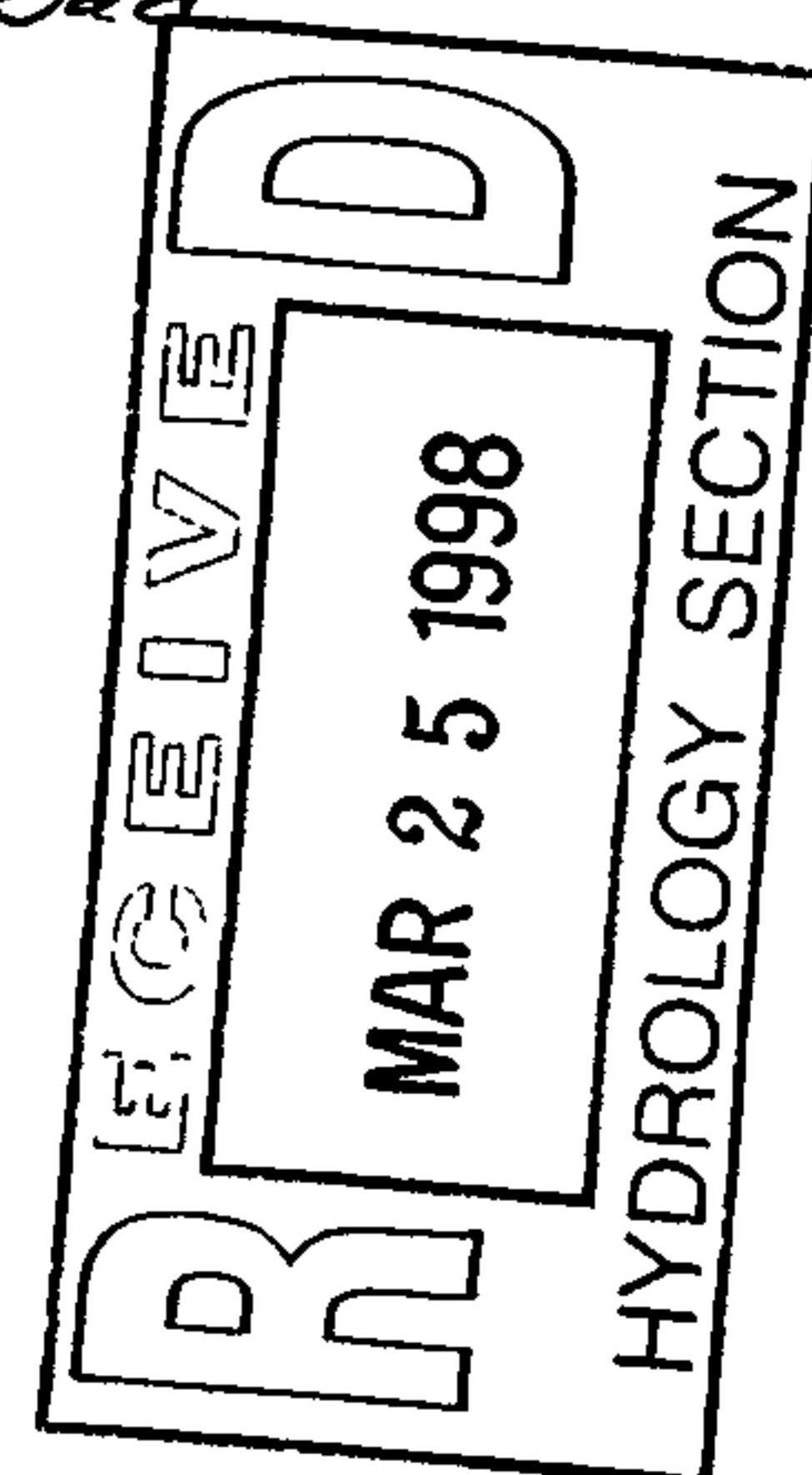
$$\text{South pond} = \frac{168 \text{ ft} + 70 \text{ ft}}{2} \times 1' \text{ depth} = 119 \text{ c.f.}$$

$$\text{North pond} = \frac{182 \text{ ft} + 86 \text{ ft}}{2} \times 1' = 134 \text{ c.f.}$$

$$\Sigma = 253 \text{ c.f.} > 113 \text{ c.f. OK.}$$

Note: Due to the small size of ponds, facilities are determined to be Detention - draining within 24 hrs. by percolation (Type B Soil) & evaporation.

Designing to Shape the Future

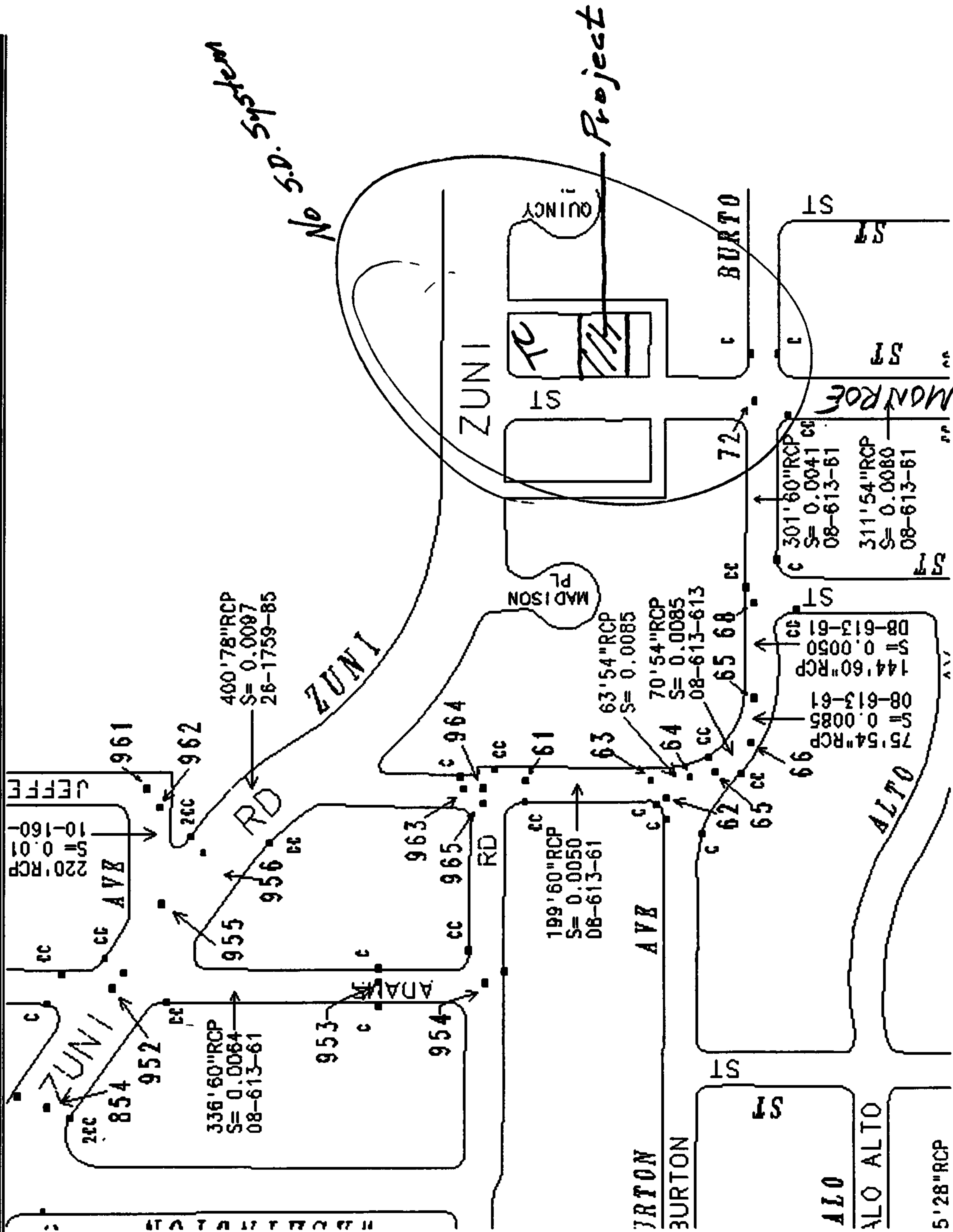
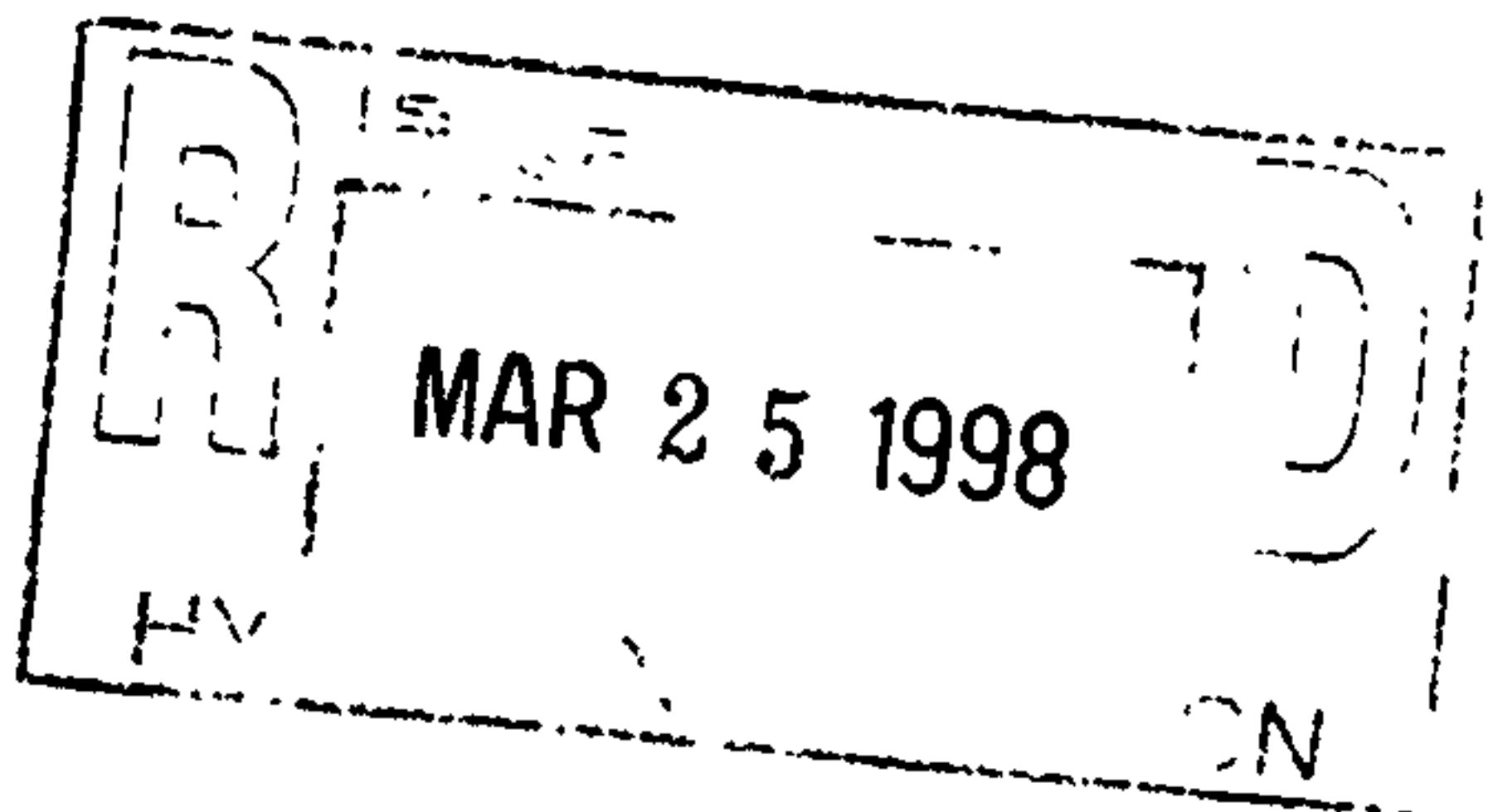


NO credit  
for "ponds"

Pan/Zoom

VACANT  
LOT  
FENCED

VACANT  
LOT



Scale: 1"=200'

Ref: Storm Sewer  
FAC-MAPS

\*\*\*\*\*  
\*\*\* RX REPORT \*\*\*  
\*\*\*\*\*

RECEPTION OK

TX/RX NO	7836
CONNECTION TEL	2812444
SUBADDRESS	
CONNECTION ID	
ST. TIME	04/16 09:02
USAGE T	01'14
PGS.	2
RESULT	OK

SAW 4/16  
Phil Clark

Retail Lamp

L17-D<sup>22</sup>

Apr 7th FAX Ltr.

Not in file



 Clark Consulting Engineers

Tele: (505) 281-2444

19 Ryan Road  
Edgewood, New Mexico 87015

Fax: (505) 281-2444

Phillip W. Clark, P.E.

Resent 4/16/98

DATE: 4/7/98

Ref: L-17/D1

## FAX COVER SHEET

DELIVER TO: John Murray  
Lisa & Susan C.

ORGANIZATION NAME: City Hydrology

FROM: PWC

REGARDING: Retail Lamp Store

TOTAL NUMBER OF PAGES INCLUDING COVER SHEET: 3

L17/D22

## MESSAGE:

Thank you  
Phil Clark

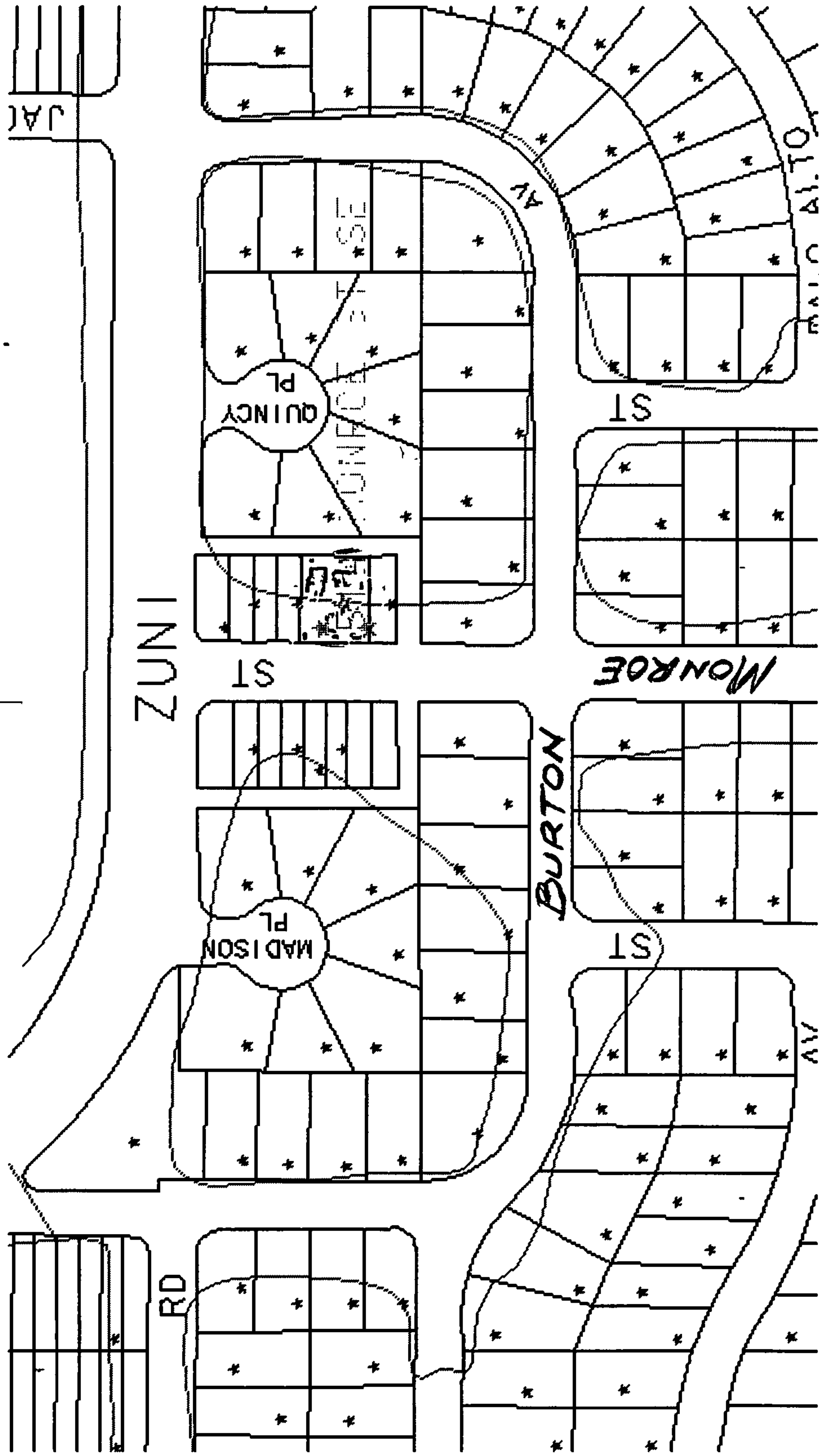
John - per our telecon. AM, 4.16.98  
please find response letter, previously  
sent on 4/7/98

Sincerely,  
Phillip W. Clark

A-E  
misinterpreted  
letter.  
RE-Data

MUST BE ON PLAN

Development  
Consultants  
514 Monroe SE



April 30, 1998

Bernie Montoya, Associate Engineer  
City of Albuquerque  
City Hydrology, PO Box 1293  
Albuquerque, NM 87103

RE: Retail Lamp Store (L-17/<sup>D22</sup>~~17~~), Grading and Drainage Plan, Dated 3/24/98

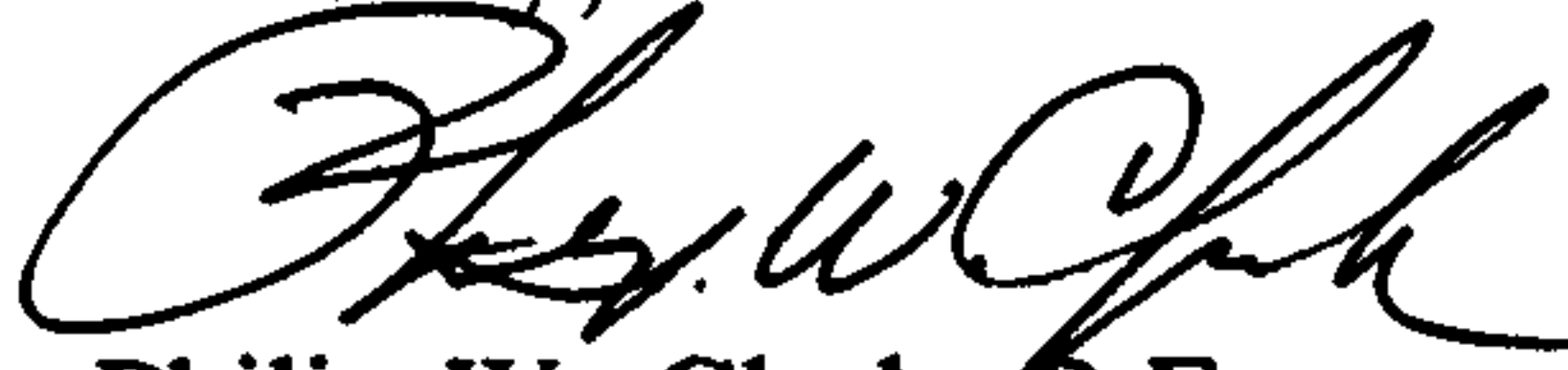
Revised 4/30/98

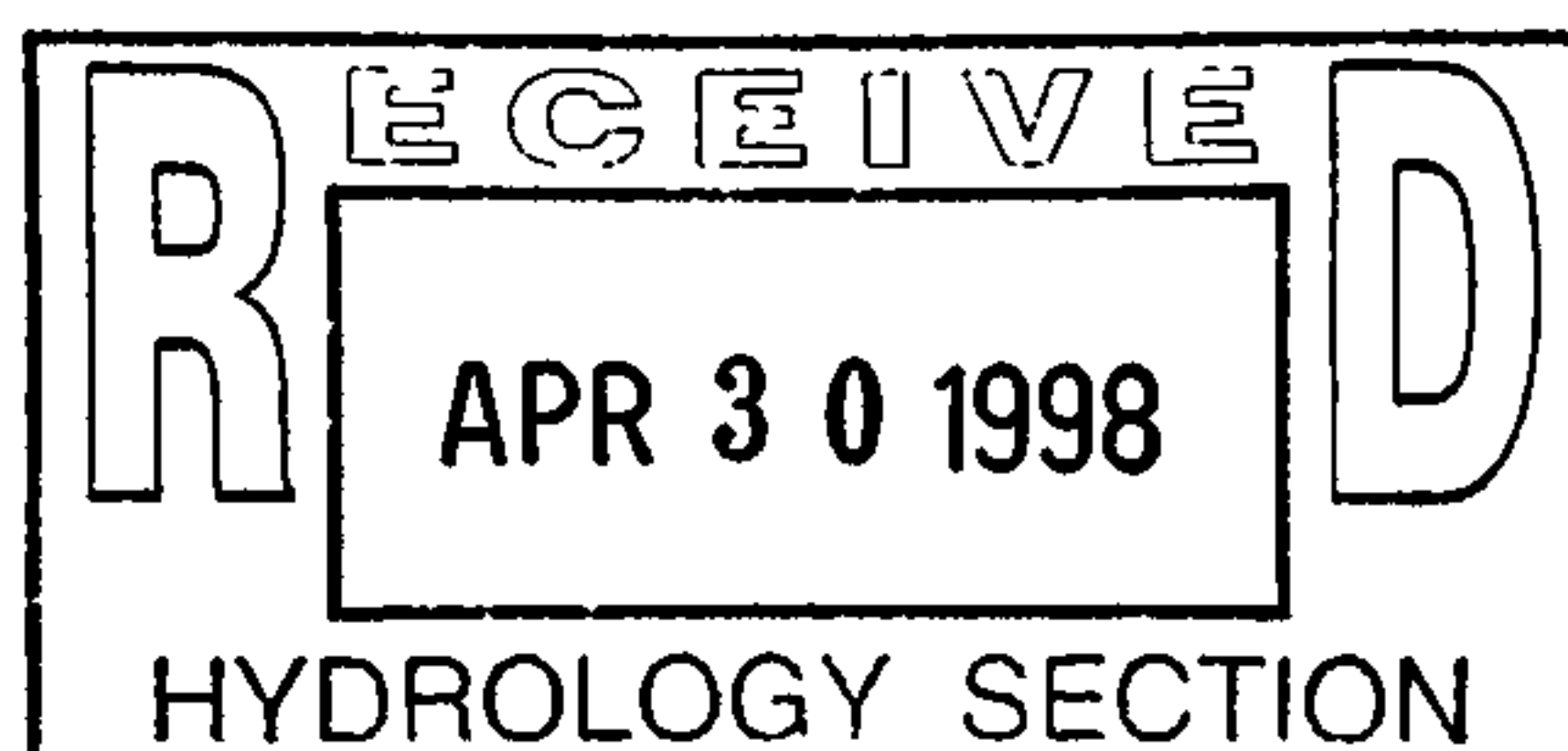
Dear Mr. Montoya:

In response to your letter dated 4/27/98, it seems that the overall concept that Lisa and I had discussed for this project has changed from your perspective.....

1. Barrier curb added to plan at the east boundary (confirmed alternative solution via telecon with contractor).
2. Ponds deleted, depressed landscaped areas are redesigned, swale regraded to outfall across asphalt parking lot, note 5 revised to ensure no developed flows enter depressed areas.
3. Approximate limits delineated across site.
4. Existing old slash added to call out on plan. Will paint.
5. Narrative for AO-1 Flood zone including depth has been called out plan since the original plan submittal, please see "Grading & Drainage Plan", second paragraph.
6. Off-site flows addressed, second paragraph (inset), Existing Drainage Conditions.
7. Existing and developed data indicated within "Calculations" on the plan, and developed on drawing.
8. Design note removed.
9. As originally submitted, reference to "infill" within "Grading & Drainage" text, 1st paragraph.

Sincerely,

  
Philip W. Clark, P.E.  
Clark Consulting Engineers



April 30, 1998

Bernie Montoya, Associate Engineer  
City of Albuquerque  
City Hydrology, PO Box 1293  
Albuquerque, NM 87103

RE: Retail Lamp Store (L-17/<sup>D22</sup>~~21~~), Grading and Drainage Plan, Dated 3/24/98

Revised 4/30/98

Dear Mr. Montoya:

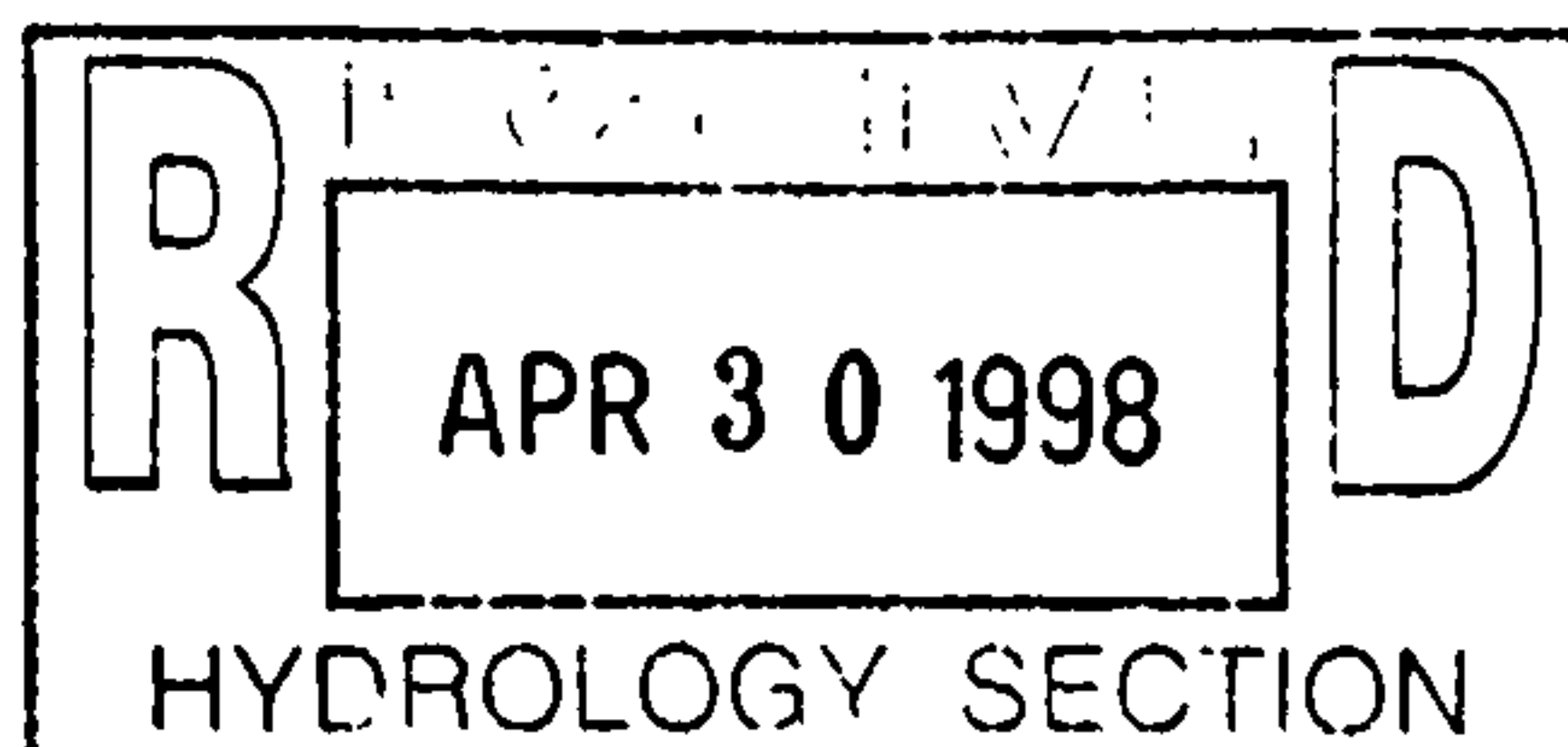
In response to your letter dated 4/27/98, it seems that the overall concept that Lisa and I had discussed for this project has changed from your perspective.....

- ✓ 1. Barrier curb added to plan at the east boundary (confirmed alternative solution via telecon with contractor).
- ✓ 2. Ponds deleted, depressed landscaped areas are redesigned, swale regraded to outfall across asphalt parking lot, note 5 revised to ensure no developed flows enter depressed areas.
- ✓ 3. Approximate limits delineated across site.
- ✓ 4. Existing old slash added to call out on plan. Will paint.
- ✓ 5. Narrative for AO-1 Flood zone including depth has been called out plan since the original plan submittal, please see "Grading & Drainage Plan", second paragraph.
- ✓ 6. Off-site flows addressed, second paragraph (inset), Existing Drainage Conditions.
- ✓ 7. Existing and developed data indicated within "Calculations" on the plan, and developed on drawing.
- ✓ 8. Design note removed.
- ✓ 9. As originally submitted, reference to "infill" within "Grading & Drainage" text, 1st paragraph.

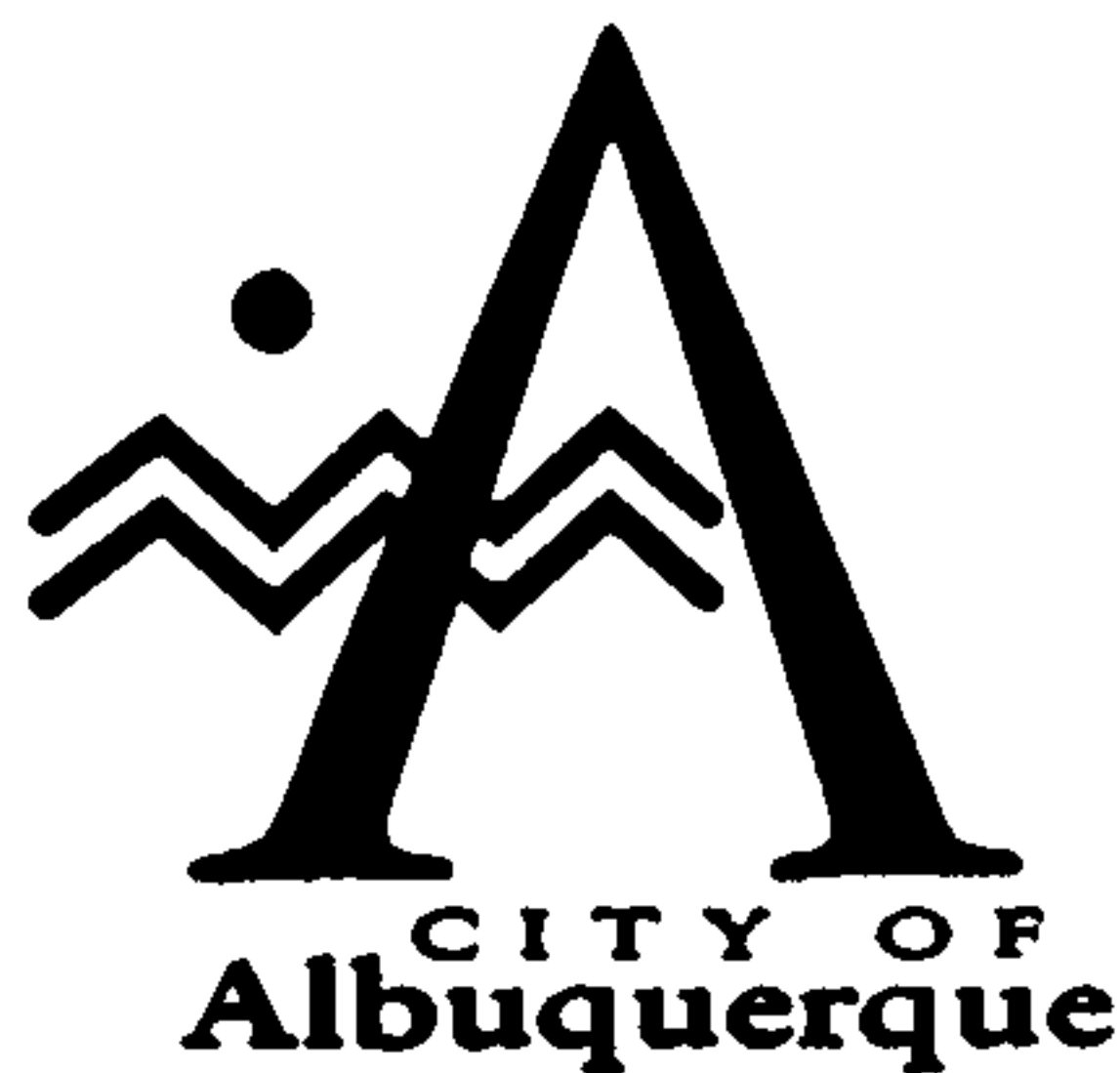
Sincerely,

*[Signature]*

Philip W. Clark, P.E.  
Clark Consulting Engineers







April 27, 1998

Philip Clark PE  
Clark Consulting Engineers  
19 Ryan Road  
Edgewood, New Mexico 87015

RE: DRAINAGE PLAN FOR RETAIL LAMP STORE (L17-<sup>D22</sup>~~EE~~) ENGINEER'S STAMP  
DATED 3/24/98 AND ADDITIONAL INFORMATION SUBMITTED 4/16/98

Dear Mr. Clark:

Based on the information provided on your March 25, 1998 & April 16, 1998 submittals, listed are some concerns that will need to be addressed prior to final approval:

1. If you are going to use the alley to drain the developed run-off or to access the rear of the property, you will need to do alley grades and improvements. If a permanent barrier (6" curb ) is constructed on the east property line, than no alley grades or improvements will be required.
2. The ponds located at the front of the site can not receive developed flows. The swales around the building must have no less than 1.0% slope on the swale in order to guarantee positive drainage around the building the building and down towards the asphalt.
3. Indicate the approximate limits of the flood plain within the plan drawing through the total site.
4. Project bench mark must be permanently marked by a curb cut or painted.
5. Narrative on the plan drawing that the site is encroached by an AO-1' food zone and that flood insurance may be required.
6. Address off-site flows from all directions.
7. Indicate the existing & proposed flow rates and volumes on the plan drawing.
8. Remove the detention pond design note from the plan drawing.

Good for You, Albuquerque!





9. Narrative on the plan drawing that the site is in an infill area and that the increase in the flows is minimal.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia

- File

Sincerely

A handwritten signature in black ink, reading "Bernie J. Montoya". The signature is written in a cursive, flowing style.

Bernie J. Montoya CE  
Associate Engineer



Tele: (505) 281-2444

19 Ryan Road  
Edgewood, New Mexico 87015

Fax: (505) 281-2444

April 7, 1998

Ms. Lisa Manwill, P.E.  
City of Albuquerque  
City Hydrology  
Albuquerque, NM

RE: Retail Lamp Store (L-17/EE), Grading and Drainage Plan, Dated 3/24/98

D22  
Dear Ms. Manwill:

In response to your comments dated 4/1/98:

1. I am concerned that you did not receive ponding calculations, which were submitted with the plan at the front desk on March 24th. The "one" in reference to the drainage file in paragraph 4 has been added to the plan.
2. No base flood elevations are published. This situation was discussed with Susan Calongne, FPA for COA, and agreed that the limits should be transferred carefully from the FIRM Map, then one (1)+ foot added to the highest adjacent flowline (as called out on the plan) in order to establish the floodplain (see south property line on plan). Flood proofing the structure amounts to setting the finish floor then 1' above that.
3. The northwest portion of the building is set horizontally up to the approximate boundary of the floodplain but not touching.

Sincerely,

A handwritten signature in cursive script, likely belonging to Philip W. Clark.

Philip W. Clark, P.E.  
Clark Consulting Engineers

attach: calcs. resubmitted (1)



April 1, 1998

Philip Clark, P.E.  
Clark Consulting Engineers  
19 Ryan Road  
Edgewood, NM 87015

*D22*  
**RE: RETAIL LAMP STORE (L17-~~51~~). GRADING PLAN FOR BUILDING PERMIT  
APPROVAL. ENGINEER'S STAMP DATED MARCH 24, 1998.**

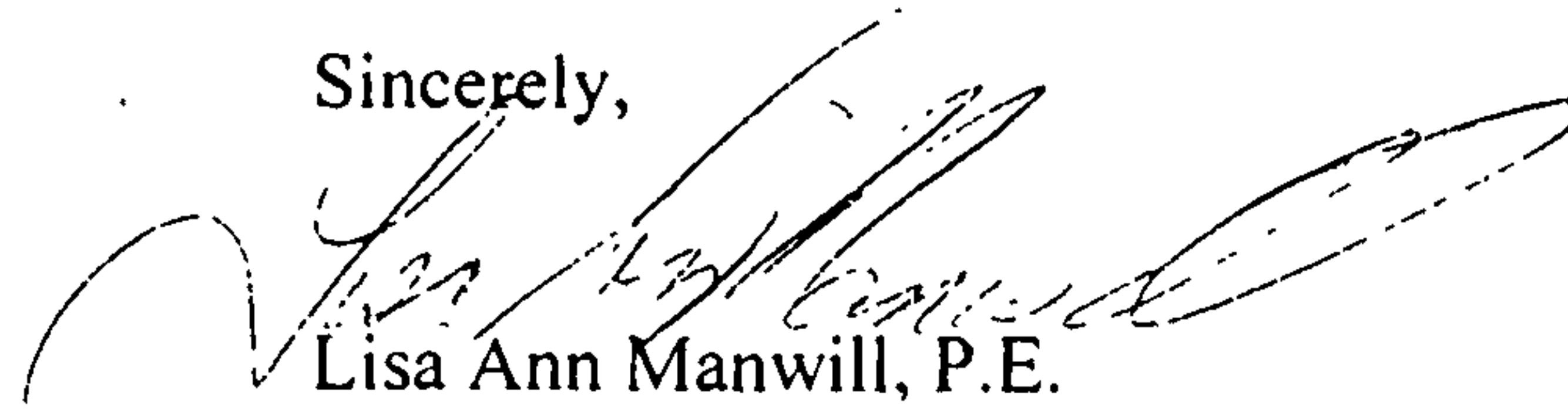
Dear Mr. Clark:

Based on the information provided on your March 25, 1998 submittal, City Hydrology has the following comments:

1. You must provide all relevant ponding calculations. The statement in Paragraph 4, under the heading "CALCULATIONS" is not sufficient.
2. Since the floodplain is not confined to the street, the flow line criteria may not be appropriate. Your finish floor elevation must be a minimum of 1-foot above the floodplain elevation. Since I was unable to find the elevation of the floodplain on your plan sheet, I could not tell if your finish floor elevation is set high enough.
3. Show limits of flood plain and floodplain elevation (to mean sea level). The floodplain cannot touch the structure.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,

  
Lisa Ann Manwill, P.E.  
Hydrology

c: Andrew Garcia  
~~File~~

Good for You, Albuquerque!



N  
DRAINAGE INFORMATION SHEET

PROJECT TITLE: Retail Lamp Store ZONE ATLAS/DRNG. FILE #: L-17/D25

DRB #: \_\_\_\_\_ EPC# \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: LOTS 5/6/7, BIK. B, Parkland Hills

CITY ADDRESS: Monroe St., S.E.

ENGINEERING FIRM: Clark Consulting Engineers CONTACT: Philip Clark

ADDRESS: 19 RYAN ROAD EDGEWOOD NM 87015 PHONE: 281-2444

OWNER: Stella Blanco CONTACT: Stella

ADDRESS: C/O The Shady Lady Lamps PHONE: 262-2270  
115 Dallas, SE 8708

ARCHITECT: N/A CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

SURVEYOR: SW Survey Co., Inc. CONTACT: Dan

ADDRESS: 333 Lomas NE PHONE: 247-4444

CONTRACTOR: Cedar Ridge Bldrs. CONTACT: \_\_\_\_\_

ADDRESS: #1 Meadowlark PHONE: 281-4107  
Tijeras, N.M.

TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT  
☒ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION  
☐ OTHER \_\_\_\_\_

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ S.DEV. PLAN FOR SUB'D. APPROVAL  
☐ S.DEV. PLAN FOR BLDG PER. APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☐ SUBDIVISION CERTIFICATION

PRE-DESIGN MEETING:

- ☐ YES (telecon w/ Lisa)  
☒ NO  
☐ COPY PROVIDED

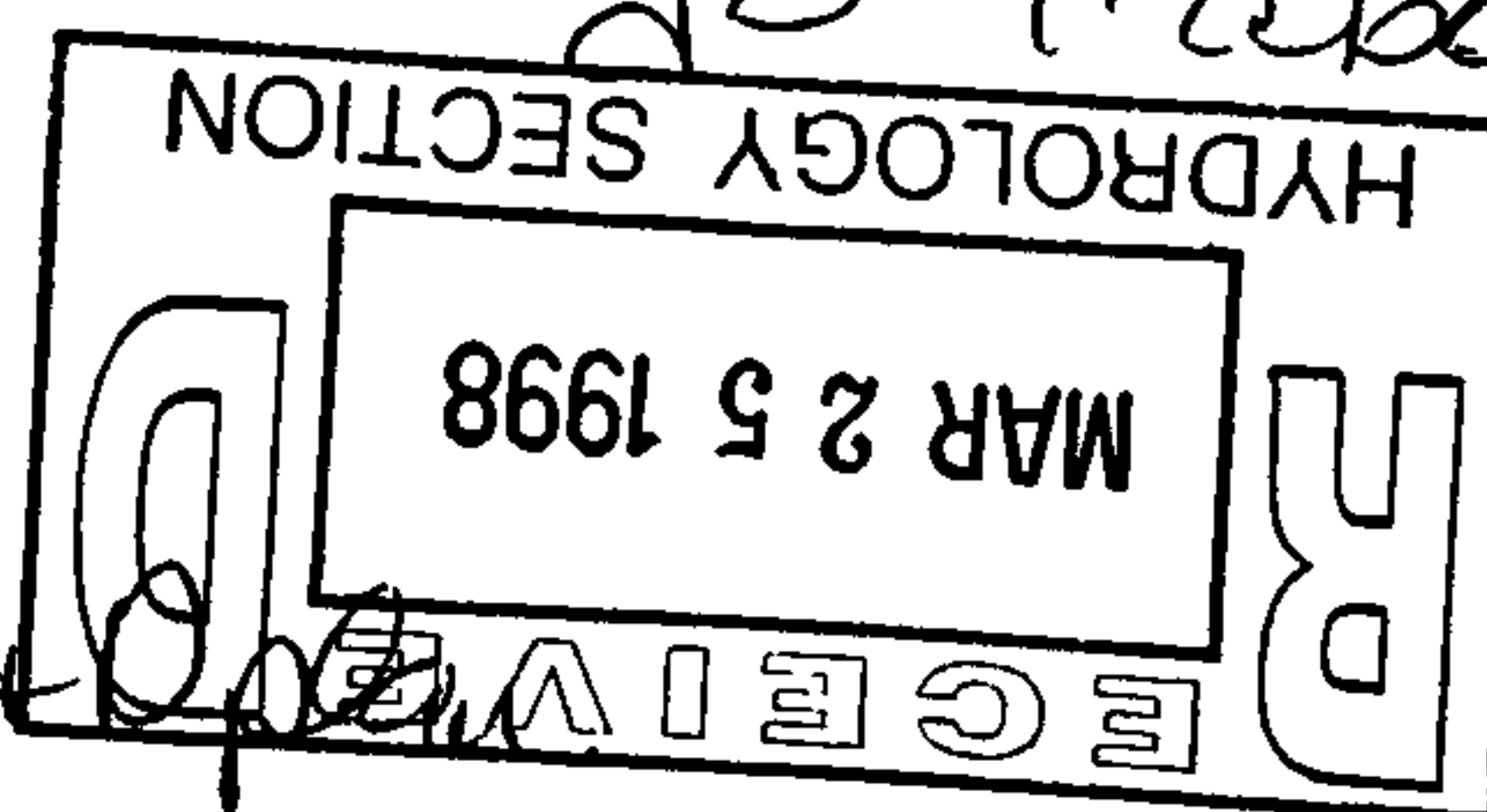
*Stamped  
3-24-98*

- 1) You must provide all relevant ponding  
calcs. Paragraph IV under  
"CALCULATIONS" is not sufficient

- 2) Since this floodplain is not adjacent to street (Specify)  
go 1' above floodplain

Date: 3/25/98  
Submitted by: Philip Clark

- 3) Show flood plain limits on Ground  
Floodplain cannot touch Bldg.





October 19, 1998

Philip W. Clark PE  
Clark Consulting Engineers  
19 Ryan Road  
Edgewood New Mexico 87015

D22  
RE: ENGINEER CERTIFICATION FOR LAMP SHADE STORE (L17-~~24~~) CERTIFICATION  
STATEMENT DATED 9/21/98

Dear Mr. Clark:

Based on the information provided on your September 21, 1998, Engineer Certification for the above referenced site is acceptable.

Please be advised that the final Certificate of Occupancy will not be released until construction of the alley is completed and accepted by the City Inspection Department.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia  
[File]

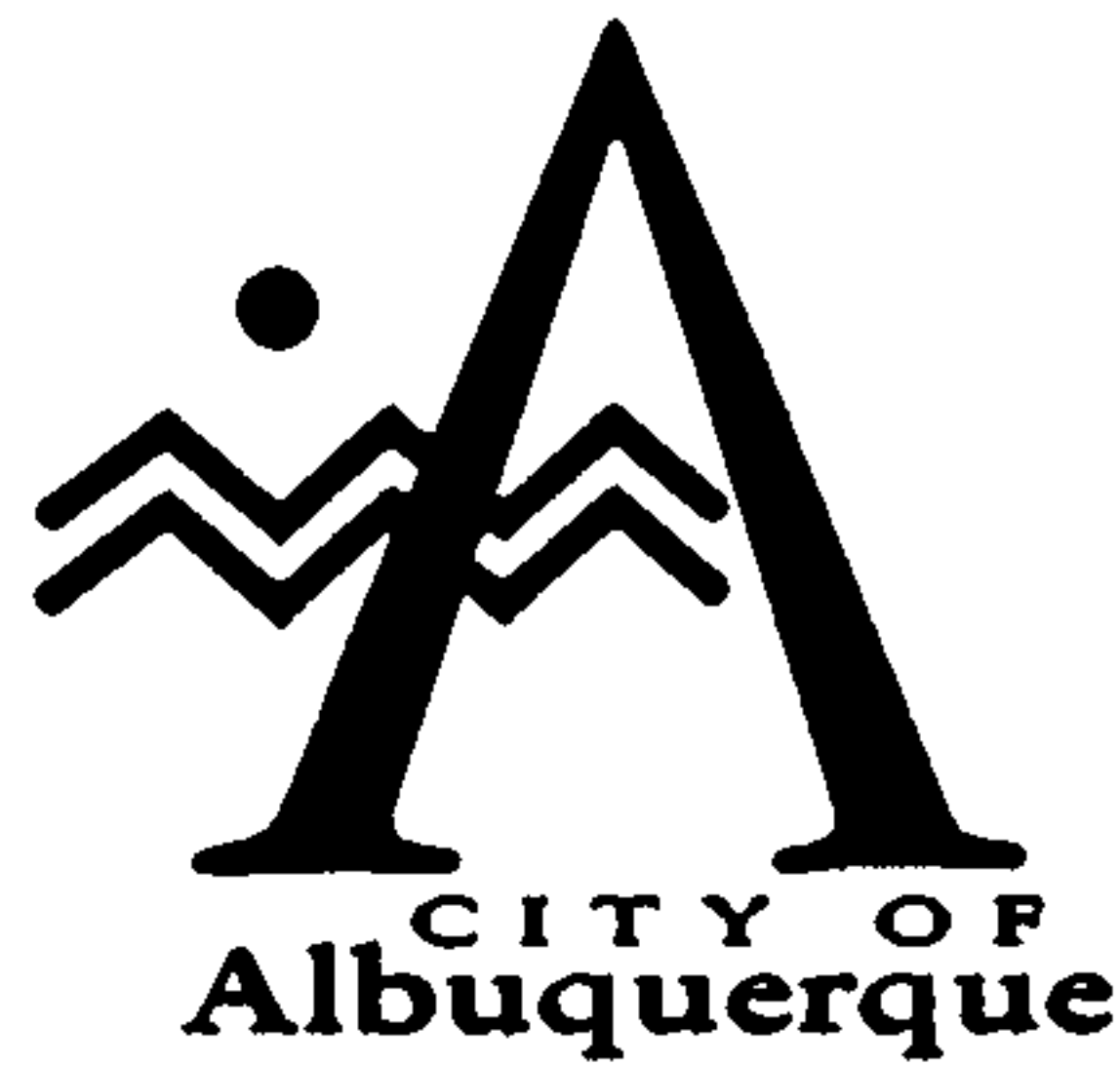
Sincerely

*Bernie J. Montoya*  
Bernie J. Montoya CE  
Associate Engineer

Good for You, Albuquerque!







June 17, 1998

Philip Clark, P.E.  
Clark Consulting Engineers  
19 Ryan Road  
Edgewood, NM 87015

*D22*  
**RE: RETAIL LAMP STORE (L17-~~EE~~). DRAINAGE AND GRADING PLAN FOR  
BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED JUNE 4, 1998.**

Dear Mr. Clark:

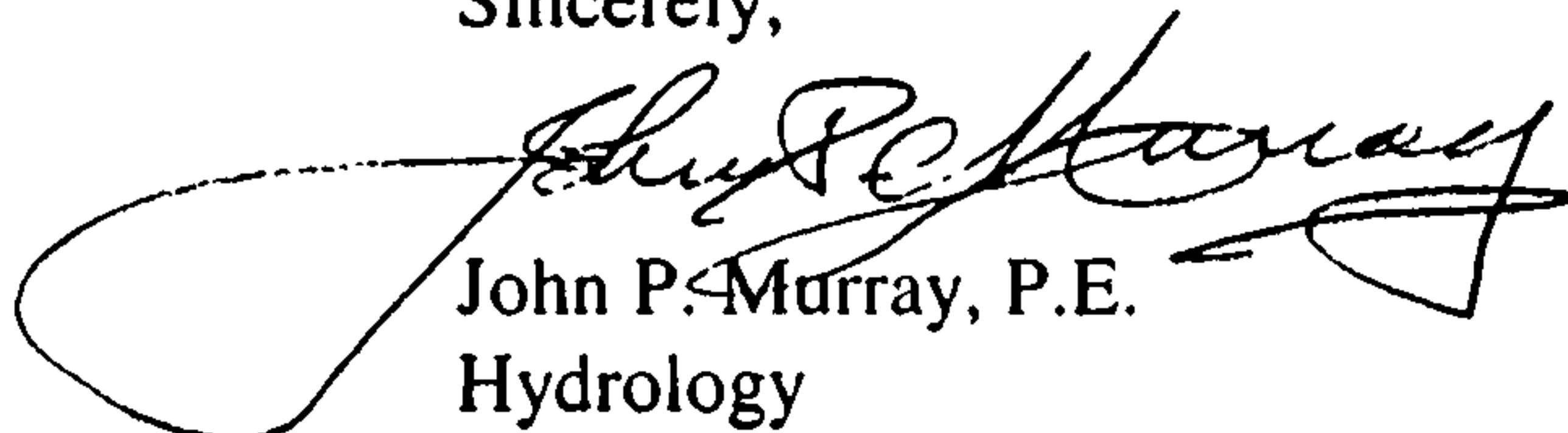
Based on the information provided on your June 8, 1998 submittal, the above referenced project is approved for Building Permit.

The related public alley improvements are included in City Project No. 5926.81.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,

  
John P. Murray, P.E.  
Hydrology

c: Andrew Garcia  
✓ File

Good for You, Albuquerque!

