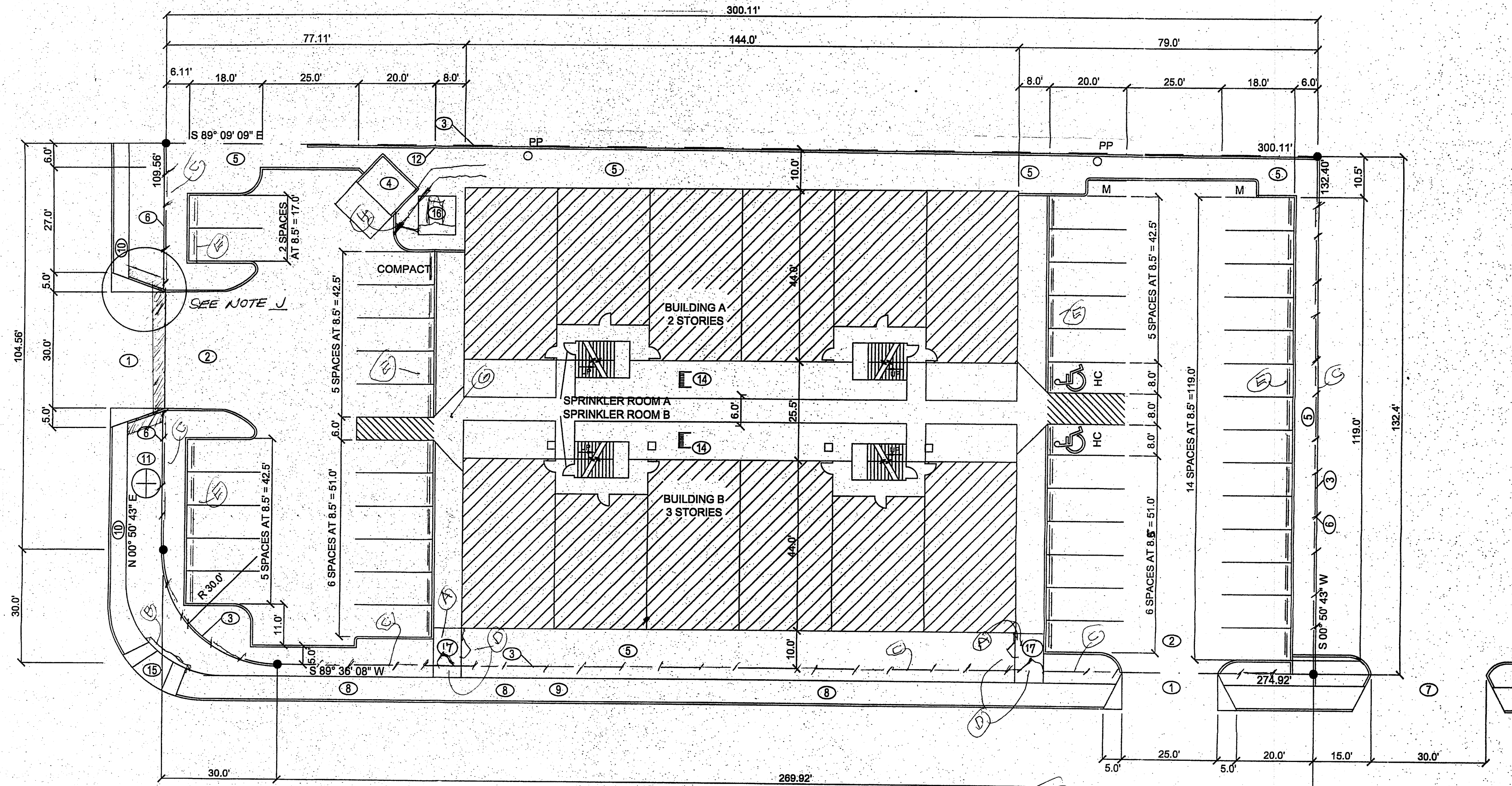


JACKSON STREET SE
60' R.O.W.



GIBSON BOULEVARD SE
120' R.O.W.

TRAFFIC CIRCULATION LAYOUT

LEGAL DESCRIPTION

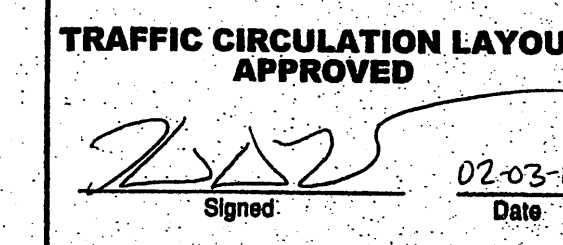
4801 GIBSON BLVD. SE
LOT 24 A, BLOCK 30
RIDGECREST ADDITION
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NM
UPC: 1 017 056 424 010 4031

TCL LEGEND

1. Concrete driveway per Drawing 2425.
2. Asphalt.
3. Property line.
4. Refuse enclosure and apron as per CABQ Solid Waste Drawing.
5. Landscaping.
6. Existing concrete curb.
7. Adjacent property's existing driveway.
8. Remove existing driveways.
9. Existing 8'-wide sidewalk.
10. Existing 3.5'-wide sidewalk.
11. Existing tree to remain.
12. Existing 8'-high CMU wall.
13. Slab at Sprinkler Room door.
14. Bike rack (8 each).
15. Existing ADA ramp, rebuild to CABQ Standard 2441.
16. Transformer pad.
17. ADA accessible and pedestrian walkway minimum 6' - 0" wide.

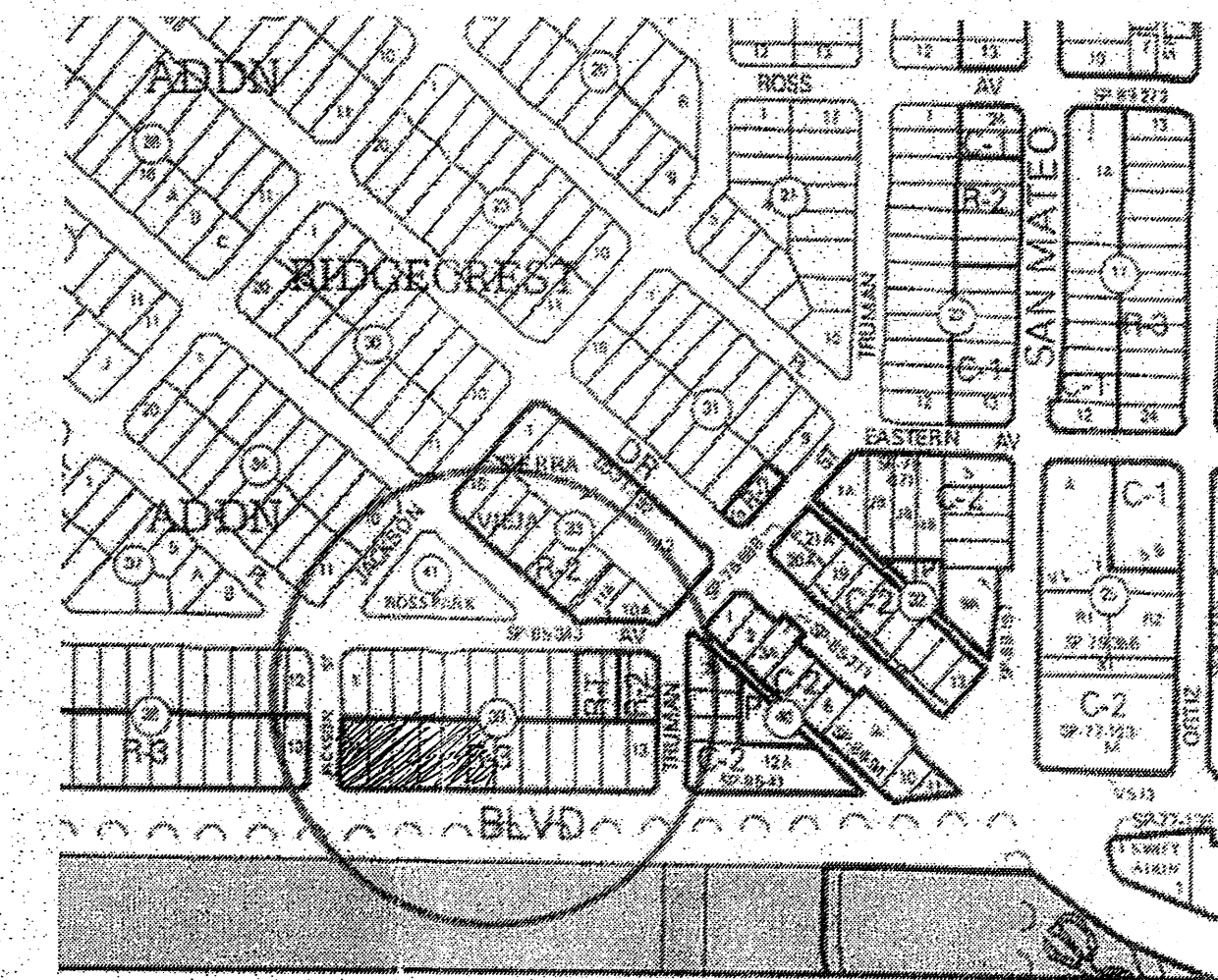
REVISE ADA WALK
D NEW 6" HIGH CURB PER CABQ 2441
C WALK FENCE
D GATE
E CONE BUMPERS
F 6" CONE WALK
G RAMP (LIMITED
NOT REQUIRED)
H REVISION 2
TAN'S TRAMP
SCALE: 1" = 20'

CONCRETE GRINDED DOWN TO
ELIMINATE LEDGE CAUSING A
TRIPPING HAZARD PER DISCUSSION
WITH MONICA ORTIZ AND SHAHAB BAZAR ON 2/14/14
PLEASE SEE ATTACHED PHOTOS



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on these plans for information
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and Work Order required.

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.



ZONE MAP L-17-Z RIDGECREST ADDITION ZONING R-3

EXECUTIVE SUMMARY

Drainage Plan approval in process.

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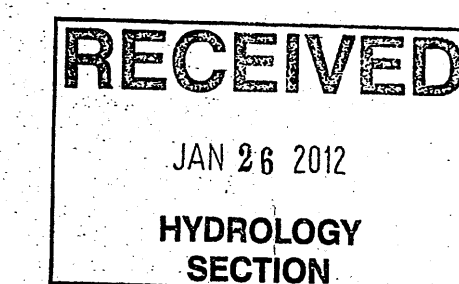
Dwelling Unit = 30 x 1.5 = 45

PARKING REQUIRED

West Lot	27
East Lot	18
Subtotal:	45
Transit credit 10% =	5
Parking provided:	50 Cars Total
Motorcycle	2
Bikerack	15

LANDSCAPING REQUIRED

LOT SIZE:	0.9172 AC x 43.560 =	39,953 SF
BUILDING FOOTPRINT:	144 x 44 x 2	12,627 SF
MINIMUM AREA OF LANDSCAPING:	27,281 SF x .15 =	4,092 SF
LANDSCAPE PROVIDED:		4,675 SF



CITY OF ALBUQUERQUE
BUILDING & SAFETY
NOV 30 2012

I.B.C.
PLAN CHECK SECTION

APPROVED COPY

DATE
REVISIONS
BY

FINAL PERMIT
& BIDDING
PRINTS
JANUARY 20, 2012

RANCHO DEL CIELO APARTMENTS

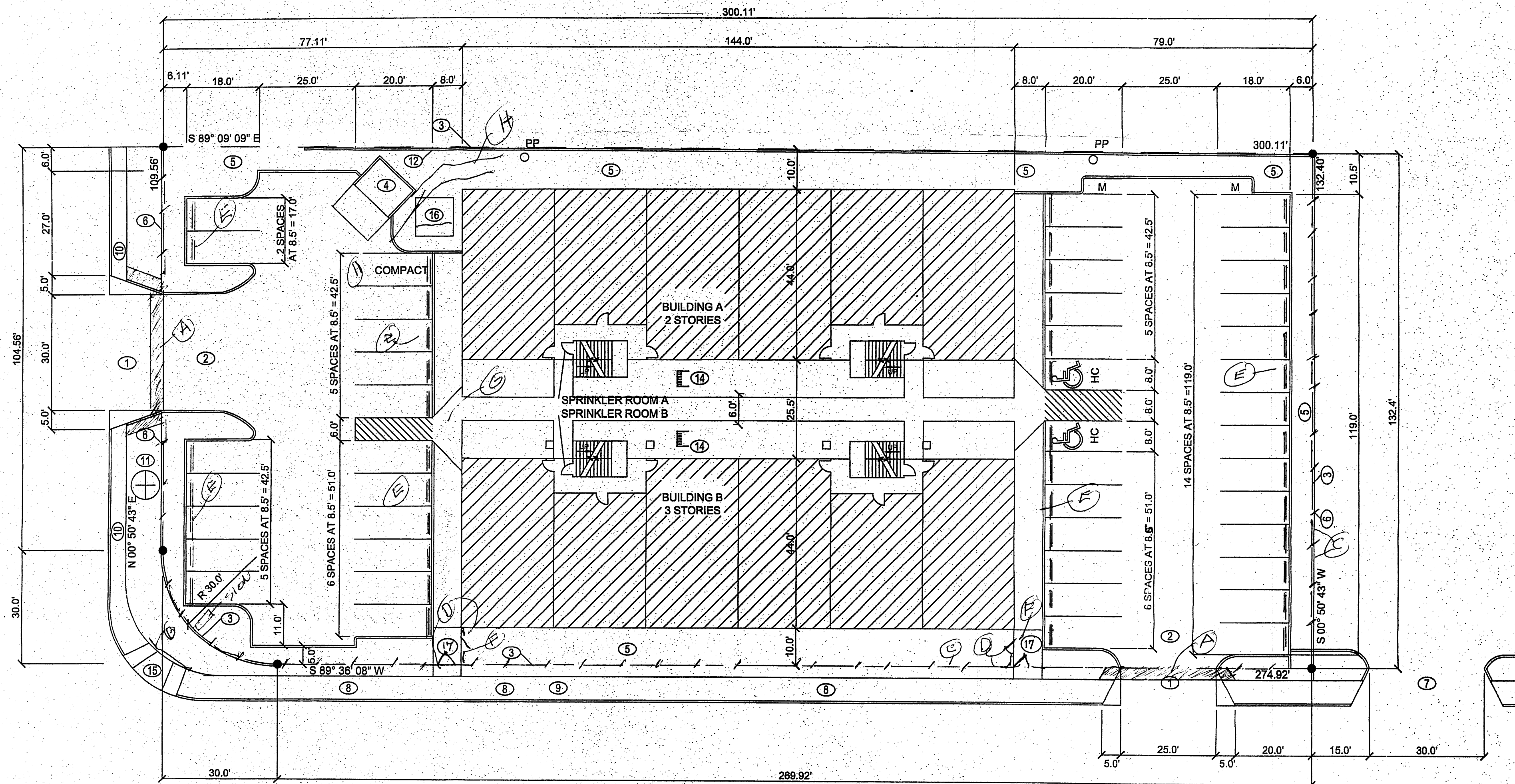
Joseph B. Burwinkle Jr.
ARCHITECT

JBB/BJP/STP
CHECKED

DATE
01-20-12
SCALE
1" = 20'-0"
JOB NO.
11-16
SHEET

REVISION
2-4-14
FILE SET
FEB 20 2014

JACKSON STREET SE
60' R.O.W.



GIBSON BOULEVARD SE
120' R.O.W.

TRAFFIC CIRCULATION LAYOUT

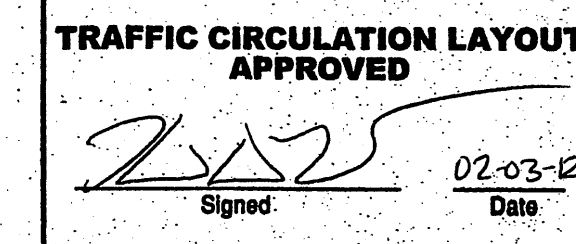
1. REVISE ADA WALK
2. NEW 6" CONC. PER CABQ
3. W.T. FENCE
4. GATE
5. CONC. BUMPERS
6. CONC. WALK
7. RAMP CURB NOT REQUIRED
8. TRANSFORMER
- SCALE: 1" = 20'

LEGAL DESCRIPTION

4801 GIBSON BLVD. SE
LOT 24 A, BLOCK 33
RIDGECREST ADDITION
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NM
UPC: 1 017 056 424 010 4031

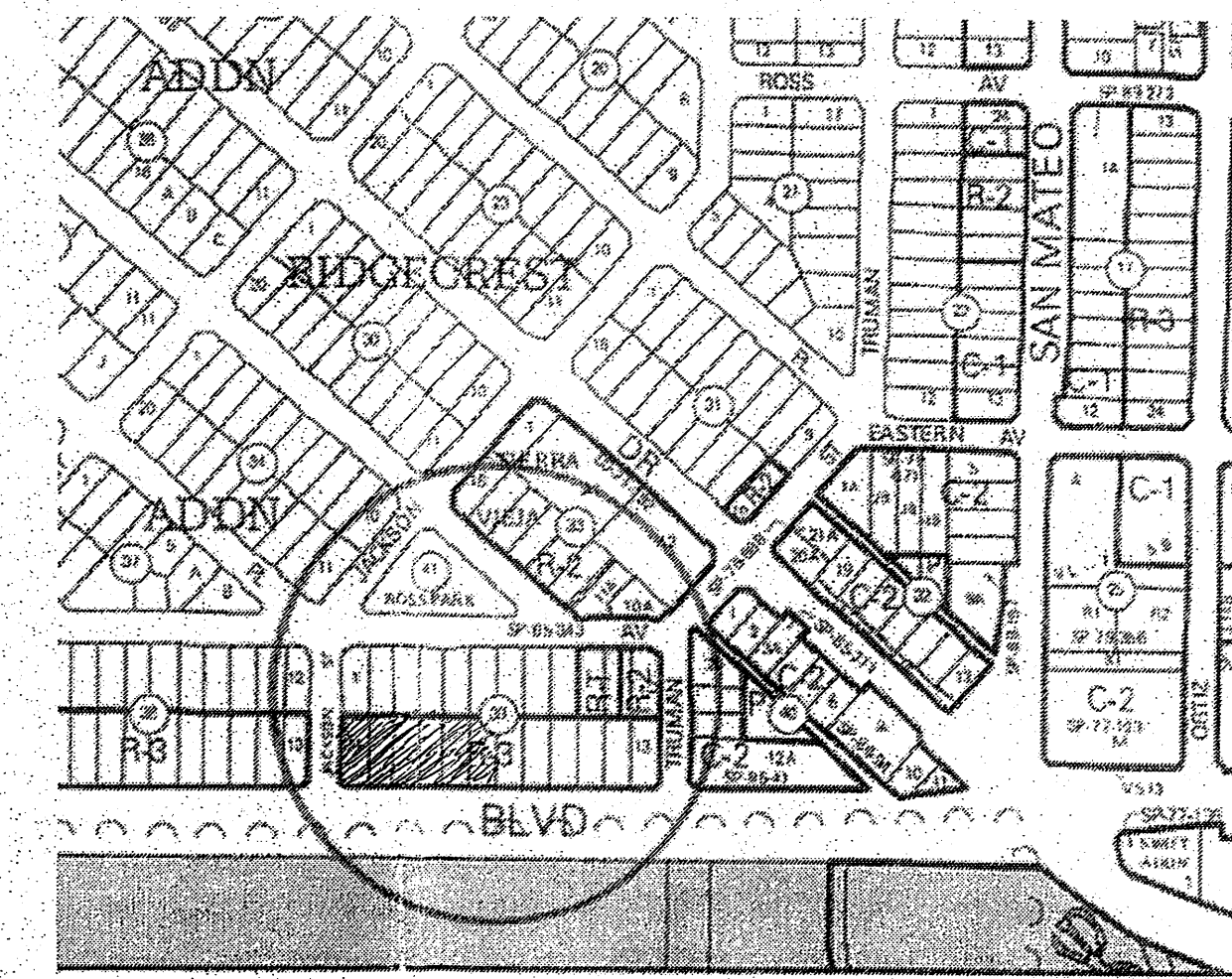
TCL LEGEND

- Concrete driveway per Drawing 2425.
- Asphalt.
- Property line.
- Refuse enclosure and apron as per CABQ Solid Waste Drawing.
- Landscaping.
- Existing concrete curb.
- Adjacent property's existing driveway.
- Remove existing driveways.
- Existing 6'-wide sidewalk.
- Existing 3.5'-wide sidewalk.
- Existing tree to remain.
- Existing 6'-high CMU wall.
- Slab at Sprinkler Room door.
- Bike rack (8 each).
- Existing ADA ramp, rebuild to CABQ Standard 2441.
- Transformer pad.
- ADA accessible and pedestrian walkway minimum 6' - 0" wide.



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ZONE MAP L-17-Z RIDGECREST ADDITION ZONING R-3

EXECUTIVE SUMMARY

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1.5 parking spaces per dwelling unit required. 30 units require 45 parking spaces.

Dwelling Unit = 30 x 1.5 = 45

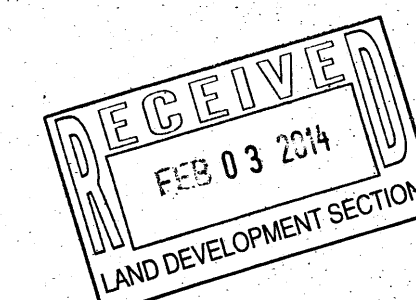
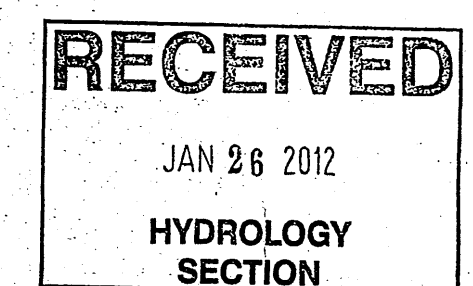
PARKING REQUIRED

West Lot	27
East Lot	18
Subtotal:	45
Transit credit 10% =	5
Parking provided:	50 Cars Total

Motorcycle	2
Bikerack	15

LANDSCAPING REQUIRED

LOT SIZE:	0.9172 AC x 43,560 =	39,953 SF
BUILDING FOOTPRINT:	144 x 44 x 2	- 12,627 SF
MINIMUM AREA OF LANDSCAPING:	27,281 SF x .15 =	4,092 SF
LANDSCAPE PROVIDED:		4,675 SF



CITY OF ALBUQUERQUE
BUILDING & SAFETY
NOV 30 2012
I.B.C.
PLAN CHECK SECTION

APPROVED COPY

REVISIONS
DATE BY
FINAL PERMIT & BIDDING PRINTS
JANUARY 20, 2012

RANCHO DEL CIELO APARTMENTS

4801 GIBSON SE
ALBUQUERQUE, NEW MEXICO
PAIZ CONSTRUCTION
PHONE: 505-480-7311

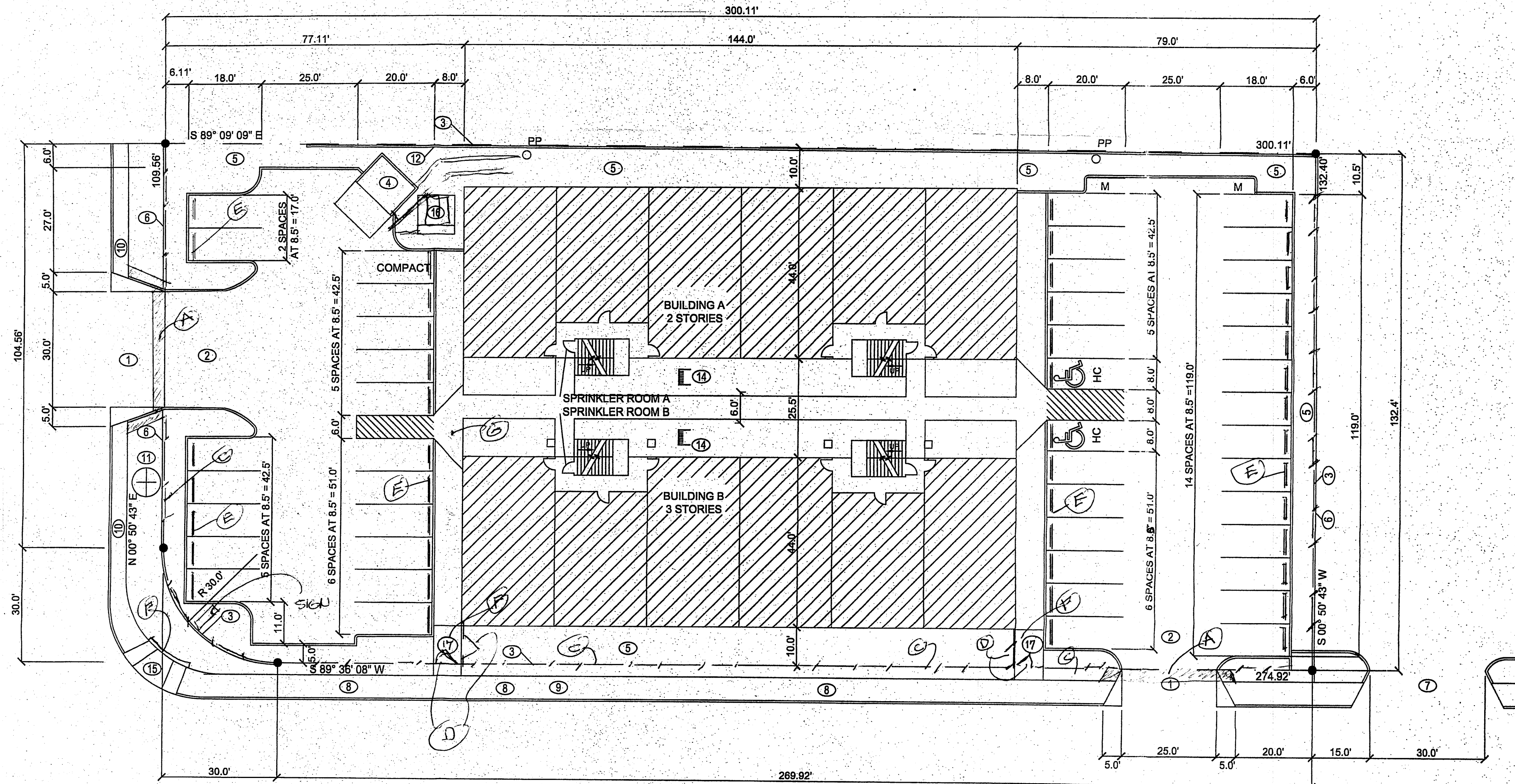
St Price DESIGN STUDIO
Joseph B. Burwinkle Jr.
ARCHITECT
3700 Corps Blvd., NW, Suite E
Albuquerque, New Mexico 87120
505.345.3550

DRAWN
JBB/BJP/STP
CHECKED

DATE
01-20-12
SCALE
1" = 20'-0"
JOB NO.
11-16
SHEET

1

JACKSON STREET SE
60' R.O.W.



GIBSON BOULEVARD SE
120' R.O.W.

TRAFFIC CIRCULATION LAYOUT

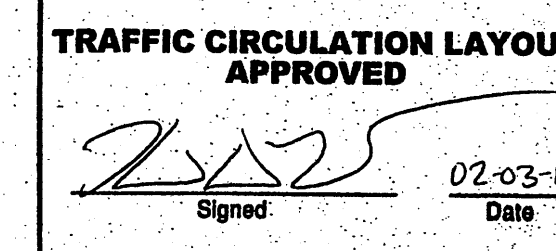
LEGAL DESCRIPTION

4801 GIBSON BLVD. SE
LOT 24 A, BLOCK 38
RIDGECREST ADDITION
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NM
UPC: 1 017 056 424 010 4031

TCL LEGEND

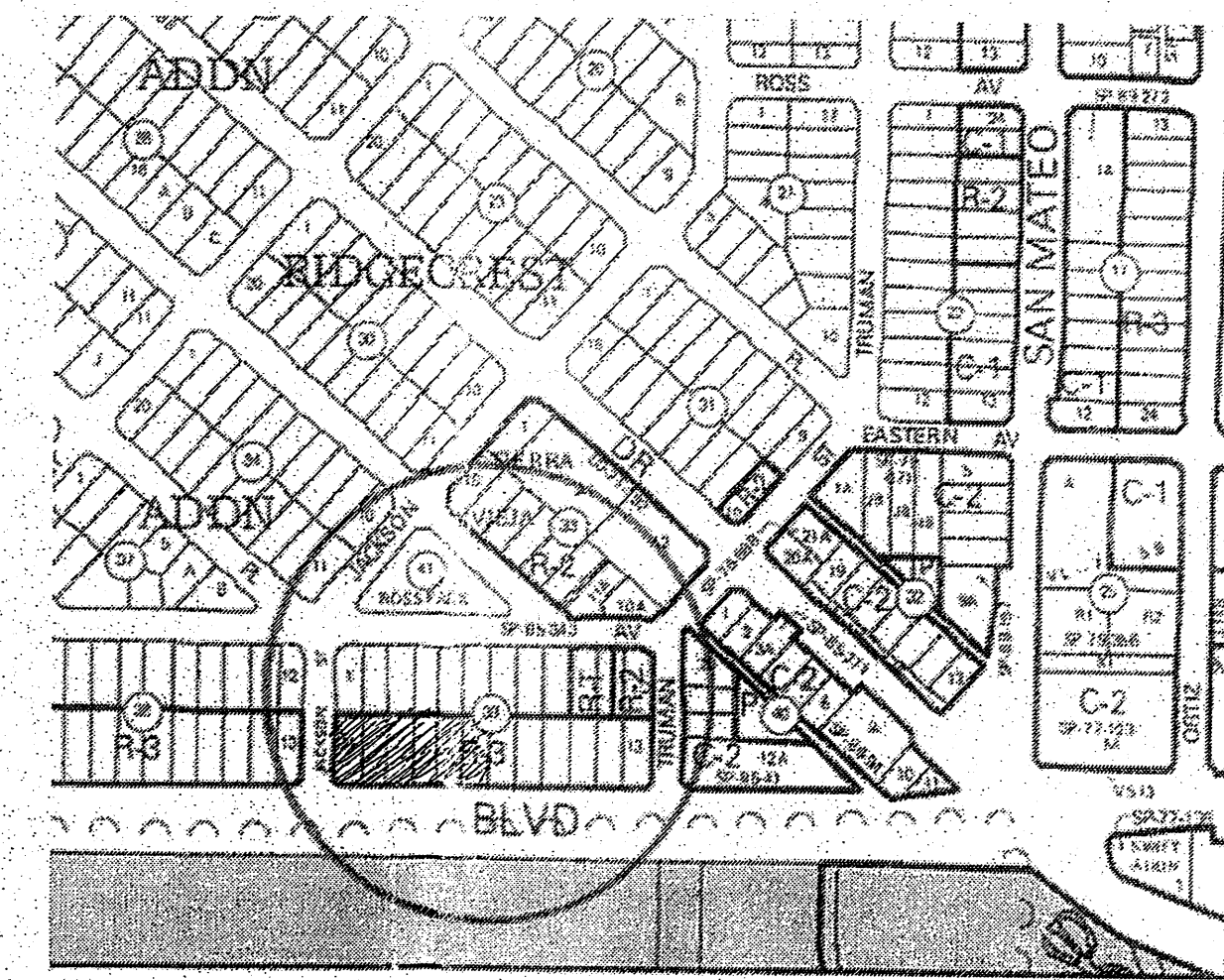
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- Landscaping.
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- Slab at Sprinkler Room door.
- Bike rack (8 each).
- Existing ADA ramp, rebuild to CABQ Standard 2441.
- Transformer pad.
- ADA accessible and pedestrian walkway minimum 6' - 0" wide.

SEE PHOTOS
A REVISED ADA WALK
B NEW 6" HIGH CURB PER
C W.I. FENCE
D GATE
E CONC. BUMPERS
F 6" CONC. WALK
G RAMP (NOT REQUIRED)
H REVISED SCALE: 1" = 20'
TRANSFORMER



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ZONE MAP L-17-Z RIDGECREST ADDITION ZONING R-3

EXECUTIVE SUMMARY

Drainage Plan approval in process.

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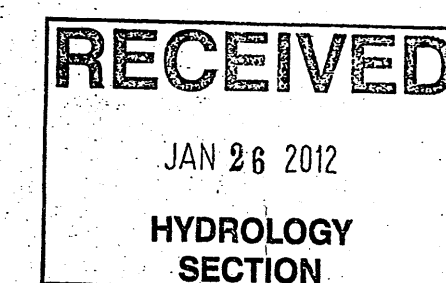
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PARKING REQUIRED

West Lot	27
East Lot	18
Subtotal:	45
Transit credit 10% =	5
Parking provided:	50 Cars Total
Motorcycle	2
Bikerack	15

LANDSCAPING REQUIRED

LOT SIZE:	0.9172 AC x 43,560 =	39,953 SF
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LANDSCAPE PROVIDED:		4,675 SF



CITY OF ALBUQUERQUE
BUILDING & SAFETY
NOV 30 2012
I.B.C.
LAND DEVELOPMENT SECTION

APPROVED COPY

RANCHO DEL CIELO APARTMENTS

4801 GIBSON SE
ALBUQUERQUE, NEW MEXICO
PAIZ CONSTRUCTION
PHONE: 505-480-7311

St Price DESIGN STUDIO
Joseph B. Burwinkle Jr.
ARCHITECT
3700 Coors Blvd. NW Suite E
Albuquerque, New Mexico 87120 505.345.3850

DRAWN
JBB/BJP/STP
CHECKED
DATE
01-20-12
SCALE
1" = 20'-0"
JOB NO.
11-16
SHEET

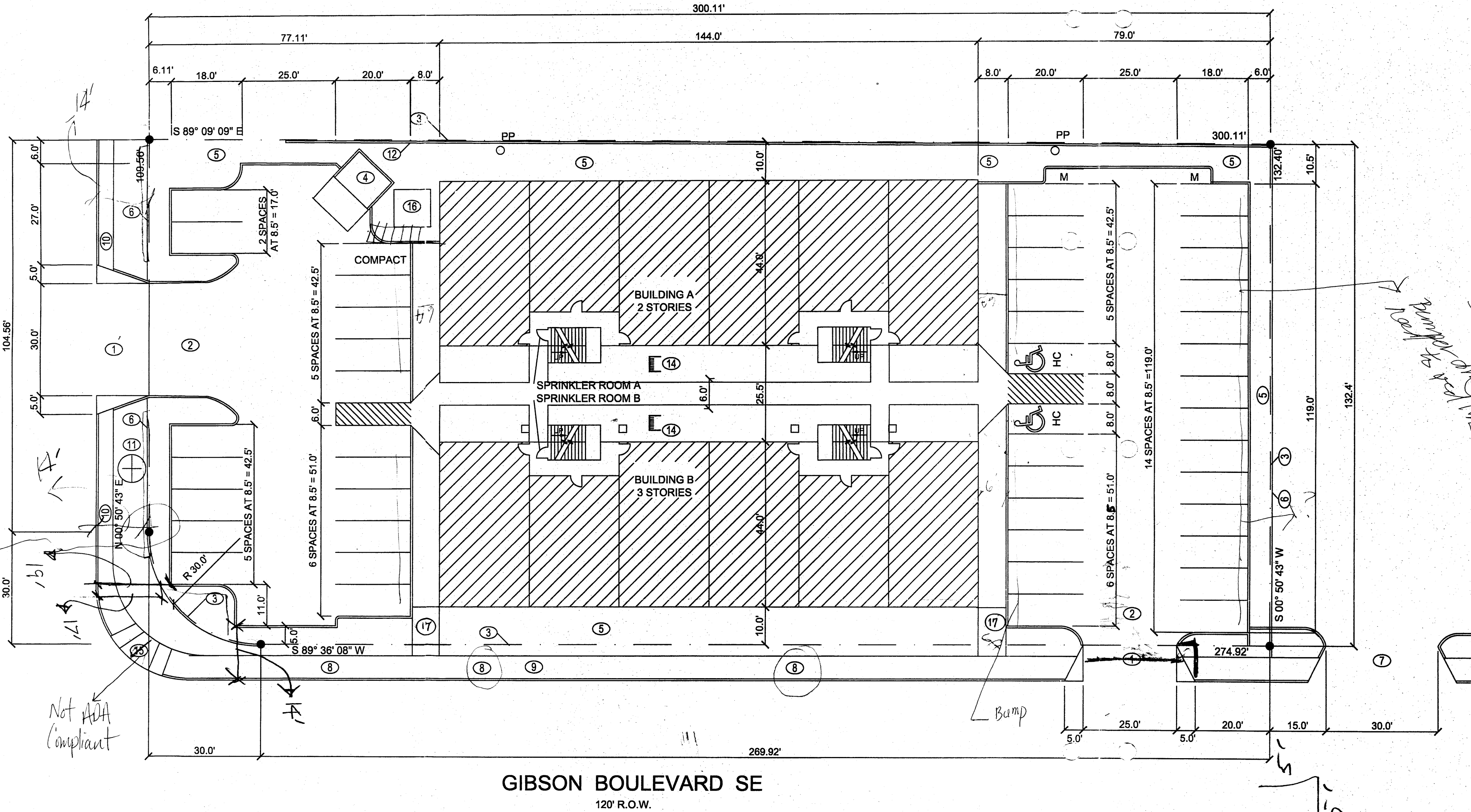
1

JACKSON STREET SE
60' R.O.W.

13'-2 1/2"
wall

Not ADA
Compliant

13'-0"



TRAFFIC CIRCULATION LAYOUT

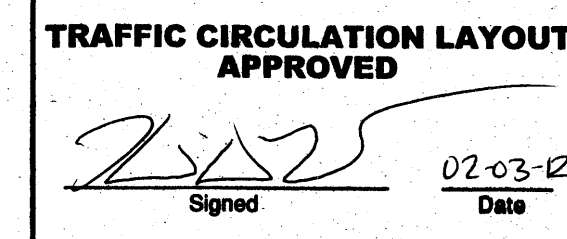
SCALE: 1" = 20'

LEGAL DESCRIPTION

4801 GIBSON BLVD. SE
LOT 24 A, BLOCK 39
RIDGECREST ADDITION
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NM
UPC: 1 017 056 424 010 4031

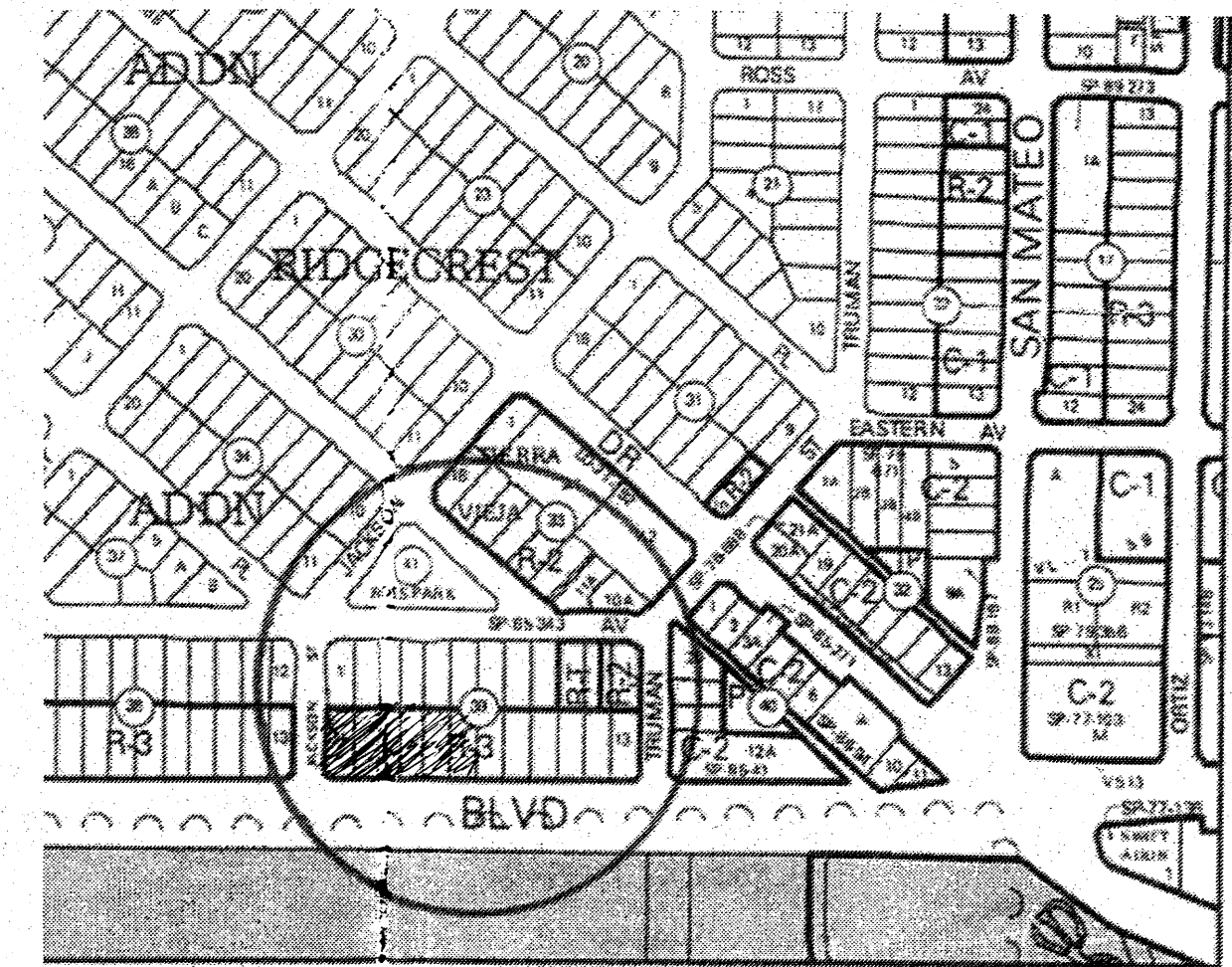
TCL LEGEND

- ALA
Access
1. Concrete driveway per Drawing 2425.
 2. Asphalt.
 3. Property line.
 4. Refuse enclosure and apron as per CABQ Solid Waste Drawing.
 5. Landscaping.
 6. Existing concrete curb.
 7. Adjacent property's existing driveway.
 8. Remove existing driveways.
 9. Existing 6'-wide sidewalk.
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 14. Bike rack (8 each).
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 16. Transformer pad.
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ZONE MAP L-17-Z RIDGECREST ADDITION ZONING R-3

NTS

EXECUTIVE SUMMARY

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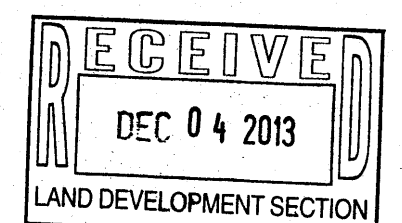
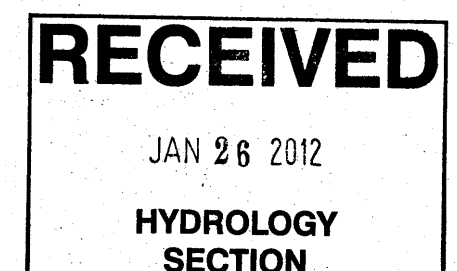
PARKING REQUIRED

West Lot	27
East Lot	18
Subtotal:	45
Transit credit 10% =	5
Parking provided:	50 Cars Total

Motorcycle	2
Bikerack	15

LANDSCAPING REQUIREMENT

LOT SIZE:	0.9172 AC x 43,560 =	39,953 SF
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LANDSCAPE PROVIDED:		4,675 SF



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Albuquerque, New Mexico 87120 505.345.3850

DRAWN
JBB/BJP/STP

CHECKED

DATE

01-20-12

SCALE

1" = 20'-0"

JOB NO.

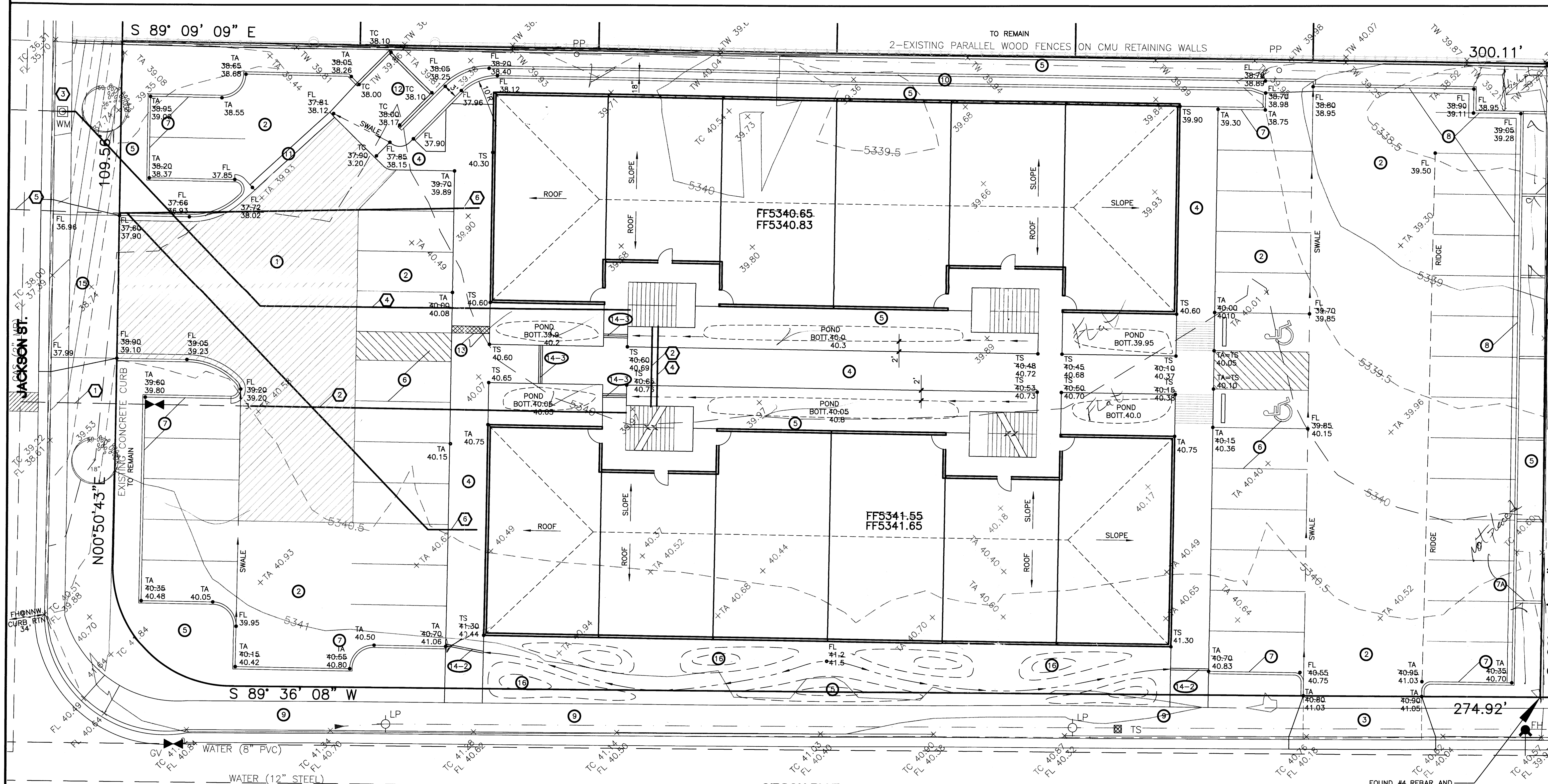
11-16

SHEET

1

SHEETS

GRADING PLAN



KEYED NOTES

- SITE GRADING, DRAINAGE & PAVING**
1. INSTALL ASPHALT PAVEMENT - HEAVY DUTY (HATCHED AREA). SEE DETAIL SHEET C-5.
 2. INSTALL ASPHALT PAVEMENT - LIGHT DUTY. SEE DETAIL SHEET C-5.
 3. REMOVE EXISTING SIDEWALK AND CURB & GUTTER FROM FIRST JOINT WEST OF TO FIRST JOINT EAST OF EXISTING DRIVEPAD AND BUILD SIDEWALK (AND DRIVEPAD AT NEW EASTERLY PARKING AREA) PER COA STD. DET. 2425, SECTION D-D.
 4. TURNDOWN SIDEWALK. SEE DETAIL SHEET C-5.
 - 4A. SIDEWALK. SEE DETAIL SHEET C-5.
 5. LANDSCAPED AREA. SEE ARCHITECTURAL. ALIGN SWALES TO BE CONGRUENT WITH LANDSCAPE DESIGN.
 6. PAINTED PARKING STRIPING. SEE TRAFFIC CIRCULATION LAYOUT.
 7. BUILD CONCRETE HEADER CURB. SEE DETAIL SHEET C-5.
 - 7A. BUILD CONCRETE HEADER CURB. SET TOP OF CURB 1/2" HIGHER THAN TOP OF ADJACENT CURBS. FINISHED EARTH SURFACE (AFTER LANDSCAPING) SHALL BE LEVEL AND 1" BELOW LOWEST TOP OF CURB IN EACH PLANTER.
 8. BUILD CONCRETE CURB & GUTTER. SEE DETAIL SHEET C-5.
 9. REMOVE EXISTING CONCRETE DRIVEPAD. BUILD NEW STANDARD CURB AND GUTTER AND CONCRETE SIDEWALK PER COA STD. DWG. 2415A AND 2430 RESPECTIVELY.
 10. BUILD 18" CONCRETE CHANNEL. SEE DETAIL SHEET C-5. TAPER FROM 30" WIDTH (IN 36") AT EAST END AND TO 36" WIDTH (THRU CURVE) AT WESTERLY END OF CHANNEL.
 11. BUILD VALLEY GUTTER. SEE DETAIL SHEET C-5.
 12. BUILD REFUSE ENCLOSURE PER COA SOLID WASTE STANDARDS.
 13. 12" PLATE SIDEWALK-CULVERT. SEE DETAIL SHEET C-5.
 14. PIPE-SIDEWALK CULVERT. NUMBER OF PIPES SHOWN w/HYPEN IN KEY. SEE DETAIL SHEET C-5.
 15. REMOVE EXISTING SIDEWALK AND CURB & GUTTER FROM FIRST JOINT SOUTH OF TO FIRST JOINT NORTH OF PROPOSED DRIVEPAD AND BUILD SIDEWALK (AND DRIVEPAD AT NEW EASTERLY PARKING AREA) PER COA STD. DET. 2425, SECTION D-D.
 16. LANDSCAPED BERMS. LOCATION AND CONFIGURATION TO BE ALTERED TO BE CONGRUENT WITH LANDSCAPE PLAN.
- NOTE: ALL TOP OF CURB ELEVATIONS ARE 6" ABOVE ADJACENT TOP OF ASPHALT UNLESS OTHERWISE SHOWN.

SITE WATER AND SEWER

1. 6" FIRE LINE BUILT UNDER ABCWUA MINI-WORK ORDER PROJECT.
2. BUILD 6" PVC PRIVATE FIRE LINE FROM WORK ORDER LINE TO MECHANICAL ROOMS. ALIGN TO MATCH FIRE SPRINKLER SYSTEM LOCATION IN MECHANICAL ROOMS.
3. EXISTING 3" WATER SERVICE FROM PREVIOUS APARTMENT COMPLEX.
4. BUILD 3" YARD LINE FROM METER TO MECHANICAL ROOM. ALIGN TO MATCH DOMESTIC WATER SYSTEM LOCATION IN MECHANICAL ROOMS.
5. EXISTING 6" PVC SANITARY SEWER SERVICE FROM PREVIOUS APARTMENT COMPLEX.
6. BUILD 6" PVC SANITARY SEWER YARD LINES AND CLEANOUTS FROM EXISTING SERVICE TO BUILDING OUTFALLS.

GENERAL

SEE ARCHITECTURAL SITE PLAN FOR SITE DIMENSIONS.

SITE DRAINAGE DATA

CONDITION	STORM RETURN PERIOD	TREATMENT TYPE	TREATMENT AREA	EXCESS PRECIPITATION	PEAK RUNOFF	RUNOFF VOLUME	RUNOFF RATE
	year	(table 4)	sq. ft.	(table 8)	(table 9)	cu. ft.	cfs
EXISTING	10	A	39952	0.13	0.38	433	0.35
		B	0	0.28	0.95	0	0.00
		C	0	0.52	1.71	0	0.00
		D	0	1.34	3.14	0	0.00
		TOTAL	39952			433	0.35
DEVELOPED	100	A	39952	0.53	1.56	1765	1.43
		B	0	0.78	2.28	0	0.00
		C	0	1.13	3.14	0	0.00
		D	0	2.12	4.7	0	0.00
		TOTAL	39952			1765	1.43
	10	A	0	0.13	0.38	0	0.00
		B	7634	0.28	0.95	178	0.17
		C	0	0.52	1.71	0	0.00
		D	32318	1.34	3.14	3609	2.33
		TOTAL	39952			3787	2.50
	100	A	0	0.53	1.56	0	0.00
		B	7634	0.78	2.28	496	0.40
		C	0	1.13	3.14	0	0.00
		D	32318	2.12	4.7	5710	3.49
		TOTAL	39952			6206	3.89

PERMANENT BENCHMARK

ACS 25-117 ELEVATION 5324.173 NAVD 88

LEGAL DESCRIPTION

LOT 24A, BLOCK 39, RIDGECREST ADDITION

LEGEND

- TBM TEMPORARY BENCHMARK
 FF FINISH FLOOR
 FG FINISH GRADE
 FL FLOWLINE
 TA TOP OF ASPHALT
 TC TOP OF CONCRETE
 BC TOP BACK OF CURB
 TP TOP OF EARTH PAD
 TS TOP OF SIDEWALK
 TW TOP OF WALL
 FH FIRE HYDRANT
 WM WATER METER
 WV WATER VALVE
 MH MANHOLE
 CB CATCH BASIN GRATE
 GM GAS METER
 GV GAS VALVE
 LP LIGHT POLE
 PP POWER POLE
 GW GUY WIRE
 PED ELEC. OR TEL. PEDESTAL
 RD ROOF DRAINAGE POINT
 FEM FLOODPLAIN BOUNDARY
 DBS DRAINAGE BASIN BOUNDARY
 ERL EROSION SETBACK LINE
 EXC EXISTING CONTOUR
 PRO PROPOSED CONTOUR
 XX.XX EXISTING SPOT ELEVATION
 XX.XX PROPOSED SPOT ELEVATION
 -XX-XX RECORD SPOT ELEVATION

DRAINAGE NOTES

1. THE SITE WAS PREVIOUSLY USED FOR APARTMENTS WHICH WERE RECENTLY DESTROYED BY FIRE. THE SITE IS PRESENTLY VACANT AND SLOPES DOWNWARD TO THE NORTH. THE PROPOSED USE IS MULTIFAMILY RESIDENTIAL WITH MOST OF THE SITE BEING IMPERVIOUS SURFACES AND SOUTHWEST LANDSCAPING.
2. THE PEAK DISCHARGE RATE WILL INCREASE BY 1.01 AND 1.06 CFS FOR THE 10 YEAR AND 100 YEAR STORMS RESPECTIVELY AND THE HOUR RUNOFF VOLUMES FOR THE 10 YEAR AND 100 YEAR STORM WILL INCREASE BY 1583 AND 2097 CUBIC FEET RESPECTIVELY.
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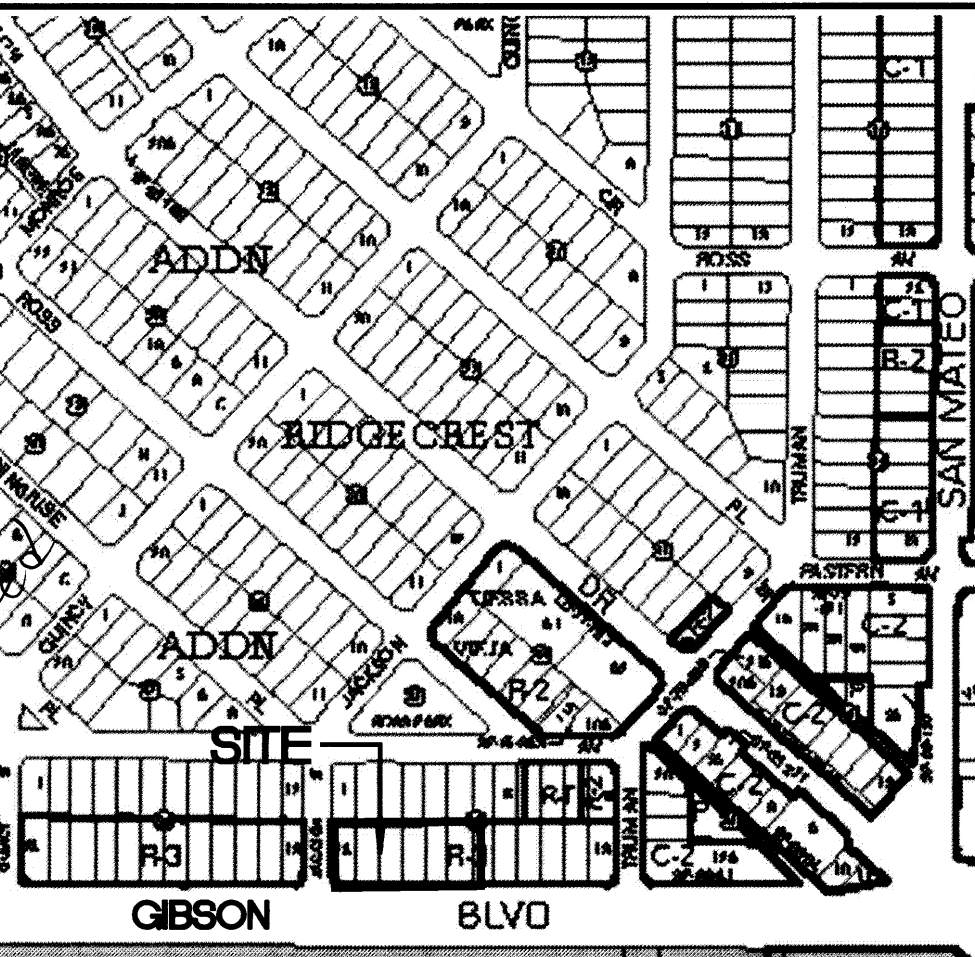
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VICINITY MAP NO. L-17



FEMA FIRM PANEL NO. 362



ENGINEER'S CERTIFICATION

I, JEAN J. BORDENAVE, NPE&LS NO. 5110, OF THE FIRM BORDENAVE DESIGNS, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED FEBRUARY 21, 2012. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

EXCEPTIONS AND/OR QUALIFICATIONS:

- THE WATER HARVESTING AREAS BETWEEN THE BUILDINGS ARE NARROWER AND SHALLOWER DU TO WIDENING OF THE STAIRS TO ACCOMMODATE MOVERS.
- THE ENTIRE PARKING LOT WAS PAVED WITH PORTLAND CEMENT CONCRETE INSTEAD OF ASPHALT CONCRETE AND IS APPROXIMATELY 0.2 FT. HIGHER THAN THE DESIGN ELEVATION.
- THE RECORD INFORMATION PRESENTED ON THE EDITED DESIGN DOCUMENT IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE EDITED DESIGN DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



DESIGN STUDIO 2011
 3700 CORE BLVD. NW, SUITE E
 ALBUQUERQUE, NEW MEXICO 87120
 505.945.3650

ST Price
 Joseph B. Burwinkel Jr.
 ARCHITECT

PERMIT
 10/31/11

GIBSON APARTMENTS
 4801 GIBSON SE
 ALBUQUERQUE, NEW MEXICO

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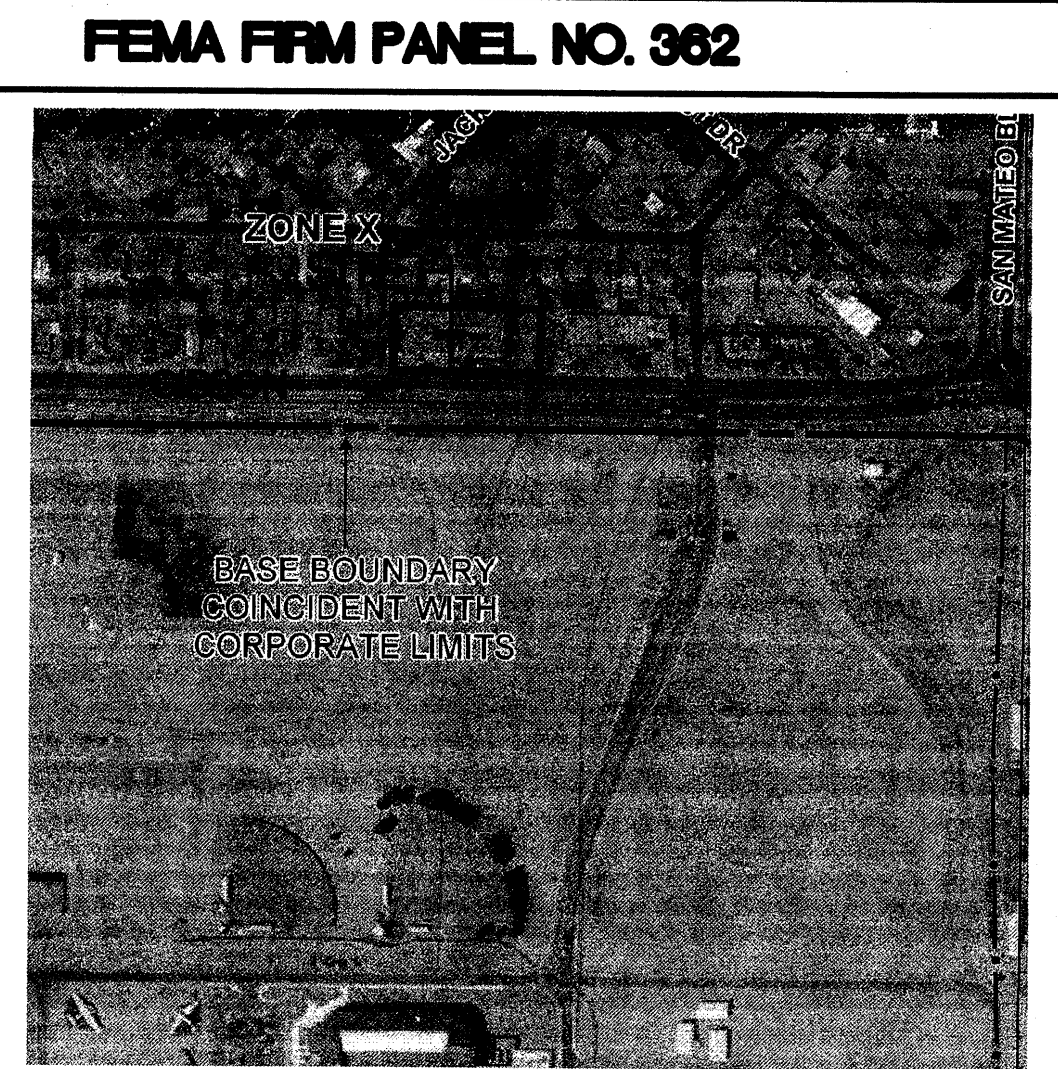
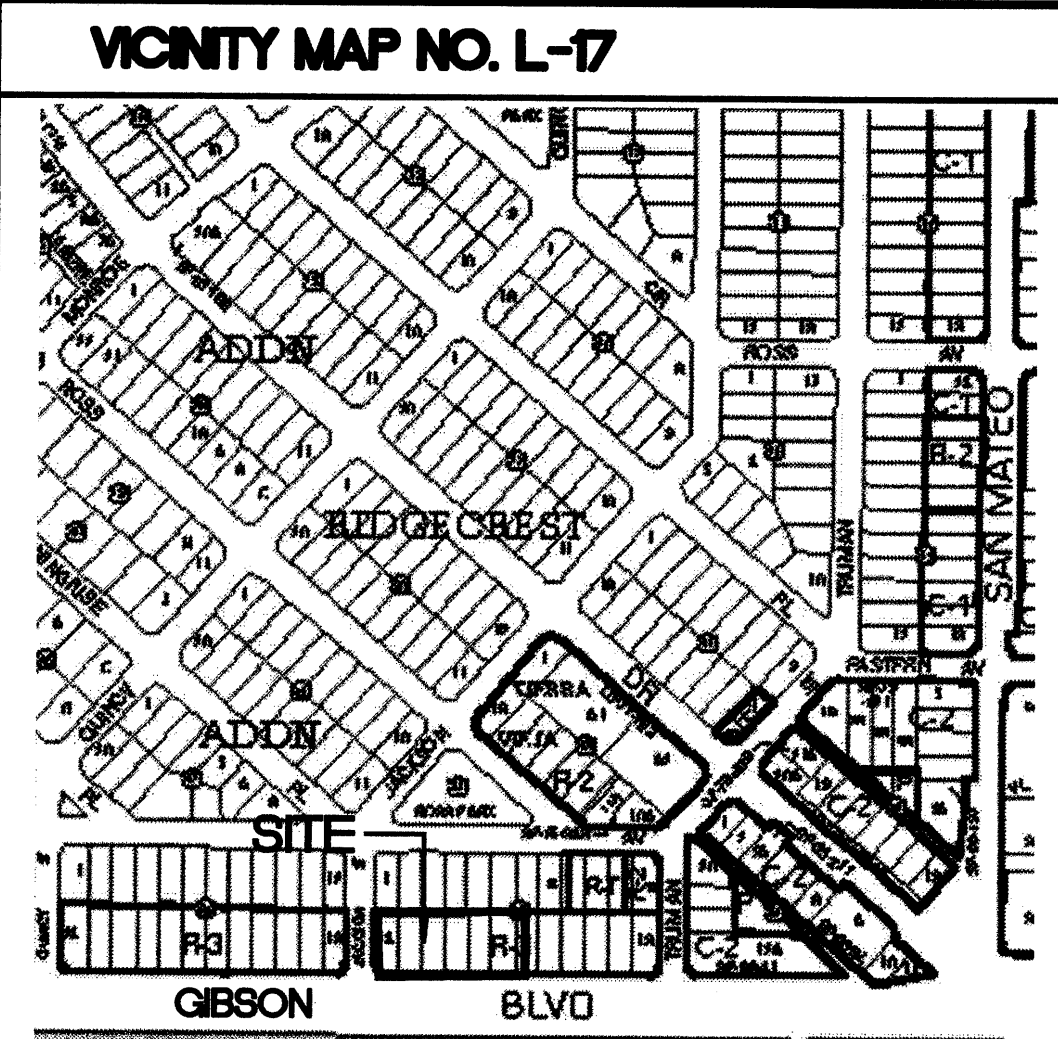
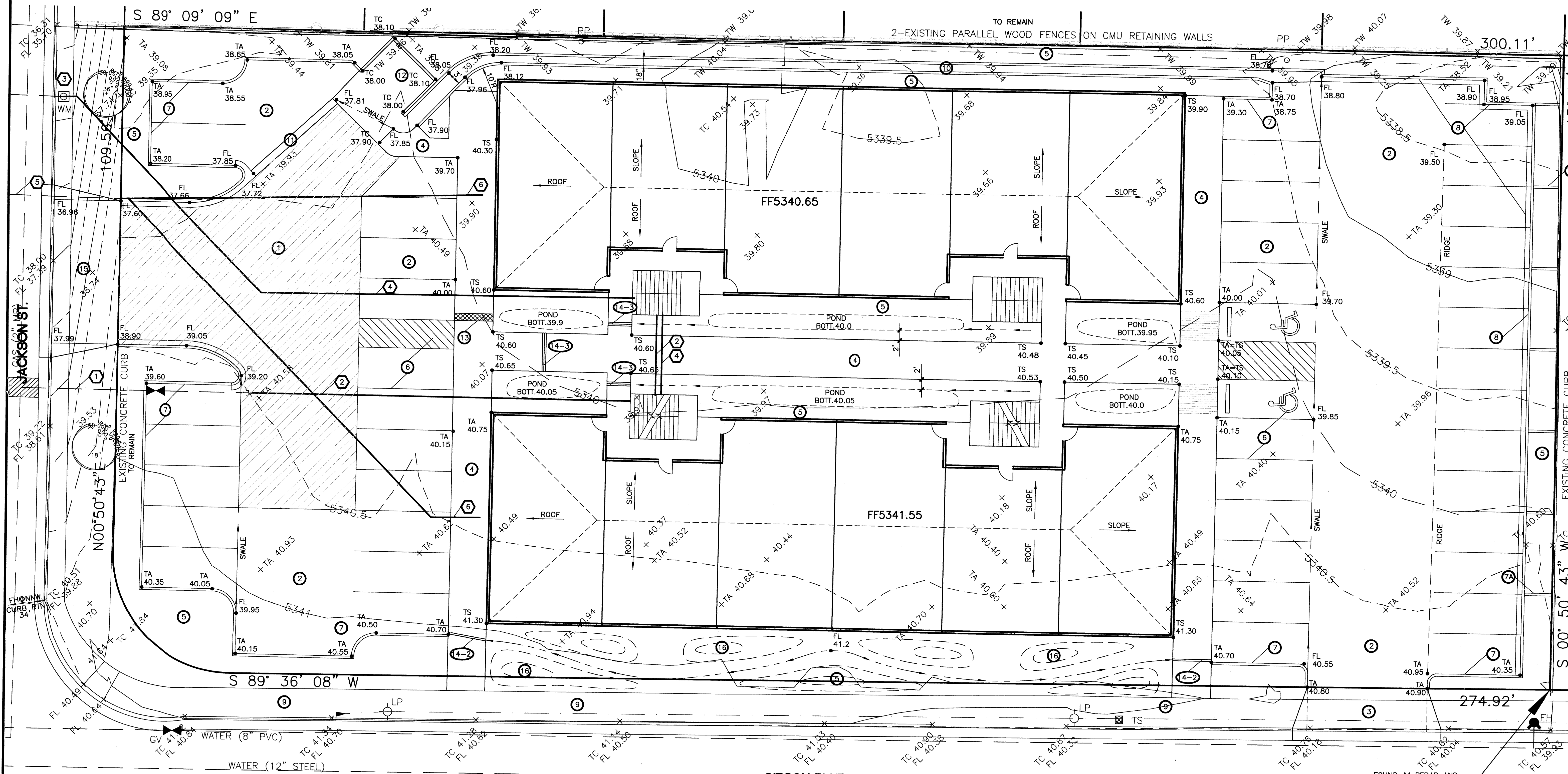
DATE
 12.12.11

SCALE
 11-16

SHEET
 9

C-4

GRADING PLAN



ENGINEER'S CERTIFICATION

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KEYED NOTES

SITE GRADING, DRAINAGE & PAVING

1. INSTALL ASPHALT PAVEMENT - HEAVY DUTY (HATCHED AREA). SEE DETAIL SHEET C-5.
2. INSTALL ASPHALT PAVEMENT - LIGHT DUTY. SEE DETAIL SHEET C-5.
3. REMOVE EXISTING SIDEWALK AND CURB & GUTTER FROM FIRST JOINT WEST OF TO FIRST JOINT EAST OF EXISTING DRIVEPAD AND BUILD SIDEWALK (AND DRIVEPAD AT NEW EASTERLY PARKING AREA) PER COA STD. DET. 2425, SECTION D-D.
4. TURNDOWN SIDEWALK. SEE DETAIL SHEET C-5.
- 4A. SIDEWALK. SEE DETAIL SHEET C-5.
5. LANDSCAPED AREA. SEE ARCHITECTURAL. ALIGN SWALES TO BE CONGRUENT WITH LANDSCAPE DESIGN.
6. PAINTED PARKING STRIPING. SEE TRAFFIC CIRCULATION LAYOUT.
7. BUILD CONCRETE HEADER CURB. SEE DETAIL SHEET C-5.
- 7A. BUILD CONCRETE HEADER CURB. SET TOP OF CURB 1/2" HIGHER THAN TOP OF ADJACENT CURBS. FINISHED EARTH SURFACE (AFTER LANDSCAPING) SHALL BE LEVEL AND 1" BELOW LOWEST TOP OF CURB IN EACH PLANTER.
8. BUILD CONCRETE CURB & GUTTER. SEE DETAIL SHEET C-5.
9. REMOVE EXISTING CONCRETE DRIVEPAD. BUILD NEW STANDARD CURB AND GUTTER AND CONCRETE SIDEWALK PER COA STD. DWG. 2415A AND 2430 RESPECTIVELY.
10. BUILD 18" CONCRETE CHANNEL. SEE DETAIL SHEET C-5. TAPER FROM 30" WIDTH (IN 36") AT EAST END TO 36" WIDTH (THRU CURVE) AT WESTERLY END OF CHANNEL.
11. BUILD VALLEY GUTTER. SEE DETAIL SHEET C-5.
12. BUILD REFUSE ENCLOSURE PER COA SOLID WASTE STANDARDS.
13. 12" PLATE SIDEWALK-CULVERT. SEE DETAIL SHEET C-5.
14. PIPE-SIDEWALK CULVERT. NUMBER OF PIPES SHOWN w/HYPEN IN KEY. SEE DETAIL SHEET C-5.
15. REMOVE EXISTING SIDEWALK AND CURB & GUTTER FROM FIRST JOINT SOUTH OF TO FIRST JOINT NORTH OF PROPOSED DRIVEPAD AND BUILD SIDEWALK (AND DRIVEPAD AT NEW EASTERLY PARKING AREA) PER COA STD. DET. 2425, SECTION D-D.
16. LANDSCAPED BERMS. LOCATION AND CONFIGURATION TO BE ALTERED TO BE CONGRUENT WITH LANDSCAPE PLAN.

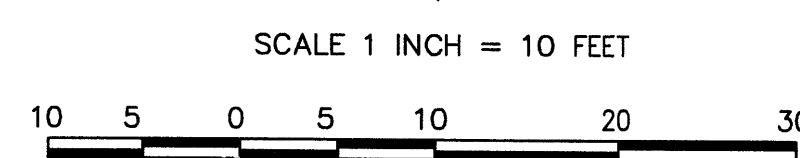
NOTE: ALL TOP OF CURB ELEVATIONS ARE 6" ABOVE ADJACENT TOP OF ASPHALT UNLESS OTHERWISE SHOWN.

SITE WATER AND SEWER

1. 6" FIRE LINE BUILT UNDER ABCWUA MINI-WORK ORDER PROJECT.
2. BUILD 6" PVC PRIVATE FIRE LINE FROM WORK ORDER LINE TO MECHANICAL ROOMS. ALIGN TO MATCH FIRE SPRINKLER SYSTEM LOCATION IN MECHANICAL ROOMS.
3. EXISTING 3" WATER SERVICE FROM PREVIOUS APARTMENT COMPLEX.
4. BUILD 3" YARD LINE FROM METER TO MECHANICAL ROOM. ALIGN TO MATCH DOMESTIC WATER SYSTEM LOCATION IN MECHANICAL ROOMS.
5. EXISTING 6" PVC SANITARY SEWER SERVICE FROM PREVIOUS APARTMENT COMPLEX.
6. BUILD 6" PVC SANITARY SEWER YARD LINES AND CLEANOUTS FROM EXISTING SERVICE TO BUILDING OUTFALLS.

GENERAL

SEE ARCHITECTURAL SITE PLAN FOR SITE DIMENSIONS.



SITE DRAINAGE DATA

CONDITION	B	STORM	TREATMENT	TREATMENT	EXCESS	PEAK	RUNOFF	RUNOFF
	A	PERIOD	TYPE	AREA	PRECIPITATION	RUNOFF	VOLUME	RATE
	I	N	(table 4)	(table 8)	(table 9)			
EXISTING	S	10	A	39952	0.13	0.38	433	0.35
	I		B	0	0.28	0.95	0	0.00
	T		C	0	0.52	1.71	0	0.00
	E		D	0	1.34	3.14	0	0.00
			TOTAL	39952			433	0.35
		100	A	39952	0.53	1.56	1765	1.43
			B	0	0.78	2.28	0	0.00
			C	0	1.13	3.14	0	0.00
			D	0	2.12	4.7	0	0.00
			TOTAL	39952			1765	1.43
DEVELOPED	S	10	A	0	0.13	0.38	0	0.00
	I		B	7634	0.28	0.95	178	0.17
	T		C	0	0.52	1.71	0	0.00
	E		D	32318	1.34	3.14	3609	2.33
			TOTAL	39952			3787	2.50
		100	A	0	0.53	1.56	0	0.00
			B	7634	0.78	2.28	496	0.40
			C	0	1.13	3.14	0	0.00
			D	32318	2.12	4.7	5710	3.49
			TOTAL	39952			6206	3.89

PERMANENT BENCHMARK

ACS 25-L17 ELEVATION 5324.173 NAVD 88

LEGAL DESCRIPTION

LOT 24A, BLOCK 39, RIDGECREST ADDITION

CONCRETE CHANNEL FLOW

ENTRY (Broad Crested Weir)
BASINS A THRU D. SEE SHEET C-5 FOR FLOW DATA TABLE
 $Q = CULH^{3/2}$, where $Q=1.46$ cfs, $C=2.8$, $H=0.45$ ft
Therefore $L = 1.73$ ft
USE 30" CHANNEL AT ENTRY (PRIMARY FLOW AT 90° TO WEIR)

BARREL (Mannings)
 $Q = (1.49/n)AR^{2/3}S^{1/2}$, where $Q=1.86$ cfs, $n=0.013$, $W=1.5$ ft, $S=0.004$ ft/ft
Therefore flow depth = 0.42 ft and velocity = 2.95 fps
USE 18" WIDE CHANNEL

BARREL TAPER
Taper - 20 Degree Maximum
(2.50 - 1.50)/tan20 = 2.75 ft
USE 3" TAPER

SEE DRAINAGE DATA (SHEET C-5) FOR BASIN BOUNDARIES AND CALCULATIONS FOR SIDEWALK CULVERTS.

LEGEND

TBM	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TC	TOP OF CONCRETE
BC	TOP BACK OF CURB
TP	TOP OF EARTH PAD
TS	TOP OF SIDEWALK
TW	TOP OF WALL
FH	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE
MH	MANHOLE
CB	CATCH BASIN GRATE
GM	GAS METER
GV	GAS VALVE
LP	LIGHT POLE
PP	POWER POLE
GW	GUY WIRE
PED	ELEC. OR TEL. PEDESTAL
RD	ROOF DRAINAGE POINT
	FEMA FLOODPLAIN BOUNDARY
	DRAINAGE BASIN BOUNDARY
	EROSION SETBACK LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
XX.XX	EXISTING SPOT ELEVATION
XX.XX	PROPOSED SPOT ELEVATION
-XX.XX-	RECORD SPOT ELEVATION

DRAINAGE NOTES

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DATE: _____ BY: _____

DESIGN STUDIO 2011

St Price

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ARCHITECT

5700 Coors Blvd NW, Suite E
Albuquerque, New Mexico 87120

505.345.5800

GIBSON APARTMENTS

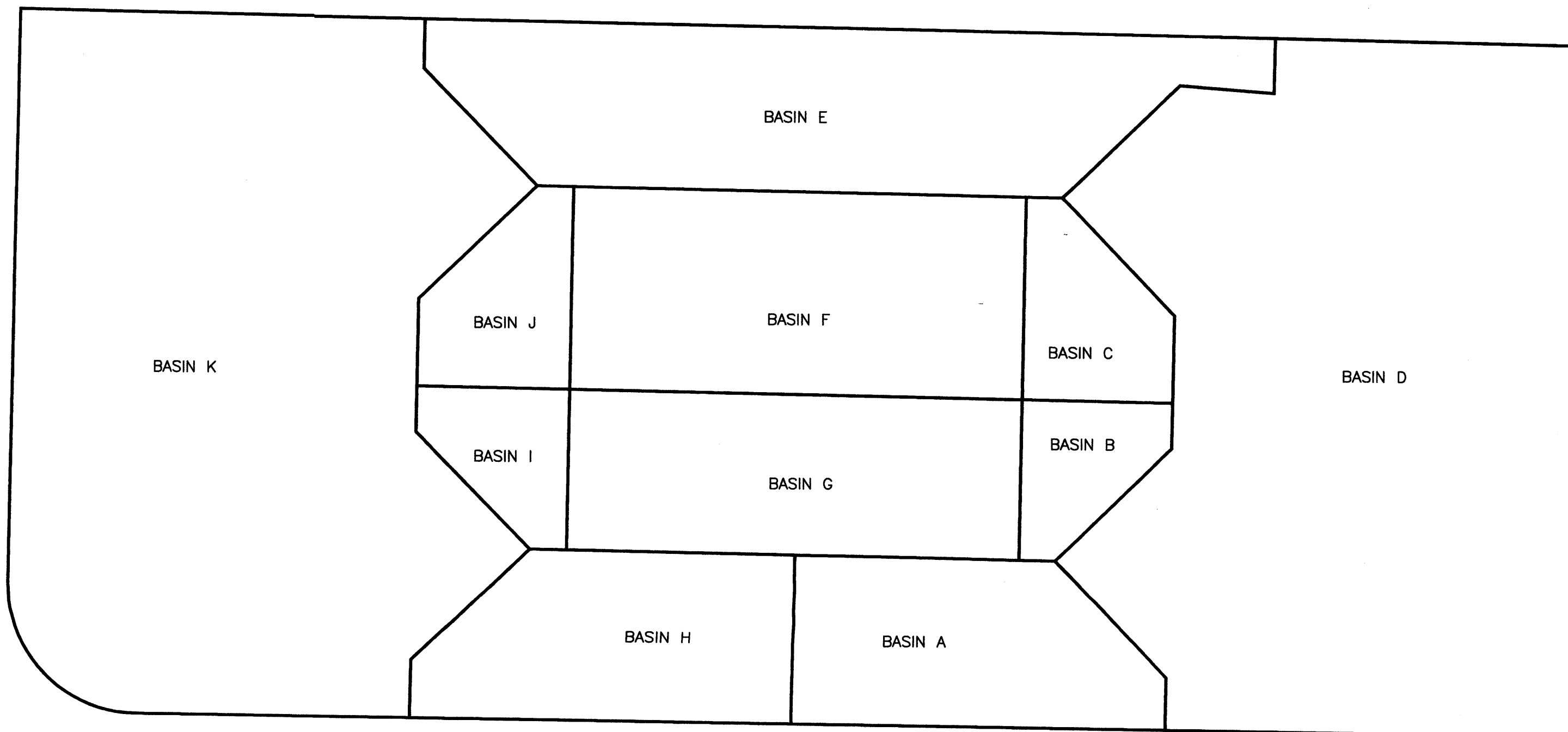
4801 GIBSON SE
ALBUQUERQUE, NEW MEXICO

DATE: 12.12.11

SCALE: 11-16

SHEET: 9

BASIN DRAINAGE DATA

basin map
1" = 20'

CONDITION	B	STORM	TREATMENT	TREATMENT	EXCESS	PEAK	RUNOFF	RUNOFF
A	I	PERIOD	TYPE	AREA	PRECIPITATION	RUNOFF	VOLUME	RATE
N	-	year	(table 4)	sq. ft.	(table 8)	(table 9)	cu. ft.	cfs
DEVELOPED	A	100	B	741	0.78	2.28	48	0.04
			D	1343	2.12	4.7	237	0.14
			TOTAL	2084			285	0.18
	B	100	B	213	0.78	2.28	14	0.01
			D	434	2.12	4.7	77	0.05
			TOTAL	647			91	0.06
	C	100	B	213	0.78	2.28	14	0.01
			D	665	2.12	4.7	117	0.07
			TOTAL	878			131	0.08
	D	100	B	1083	0.78	2.28	70	0.06
			D	10055	2.12	4.7	1776	1.08
			TOTAL	11138			1847	1.14
	E	100	B	1041	0.78	2.28	68	0.05
			D	3196	2.12	4.7	563	0.34
			TOTAL	4237			631	0.40
	F	100	B	629	0.78	2.28	41	0.03
			D	2712	2.12	4.7	479	0.29
			TOTAL	3341			520	0.33
	G	100	B	629	0.78	2.28	41	0.03
			D	2022	2.12	4.7	357	0.22
			TOTAL	2651			396	0.25
	H	100	B	789	0.78	2.28	51	0.04
			D	1336	2.12	4.7	236	0.14
			TOTAL	2125			287	0.19
	I	100	B	213	0.78	2.28	14	0.01
			D	435	2.12	4.7	77	0.05
			TOTAL	648			91	0.06
	J	100	B	213	0.78	2.28	14	0.01
			D	666	2.12	4.7	118	0.07
			TOTAL	879			132	0.08
	K	100	B	1870	0.78	2.28	122	0.10
			D	9464	2.12	4.7	1672	1.02
			TOTAL	11334			1794	1.12

PIPE-SIDEWALK CULVERT

SINGLE PIPE CAPACITY

$$Q = CA(2gh)^{1/2}, C = 0.6, A = 0.05 \text{ SQ. FT.}, g = 32.2 \text{ FT/SEC/SEC}, H = 0.25 \text{ FT.}$$

$$Q = 0.12 \text{ CFS}$$

BASIN PIPE SIDEWALK CULVERT REQUIREMENTS

BASIN A
Q = 0.18 CFS, USE 2 PIPESBASIN F
Q = 0.33 CFS, USE 3 PIPESBASIN G
Q = 0.25 CFS, USE 2 PIPESBASIN H
Q = 0.19 CFS, USE 2 PIPESBASIN I + G
Q = 0.31 CFS, USE 3 PIPES

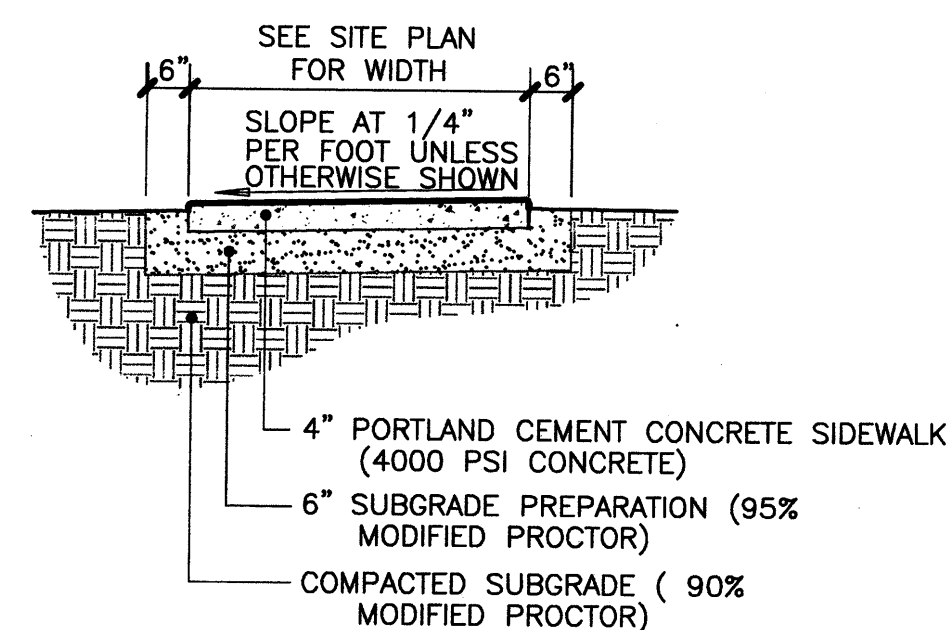
PLATE-SIDEWALK CULVERT

$$Q = CLH^{3/2}, C = 0.72 \text{ CFS}, L = 0.92 \text{ FT.}, H = 0.45$$

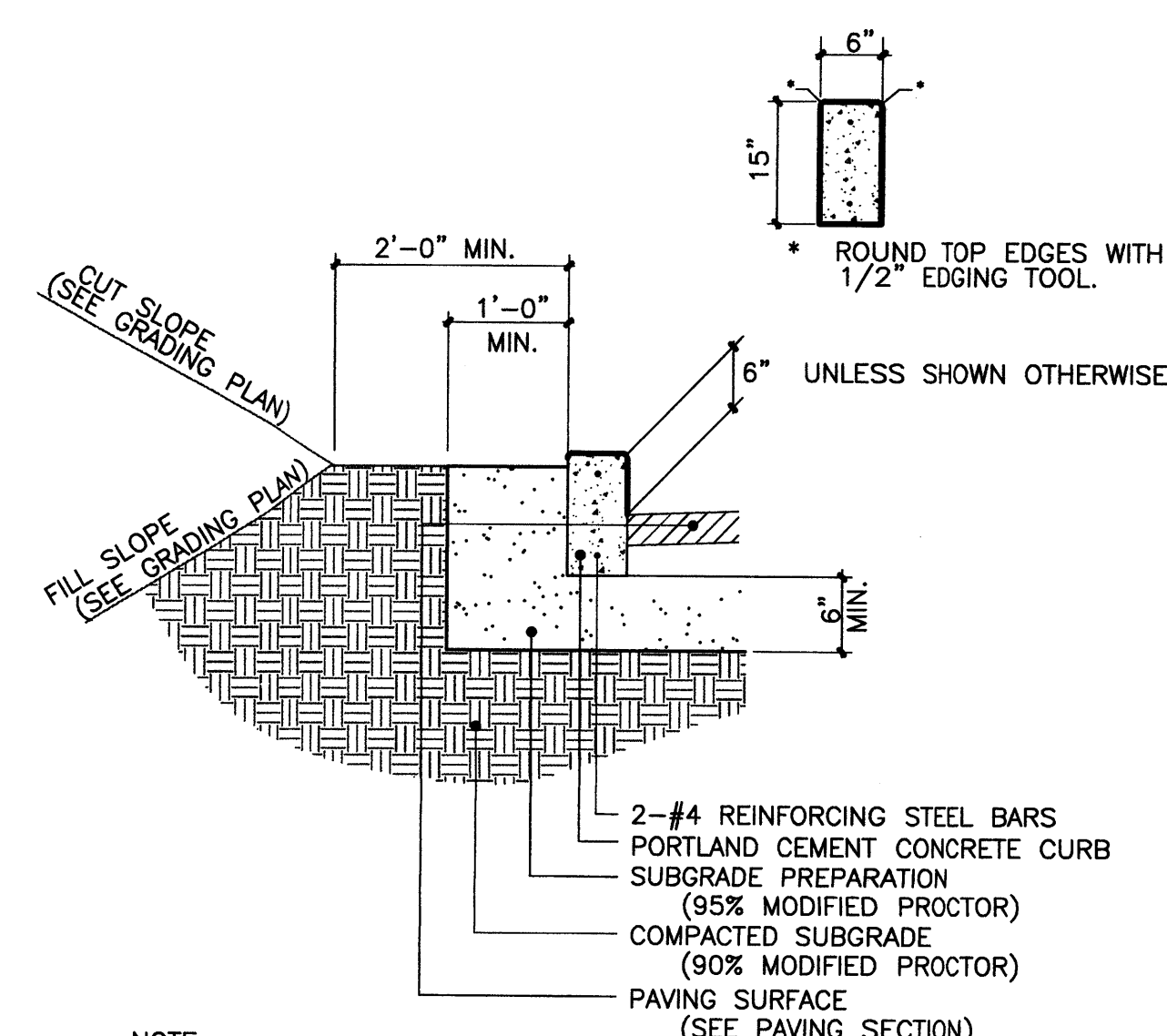
$$Q = 0.40$$

USE 12" CULVERT

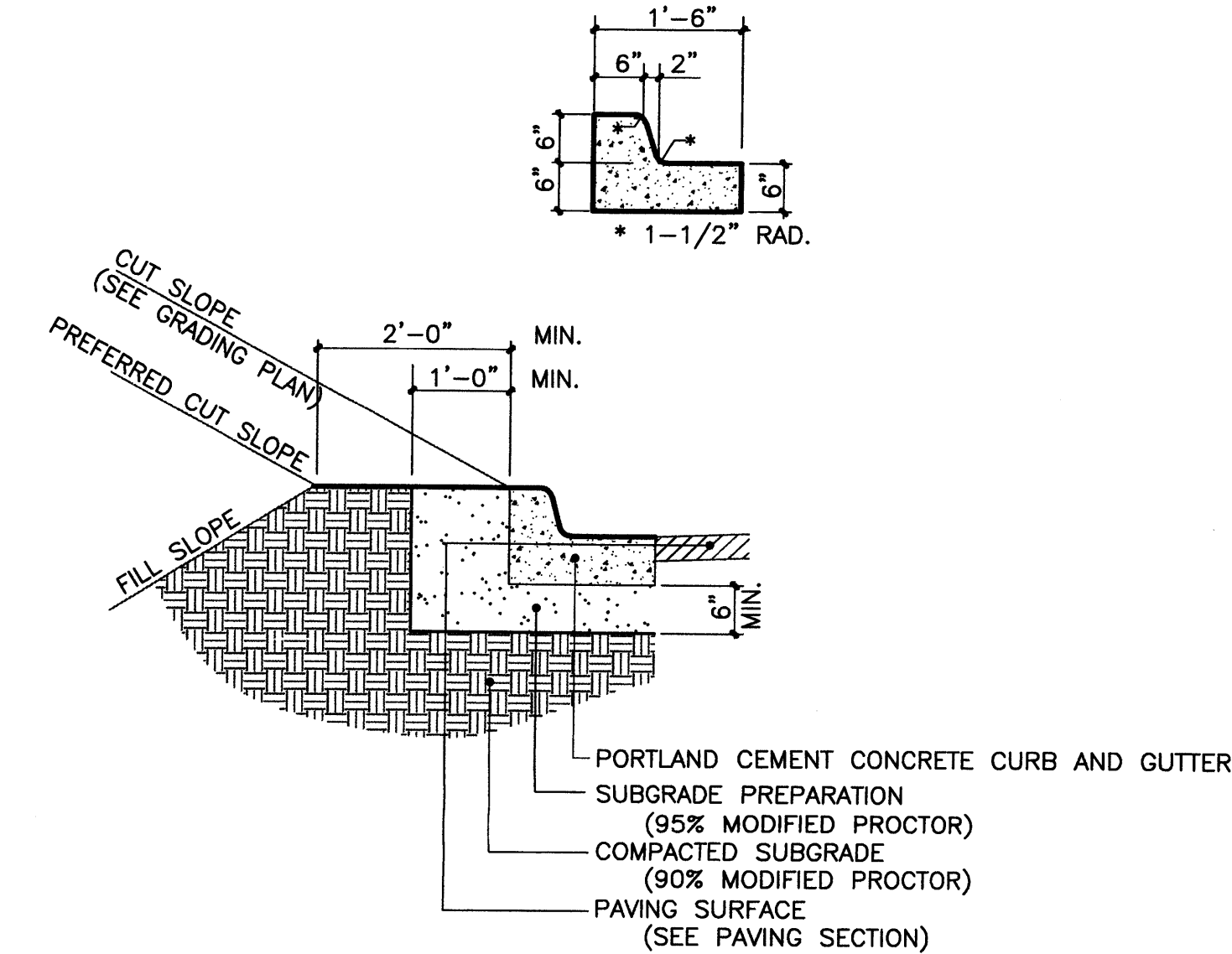
SIDEWALK

NOTE:
SEE ARCHITECTURAL SITE PLAN FOR JOINT PATTERN.

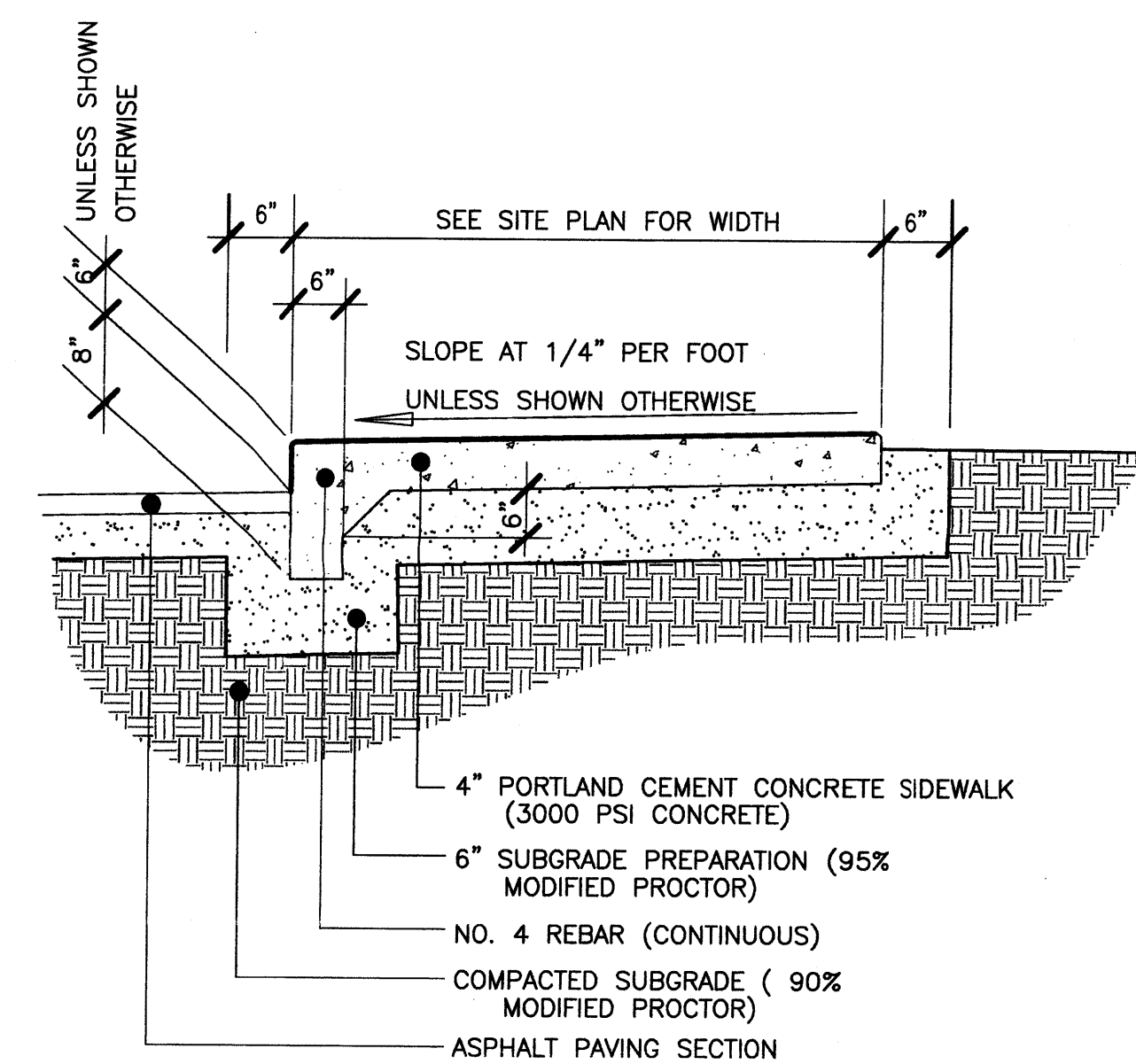
HEADER CURB

NOTE:
PROVIDE CONTRACTION JOINTS AT 5 FEET ON CENTER AND EXPANSION JOINTS AT 40 FEET ON CENTER UNLESS OTHERWISE STATED ON SITE PLANS OR IF CURB ABUTS SIDEWALK; WHERE CURB JOINTS SHALL MATCH SIDEWALK JOINTS.

CURB W/ GUTTER

NOTE:
PROVIDE CONTRACTION JOINTS AT 5 FEET ON CENTER AND EXPANSION JOINTS AT 40 FEET ON CENTER UNLESS OTHERWISE STATED ON SITE PLANS OR IF CURB ABUTS SIDEWALK WHERE CURB JOINTS SHALL MATCH SIDEWALK JOINTS.

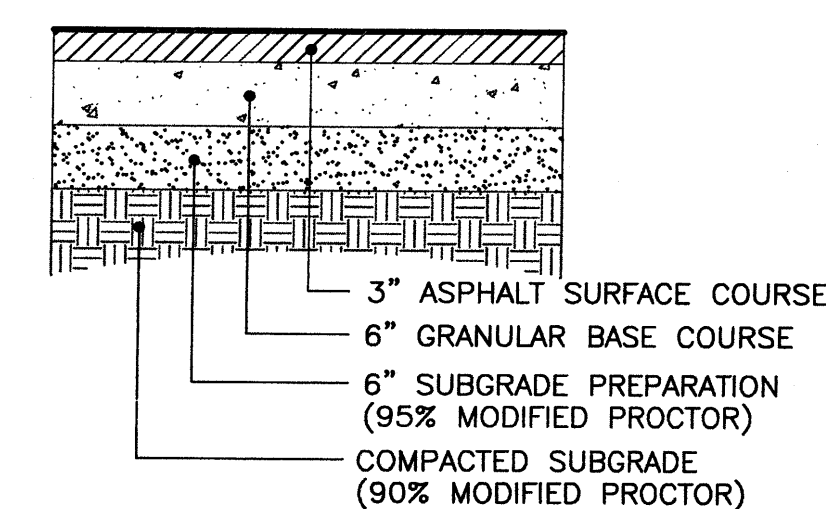
TURNDOWN SIDEWALK

NOTE:
SEE ARCHITECTURAL SITE PLAN FOR JOINT PATTERN.

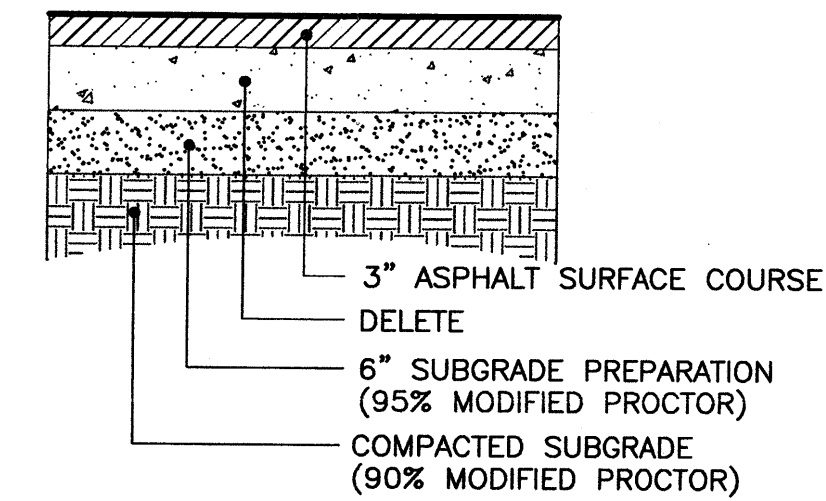
ASPHALT PAVEMENT

heavy duty

(HATCHED AREA ON GRADING PLAN.)



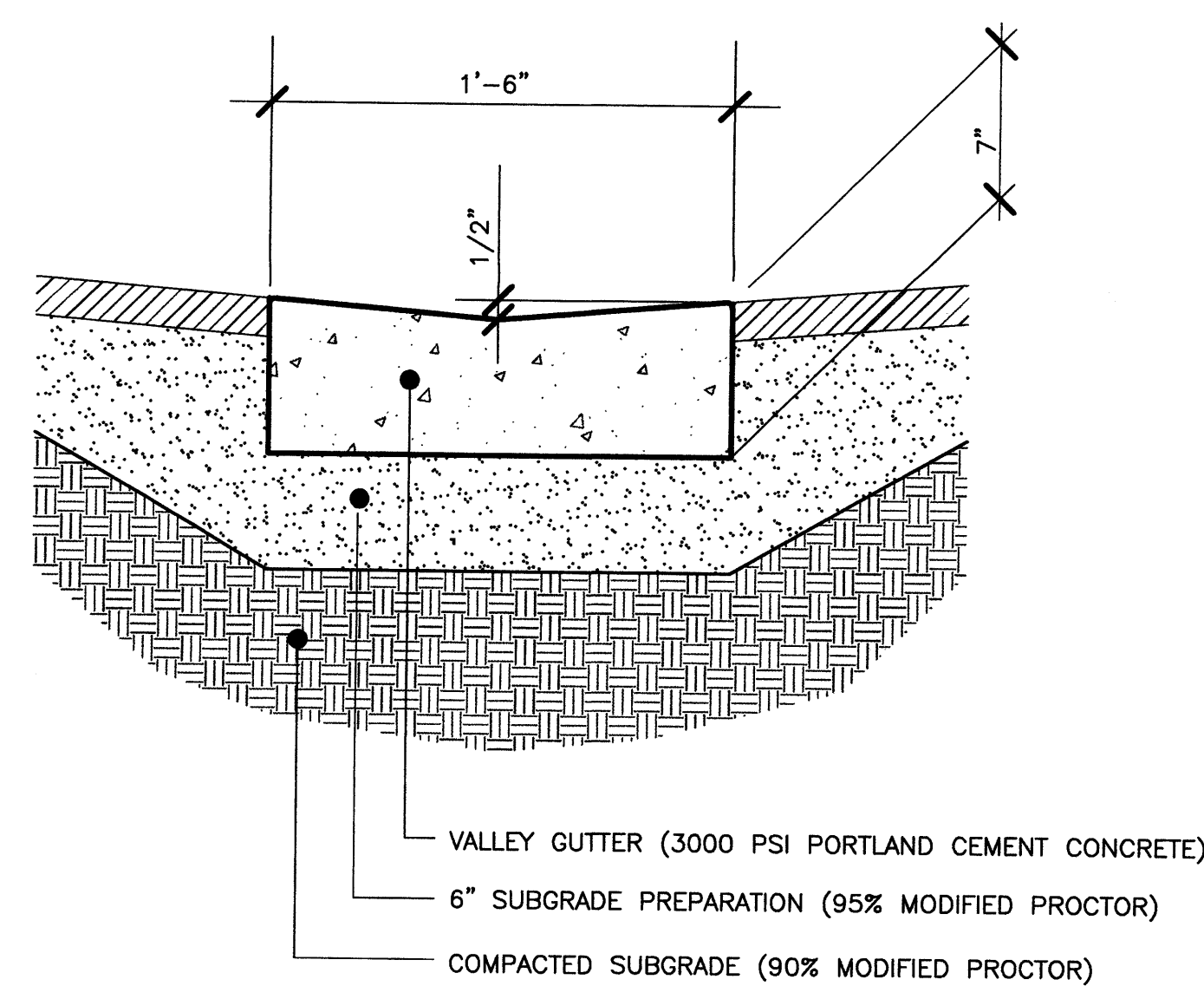
light duty



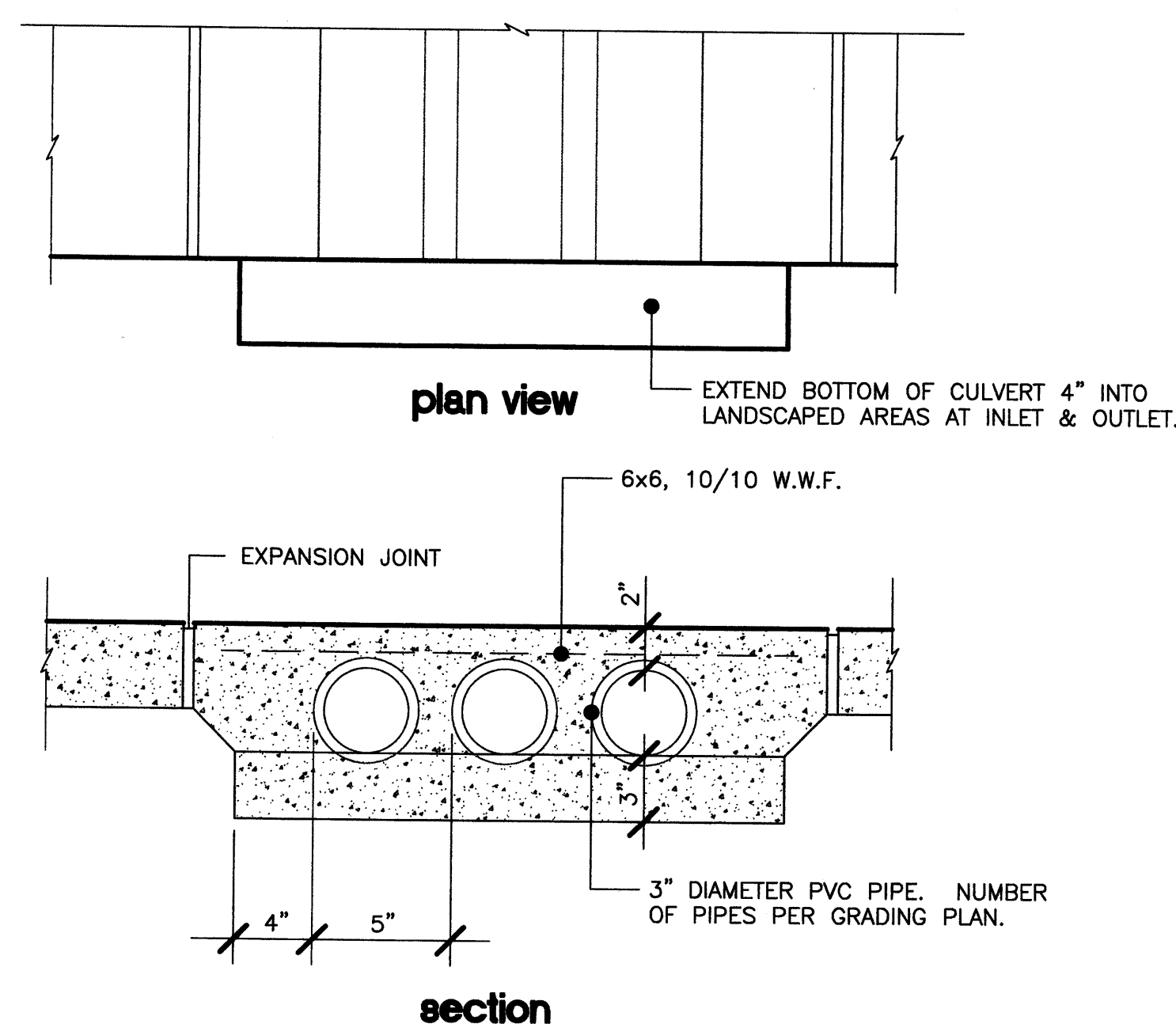
NOTES:

1. ASPHALT MIX SHALL USE COA DESIGN W/ 3/4" AGGREGATE AND HAVE A MARSHALL STABILITY GREATER THAN 1800 LBS.
2. ASPHALT CONCRETE COURSES GREATER THAN 3" IN THICKNESS SHALL BE PLACED WITH MULTIPLE LIFTS. MINIMUM LIFT THICKNESS 1 1/2".

CONCRETE VALLEY GUTTER



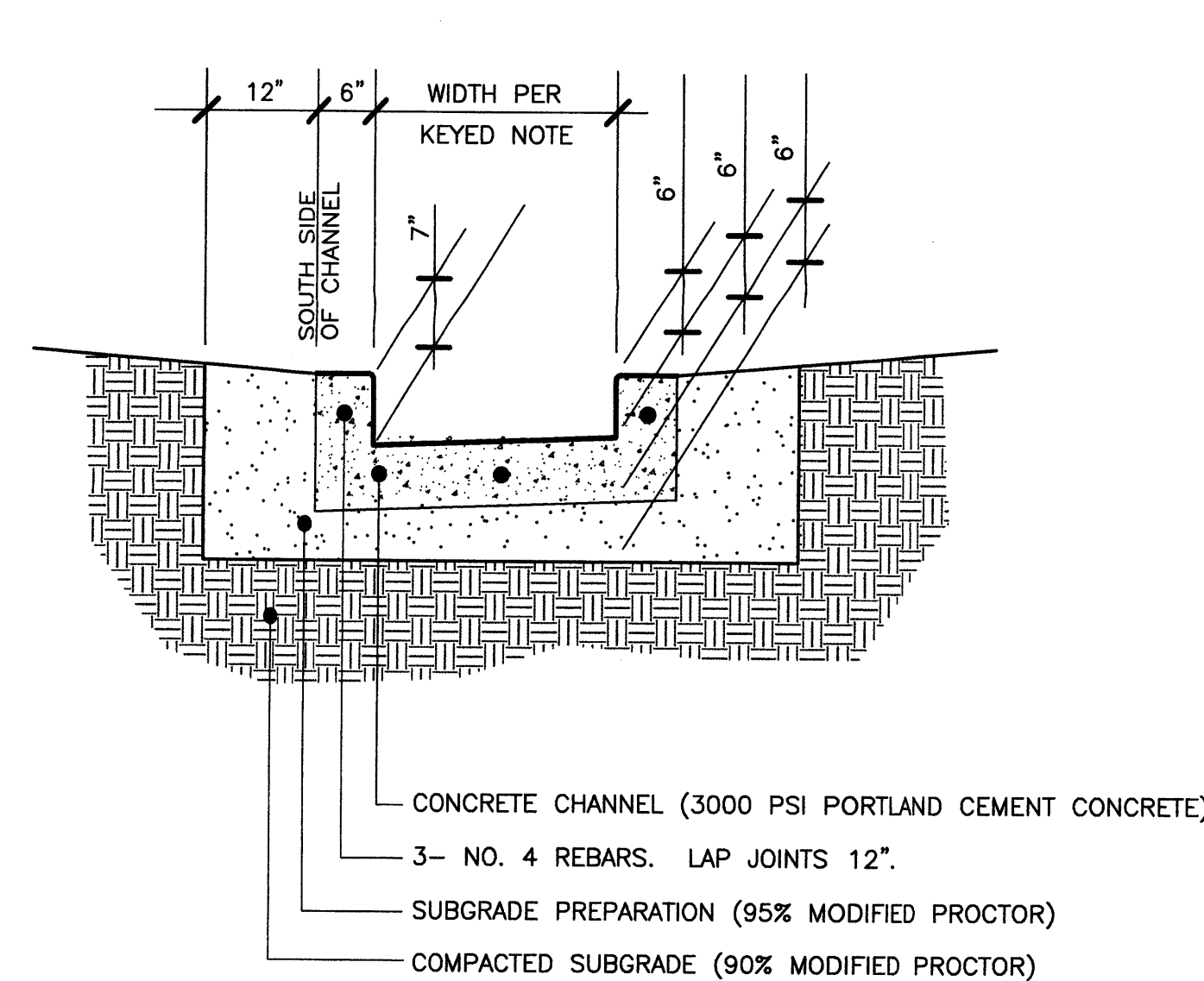
PIPE SIDEWALK CULVERT



NOTES:

1. AT INSTALLATIONS WHERE THE SIDEWALK CULVERT PENETRATES A CURB FACE, THE GUTTER SHALL BE POURED MONOLITHICALLY WITH THE SIDEWALK CULVERT.
2. VISIBLE SURFACES OF THE SIDEWALK CULVERT SHALL MATCH THE COLOR AND TEXTURE OF THE ADJACENT SIDEWALK

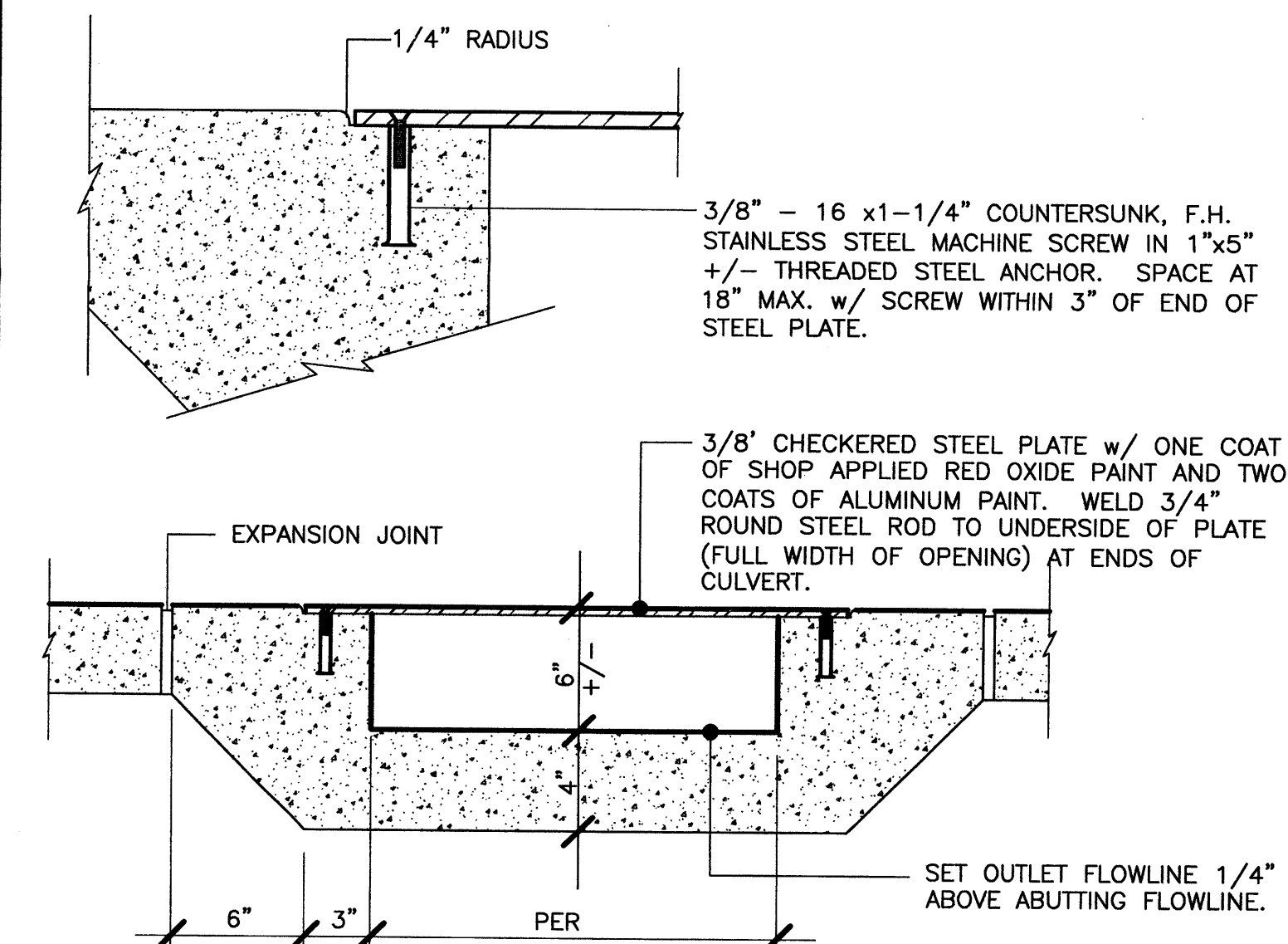
CONCRETE CHANNEL



NOTE:

1. AT INSTALLATIONS WHERE THE SIDEWALK CULVERT PENETRATES A CURB FACE, THE GUTTER SHALL BE POURED MONOLITHICALLY WITH THE SIDEWALK CULVERT.

PLATE SIDEWALK CULVERT



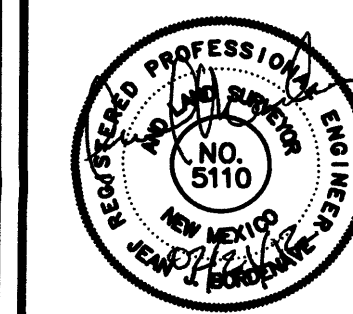
NOTES:

1. AT INSTALLATIONS WHERE THE SIDEWALK CULVERT PENETRATES A CURB FACE, THE GUTTER SHALL BE POURED MONOLITHICALLY WITH THE SIDEWALK CULVERT.
2. THE MAXIMUM WIDTH OF CULVERT OPENING IS 24". AT MULTI-BARREL INSTALLATIONS THE BARRELS SHALL BE SEPARATED BY A 9" WIDE CONCRETE WALL.
3. VISIBLE SURFACES OF THE SIDEWALK CULVERT SHALL MATCH THE COLOR AND TEXTURE OF THE ADJACENT SIDEWALK

DATE

BY

St Price DESIGN STUDIO 2011



PERMIT

GIBSON APARTMENTS

4801 GIBSON, SE
ALBUQUERQUE, NEW MEXICO

St Price DESIGN STUDIO

Joseph B. Burwinke Jr.
ARCHITECT
3700 Corps Blvd, NW, Suite F
Albuquerque, New Mexico 87120
505.345.3850

DRAWN

METO

CHECKED

DATE

12.12.11

SCALE

JOB NO.

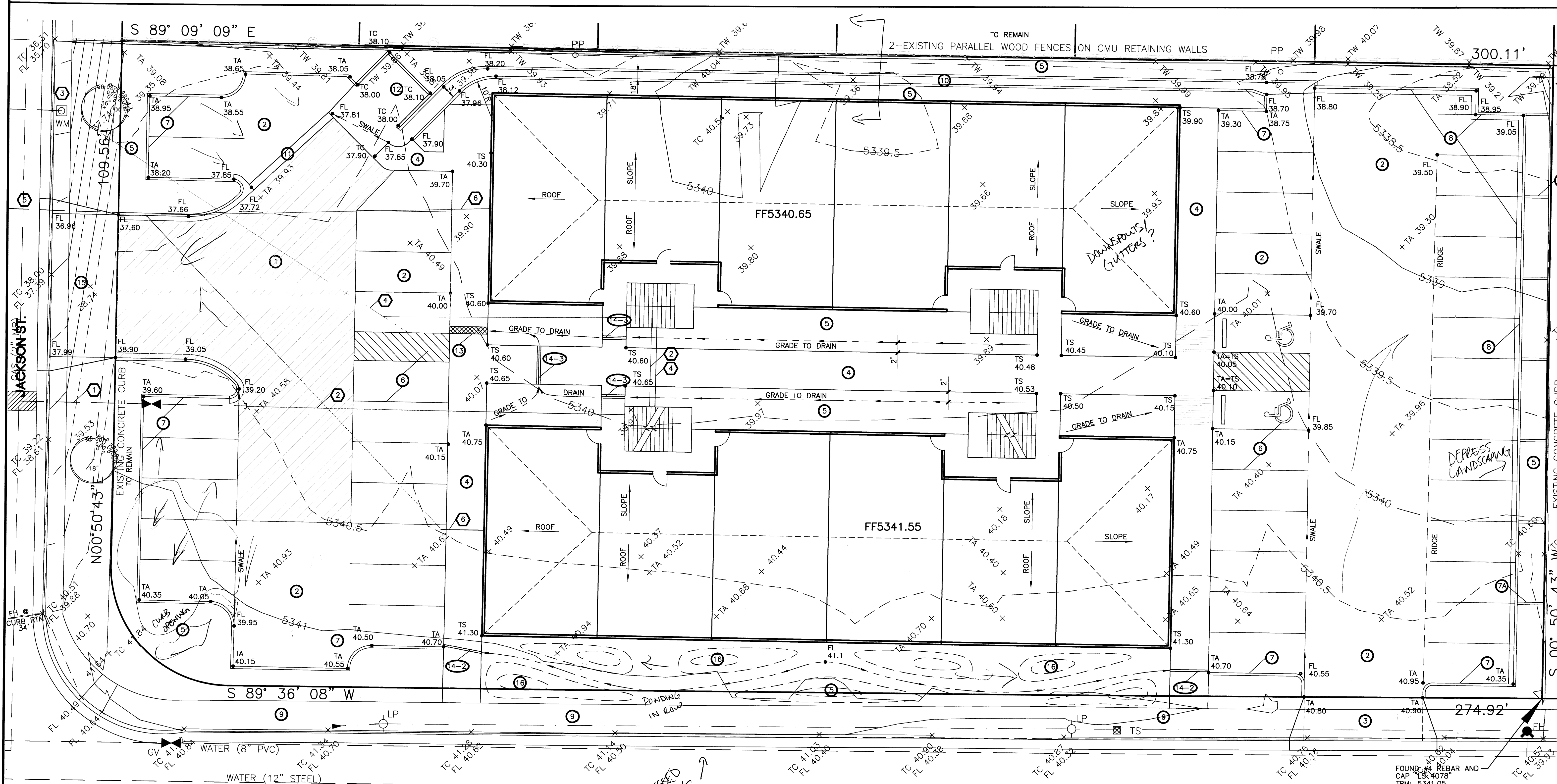
11-16

SHEET

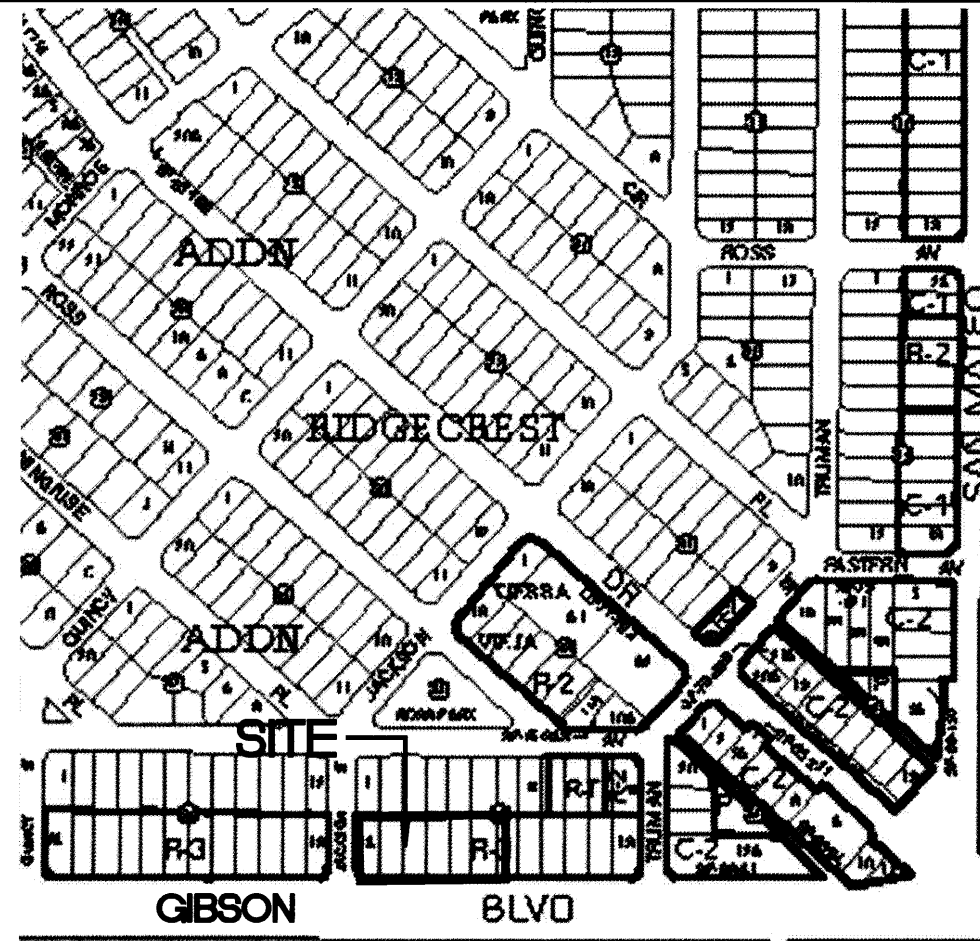
C5

9 SHEETS

GRADING PLAN



VICINITY MAP NO. L-17



FEMA FIRM PANEL NO. 362



ENGINEER'S CERTIFICATION

I, JEAN J. BORDENAVE, NMP&S NO. 5110, OF THE FIRM BORDENAVE DESIGNS, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10/10/2011. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

EXCEPTIONS AND/OR QUALIFICATIONS:

NO STAMP

THE RECORD INFORMATION PRESENTED ON THE EDITED DESIGN DOCUMENT IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE EDITED DESIGN DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

KEYED NOTES

- SITE GRADING, DRAINAGE & PAVING**

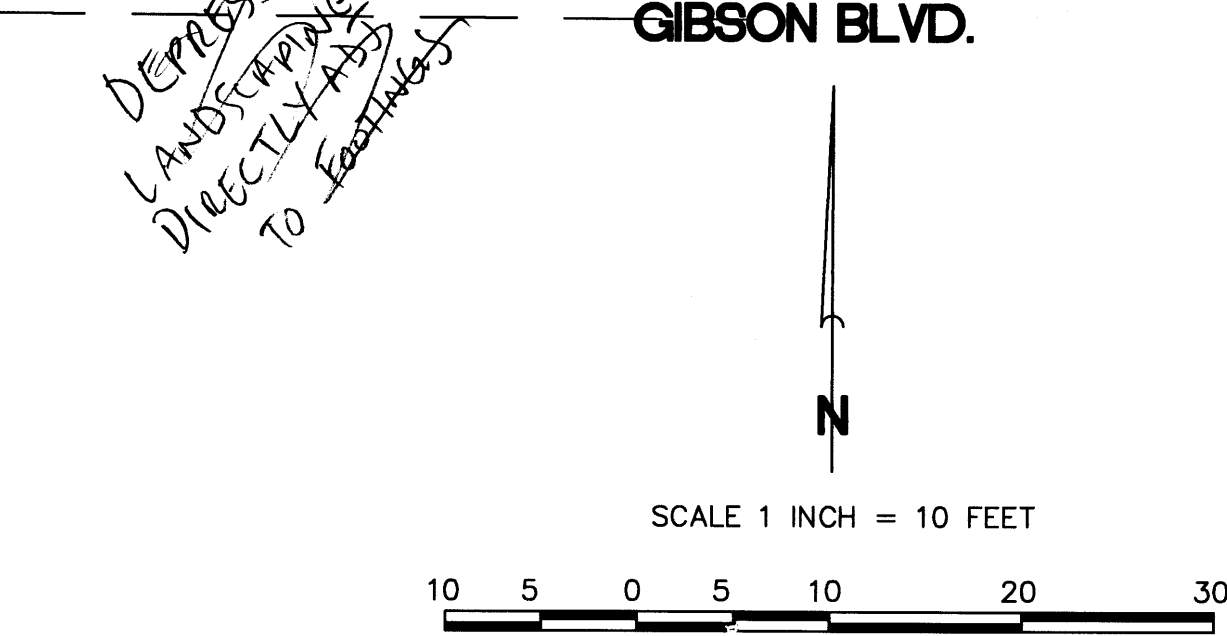
 1. INSTALL ASPHALT PAVEMENT - HEAVY DUTY (HATCHED AREA). SEE DETAIL SHEET C-5.
 2. INSTALL ASPHALT PAVEMENT - LIGHT DUTY. SEE DETAIL SHEET C-5.
 3. REMOVE EXISTING SIDEWALK AND CURB & GUTTER FROM FIRST JOINT WEST OF TO FIRST JOINT EAST OF EXISTING DRIVEPAD AND BUILD SIDEWALK (AND DRIVEPAD AT NEW EASTERLY PARKING AREA) PER COA STD. DET. 2425, SECTION D-D.
 4. TURNDOWN SIDEWALK. SEE DETAIL SHEET C-5.
 5. SIDEWALK. SEE DETAIL SHEET C-5.
 6. LANDSCAPED AREA. SEE ARCHITECTURAL. ALIGN SWALES TO BE CONGRUENT WITH LANDSCAPE DESIGN.
 7. PAINTED PARKING STRIPING. SEE TRAFFIC CIRCULATION LAYOUT.
 8. BUILD CONCRETE HEADER CURB. SEE DETAIL SHEET C-5.
 9. BUILD CONCRETE CURB & GUTTER. SET TOP OF CURB 1/2" HIGHER THAN TOP OF ADJACENT CURBS. FINISHED EARTH SURFACE (AFTER LANDSCAPING) SHALL BE LEVEL AND 1" BELOW LOWEST TOP OF CURB IN EACH PLANTER.
 10. BUILD CONCRETE CURB & GUTTER. SEE DETAIL SHEET C-5.
 11. REMOVE EXISTING CONCRETE DRIVEPAD. BUILD NEW STANDARD CURB AND GUTTER AND CONCRETE SIDEWALK PER COA STD. DWG. 2415A AND 2430 RESPECTIVELY.
 12. BUILD 18" CONCRETE CHANNEL. SEE DETAIL SHEET C-5. TAPER FROM 30" WIDTH (IN 36") AT EAST END AND TO 36" WIDTH (THRU CURVE) AT WESTERLY END OF CHANNEL.
 13. BUILD VALLEY GUTTER. SEE DETAIL SHEET C-5.
 14. BUILD REFUSE ENCLOSURE PER COA SOLID WASTE STANDARDS.
 15. 12" PLATE SIDEWALK-CULVERT. SEE DETAIL SHEET C-5.
 16. PIPE-SIDEWALK CULVERT. NUMBER OF PIPES SHOWN w/HYPEN IN KEY. SEE DETAIL SHEET C-5.
 17. REMOVE EXISTING SIDEWALK AND CURB & GUTTER FROM FIRST JOINT SOUTH OF TO FIRST JOINT NORTH OF PROPOSED DRIVEPAD AND BUILD SIDEWALK (AND DRIVEPAD AT NEW EASTERLY PARKING AREA) PER COA STD. DET. 2425, SECTION D-D.
 18. LANDSCAPED BERMS. LOCATION AND CONFIGURATION TO BE ALTERED TO BE CONGRUENT WITH LANDSCAPE PLAN.

NOTE: ALL TOP OF CURB ELEVATIONS ARE 6" ABOVE ADJACENT TOP OF ASPHALT UNLESS OTHERWISE SHOWN.
- SITE WATER AND SEWER**

 1. 6" FIRE LINE BUILT UNDER ABCWVA MINI-WORK ORDER PROJECT.
 2. BUILD 6" PVC PRIVATE FIRE LINE FROM WORK ORDER LINE TO MECHANICAL ROOMS. ALIGN TO MATCH FIRE SPRINKLER SYSTEM LOCATION IN MECHANICAL ROOMS.
 3. EXISTING 3" WATER SERVICE FROM PREVIOUS APARTMENT COMPLEX.
 4. BUILD 3" YARD LINE FROM METER TO MECHANICAL ROOM. ALIGN TO MATCH DOMESTIC WATER SYSTEM LOCATION IN MECHANICAL ROOMS.
 5. EXISTING 6" PVC SANITARY SEWER SERVICE FROM PREVIOUS APARTMENT COMPLEX.
 6. BUILD 6" PVC SANITARY SEWER YARD LINES AND CLEANOUTS FROM EXISTING SERVICE TO BUILDING OUTFALLS.

GENERAL

SEE ARCHITECTURAL SITE PLAN FOR SITE DIMENSIONS.



SITE DRAINAGE DATA

CONDITION	STORM RETURN PERIOD	TREATMENT TYPE	TREATMENT AREA	EXCESS PRECIPITATION	PEAK RUNOFF	RUNOFF VOLUME	RUNOFF RATE
	year	(table 4)	sq. ft.	(table 8)	(table 9)	cu. ft.	cfs
EXISTING	10	A	39952	0.13	0.38	433	0.35
		B	0	0.28	0.95	0	0.00
		C	0	0.52	1.71	0	0.00
		D	0	1.34	3.14	0	0.00
		TOTAL	39952			433	0.35
	100	A	39952	0.53	1.56	1765	1.43
		B	0	0.78	2.28	0	0.00
		C	0	1.13	3.14	0	0.00
		D	0	2.12	4.7	0	0.00
		TOTAL	39952			1765	1.43
DEVELOPED	10	A	0	0.13	0.38	0	0.00
		B	7634	0.28	0.95	178	0.17
		C	0	0.52	1.71	0	0.00
		D	32318	1.34	3.14	3609	2.33
		TOTAL	39952			3787	2.50
	100	A	0	0.53	1.56	0	0.00
		B	7634	0.78	2.28	496	0.40
		C	0	1.13	3.14	0	0.00
		D	32318	2.12	4.7	5710	3.49
		TOTAL	39952			6206	3.89

PERMANENT BENCHMARK

ACS 25_L17 ELEVATION 5324.173 NAVD 88

LEGAL DESCRIPTION

LOT 24A, BLOCK 39, RIDGECREST ADDITION

CONCRETE CHANNEL FLOW

ENTRY (Broad Crested Weir)
BASINS A THRU D. SEE SHEET C-5 FOR FLOW DATA TABLE
 $Q = C U H^{3/2}$, where $C = 1.46$ cfs, $C = 2.8$, $H = 0.45$ ft
Therefore $L = 1.73$ ft
USE 30" CHANNEL AT ENTRY (PRIMARY FLOW AT 90° TO WEIR)

BARREL (Mannings)
BASINS A THRU E. SEE SHEET C-5 FOR FLOW DATA TABLE
 $Q = (1.49/n) A R^{2/3} S^{1/2}$, $Q = 1.86$ cfs, $n = 0.013$, $W = 1.5$ ft, $S = 0.004$ ft/ft
Therefore flow depth = 0.42 ft and velocity = 2.95 fps
USE 18" WIDE CHANNEL

BARREL TAPER
Taper - 20 Degree Maximum
(2.50' - 1.50')/tan20 = 2.75 ft
USE 3" TAPER

SEE DRAINAGE DATA (SHEET C-5) FOR BASIN BOUNDARIES AND CALCULATIONS FOR SIDEWALK CULVERTS.

LEGEND

- TBM TEMPORARY BENCHMARK
- FF FINISH FLOOR
- FG FINISH GRADE
- FL FLOWLINE
- TA TOP OF ASPHALT
- TC TOP OF CONCRETE
- BC TOP BACK OF CURB
- TP TOP OF EARTH PAD
- TS TOP OF SIDEWALK
- TW TOP OF WALL
- FH FIRE HYDRANT
- WM WATER METER
- WV WATER VALVE
- MH MANHOLE
- CB CATCH BASIN GRATE
- GM GAS METER
- GV GAS VALVE
- LP LIGHT POLE
- PP POWER POLE
- GW GUY WIRE
- PED ELEC. OR TEL. PEDESTAL
- RD ROOF DRAINAGE POINT
- FEMA FLOODPLAIN BOUNDARY
- DRAINAGE BASIN BOUNDARY
- EROSION SETBACK LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- RECORD SPOT ELEVATION

DRAINAGE NOTES

1. THE SITE WAS PREVIOUSLY USED FOR APARTMENTS WHICH WERE RECENTLY DESTROYED BY FIRE. THE SITE IS PRESENTLY VACANT AND SLOPES DOWNWARD TO THE NORTH. THE PROPOSED USE IS MULTIFAMILY RESIDENTIAL WITH MOST OF THE SITE BEING IMPERVIOUS SURFACES AND SOUTHWEST LANDSCAPING.
2. THE PEAK DISCHARGE RATE WILL INCREASE BY 1.01 AND 1.06 CFS FOR THE 10 YEAR AND 100 YEAR STORMS RESPECTIVELY AND THE 6 HOUR RUNOFF VOLUMES FOR THE 10 YEAR AND 100 YEAR STORM WILL INCREASE BY 1583 AND 2097 CUBIC FEET RESPECTIVELY.
- ALL DRAINAGE WILL BE DIRECTED TO JACKSON ST. VIA ASPHALT AND CONCRETE SURFACES. WATER HARVESTING IS PROVIDED IN LANDSCAPE AREAS WHERE POSSIBLE.
3. THE SITE IS LOCATED IN A 'ZONE X' PER FEMA FIRM MAP NO. 362, DATED SEPTEMBER, 2008.
4. TOPO SURVEY DATA SHOWN ON THIS DRAWING WAS OBTAINED BY WAYJOHN SURVEYING INC., DATED OCTOBER, 2011.

EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERMS OR SILT FENCES AT PROPERTY LINES AND WETTING SOIL TO PREVENT IT FROM BLOWING. IF THE SITE IS CONTROLLED BY A SWPPP PLAN, EROSION CONTROL SHALL BE ACCOMPLISHED ACCORDING TO THE PLAN.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL DISTURBANCE AND EXCAVATION PERMITS FROM THE CITY PRIOR TO BEGINNING CONSTRUCTION.

GRADING NOTES

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 280-1990 FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

DESIGN STUDIO 2011

St Price

DESIGN STUDIO

Joseph B. Burwick Jr.

ARCHITECT

3700 Coors Blvd NW, Suite E

Albuquerque, New Mexico 87120

505.345.3850

PERMIT

12.12.11

GIBSON APARTMENTS

4801 GIBSON SE

ALBUQUERQUE, NEW MEXICO

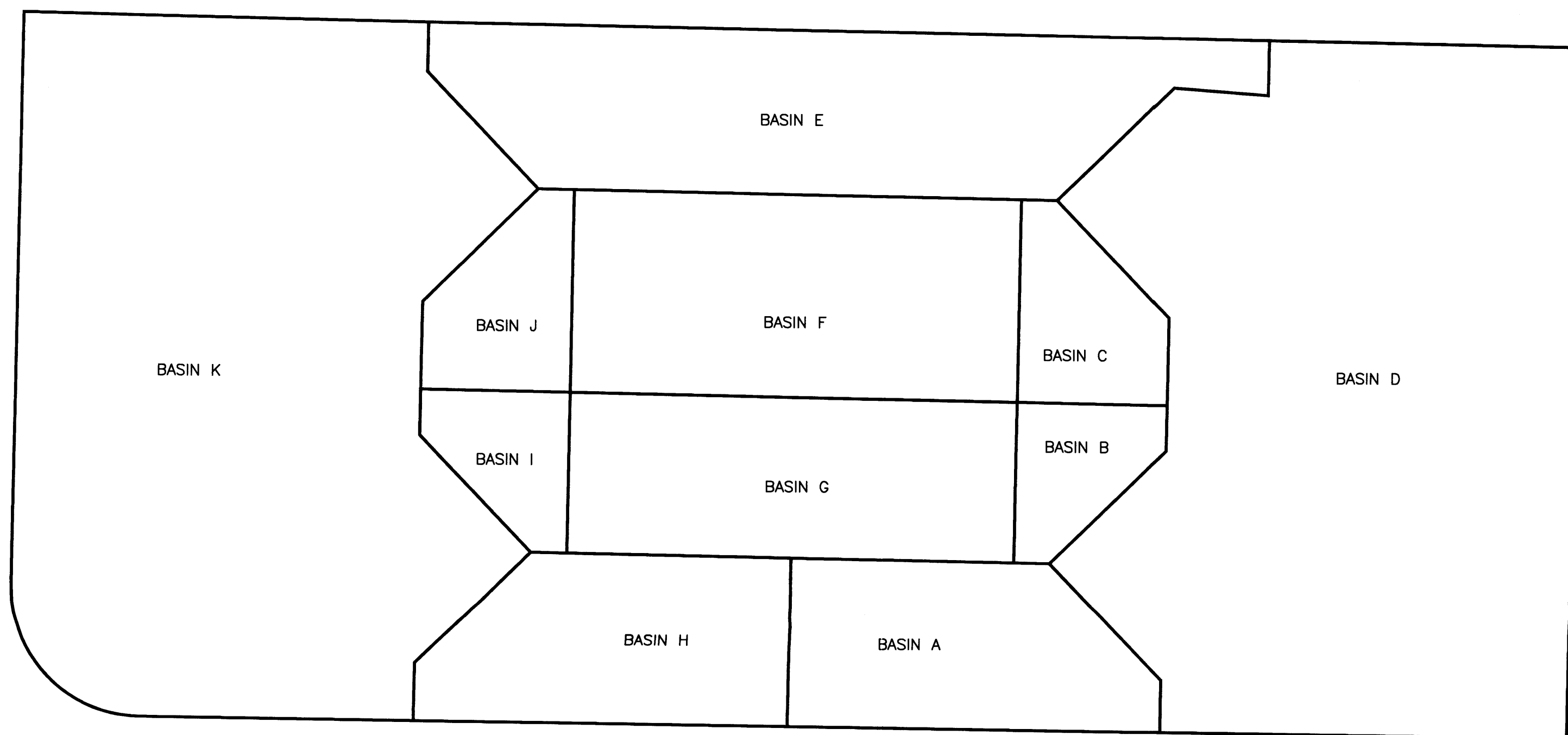
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HYDROLOGY SECTION

C-4

BASIN DRAINAGE DATA



basin map
1" = 20'

CONDITION	B RETURN PERIOD	STORM TYPE	TREATMENT AREA	EXCESS PRECIPITATION	PEAK RUNOFF	RUNOFF VOLUME	RUNOFF RATE
	year	(table 4)	sq. ft.	(table 8)	(table 9)	cu. ft.	cfs
DEVELOPED	100	B	741	0.78	2.28	48	0.04
		D	1343	2.12	4.7	237	0.14
		TOTAL	2084			285	0.18
B	100	B	213	0.78	2.28	14	0.01
		D	434	2.12	4.7	77	0.05
		TOTAL	647			91	0.06
C	100	B	213	0.78	2.28	14	0.01
		D	665	2.12	4.7	117	0.07
		TOTAL	878			131	0.08
D	100	B	1083	0.78	2.28	70	0.06
		D	10555	2.12	4.7	1776	1.08
		TOTAL	11138			1847	1.14
E	100	B	1041	0.78	2.28	68	0.05
		D	3186	2.12	4.7	563	0.34
		TOTAL	4227			631	0.40
F	100	B	629	0.78	2.28	41	0.03
		D	2712	2.12	4.7	479	0.29
		TOTAL	3341			520	0.33
G	100	B	629	0.78	2.28	41	0.03
		D	2022	2.12	4.7	357	0.22
		TOTAL	2651			398	0.25
H	100	B	789	0.78	2.28	51	0.04
		D	1336	2.12	4.7	236	0.14
		TOTAL	2125			287	0.19
I	100	B	213	0.78	2.28	14	0.01
		D	435	2.12	4.7	77	0.05
		TOTAL	648			91	0.06
J	100	B	213	0.78	2.28	14	0.01
		D	866	2.12	4.7	118	0.07
		TOTAL	879			132	0.08
K	100	B	1870	0.78	2.28	122	0.10
		D	9464	2.12	4.7	1672	1.02
		TOTAL	11334			1794	1.12

PIPE-SIDEWALK CULVERT

SINGLE PIPE CAPACITY

$$Q = CA(2gh)^{0.5}, C = 0.6, A = 0.05 \text{ SQ. FT.}, g = 32.2 \text{ FT/SEC/SEC}, H = 0.25 \text{ FT.}$$

$$Q = 0.12 \text{ CFS}$$

BASIN PIPE-SIDEWALK CULVERT REQUIREMENTS

BASIN A
Q = 0.18 CFS, USE 2 PIPES

BASIN F
Q = 0.33 CFS, USE 3 PIPES

BASIN G
Q = 0.25 CFS, USE 2 PIPES

BASIN H
Q = 0.19 CFS, USE 2 PIPES

BASIN I + G
Q = 0.31 CFS, USE 3 PIPES

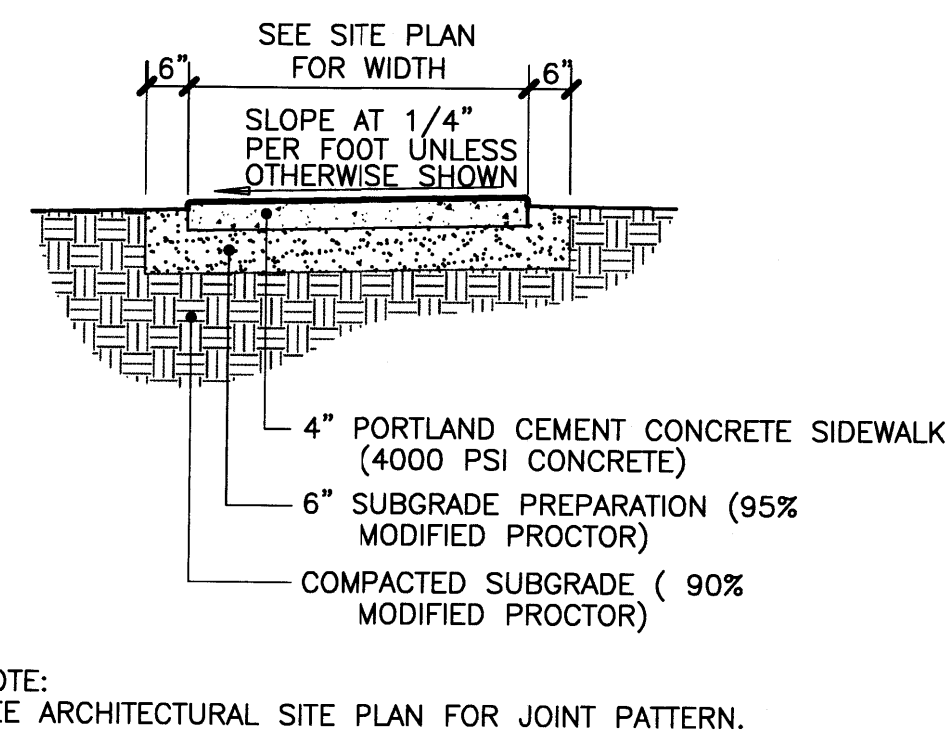
PLATE-SIDEWALK CULVERT

$$Q = CLH^{0.5}, Q = 0.72 \text{ CFS}, C = 2.6, H = 0.45$$

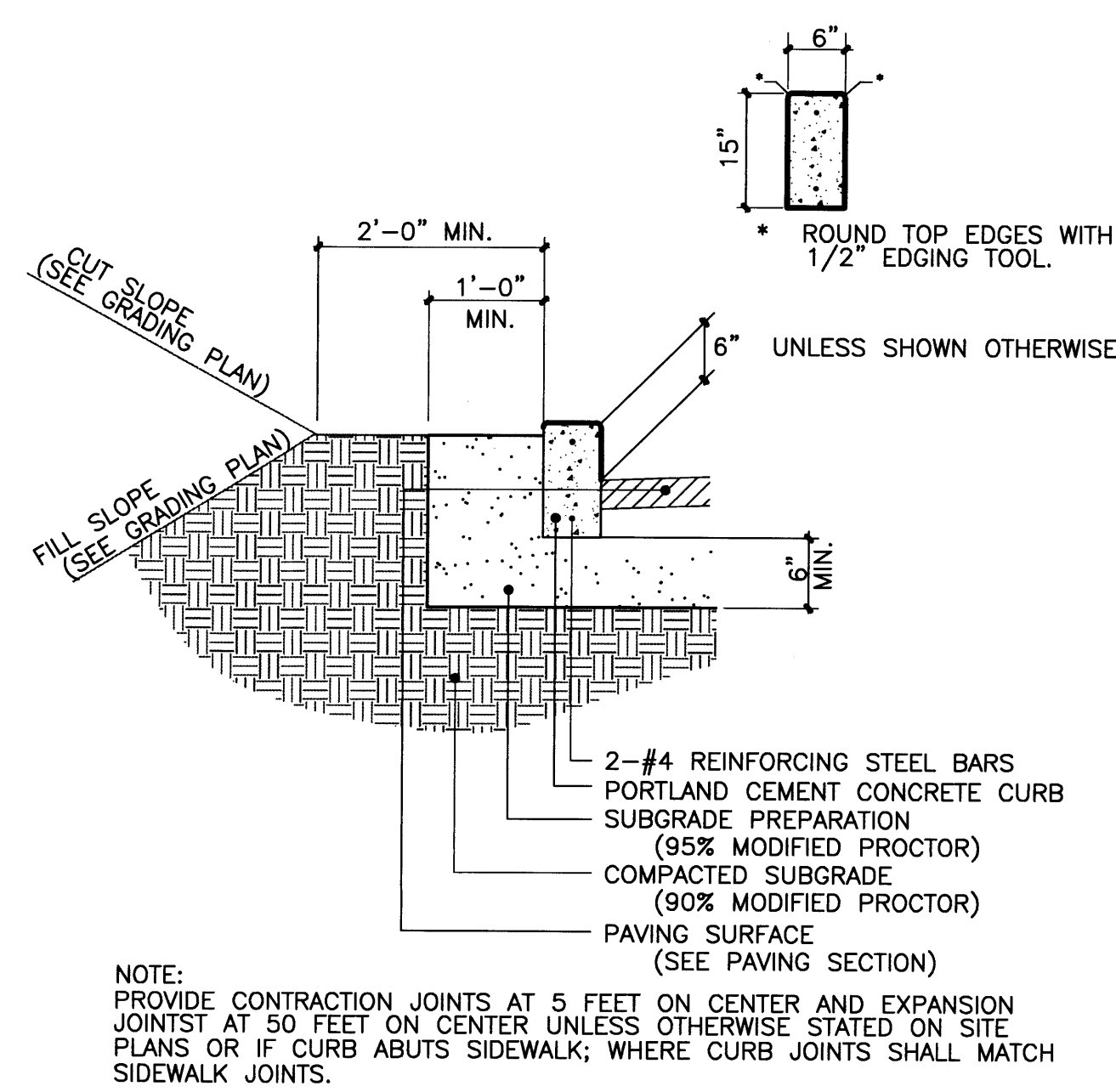
$$L = 0.92 \text{ FT}$$

$$\text{USE 12" CULVERT}$$

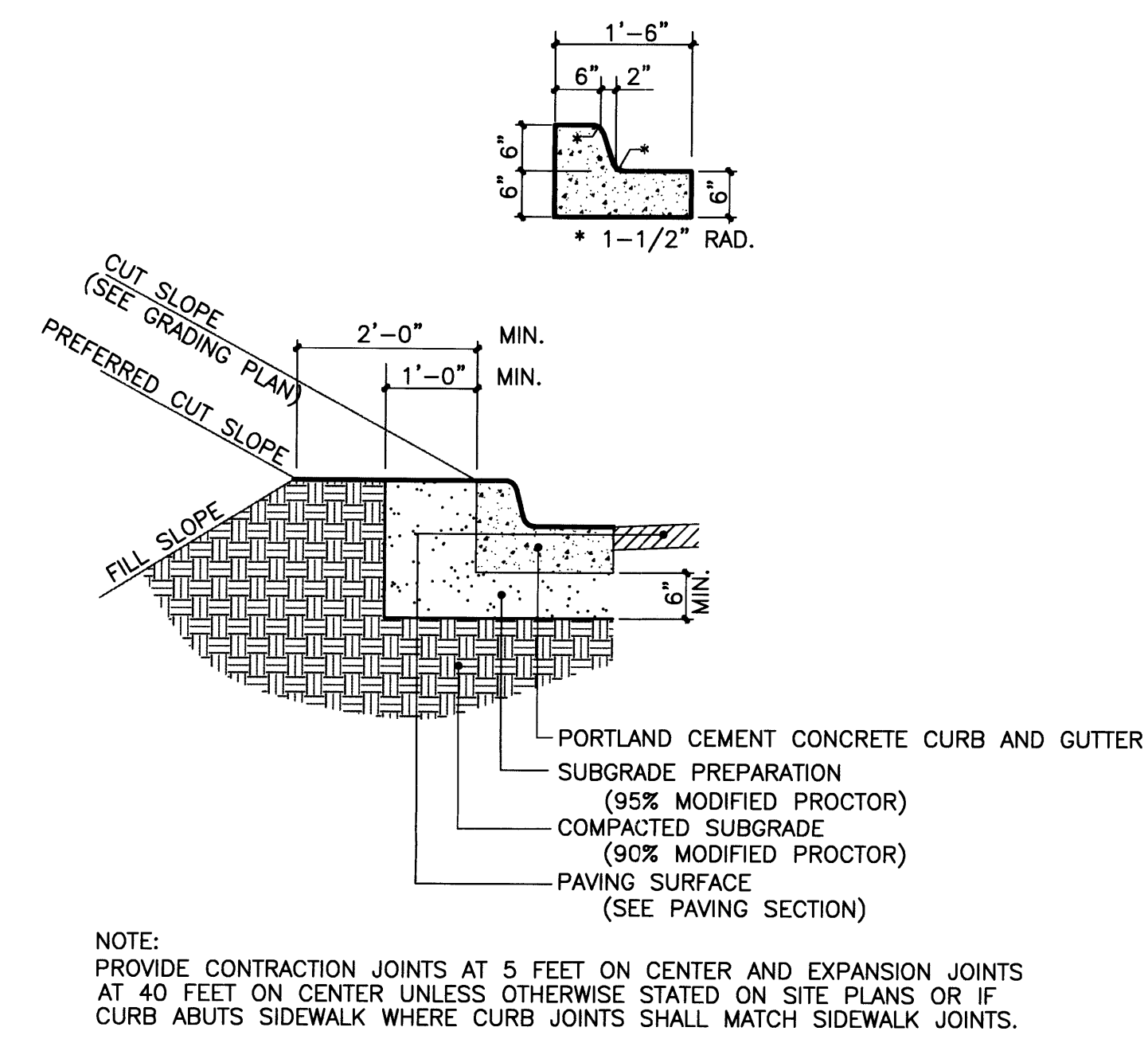
SIDEWALK



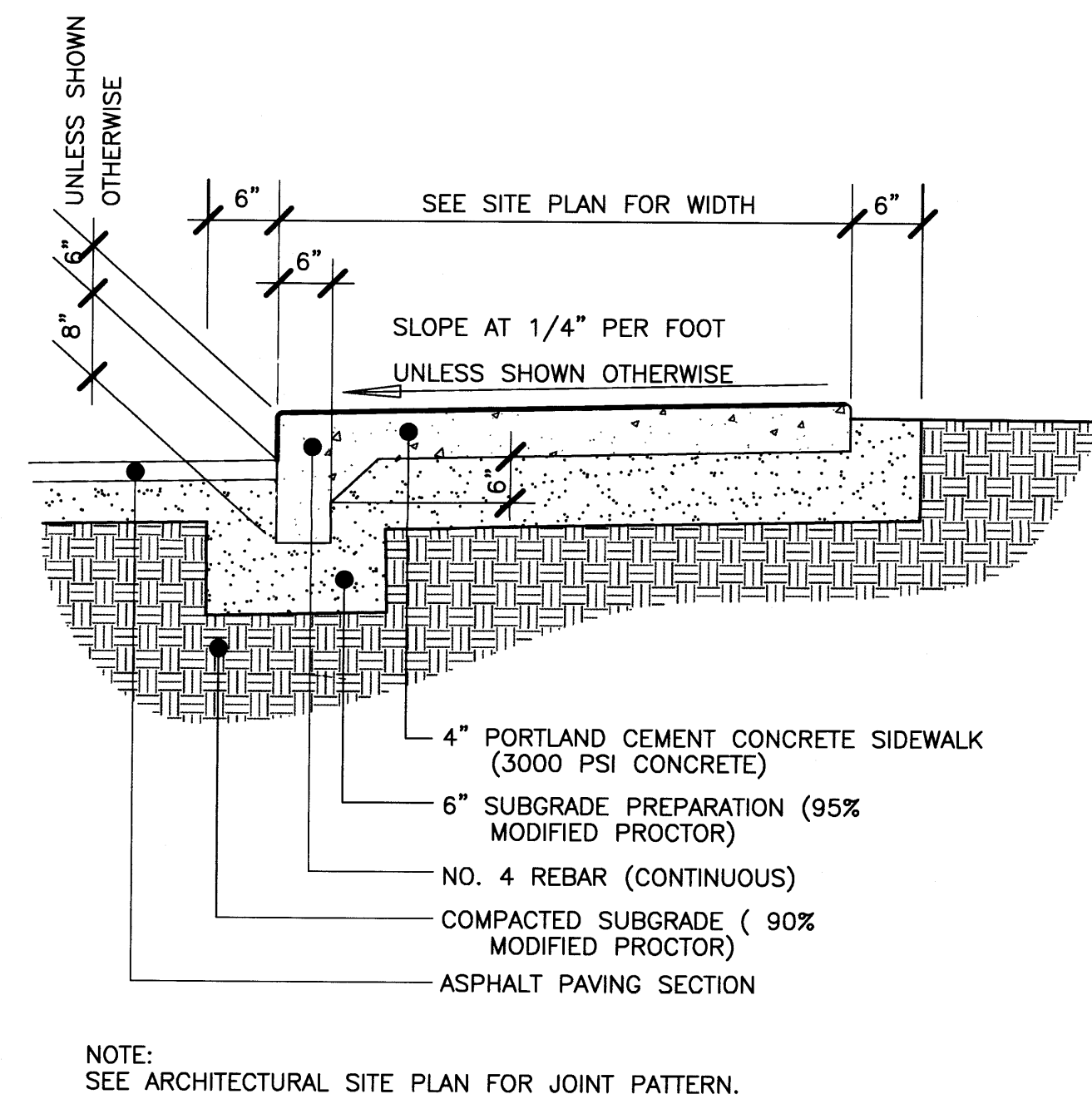
HEADER CURB



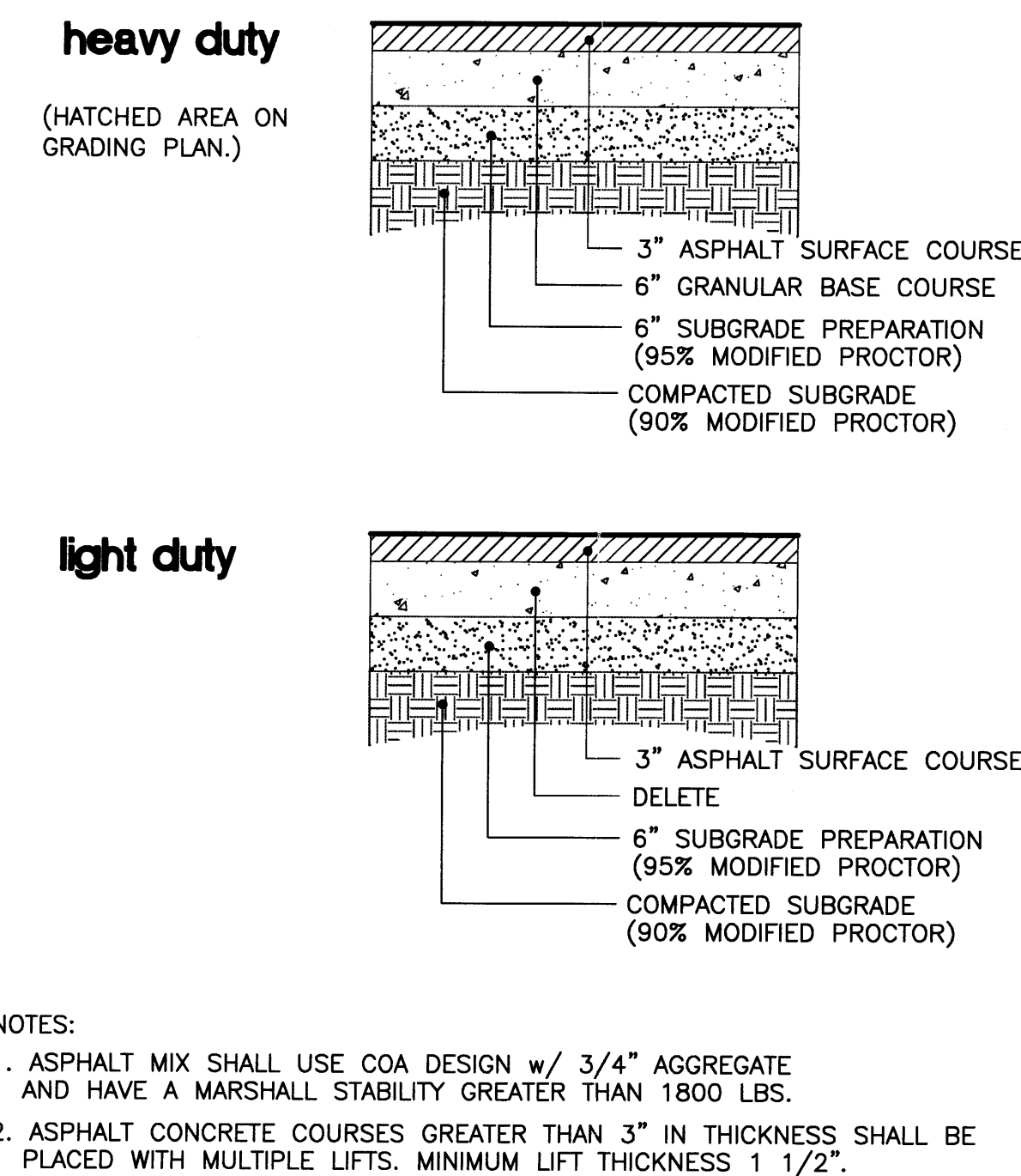
CURB w/ GUTTER



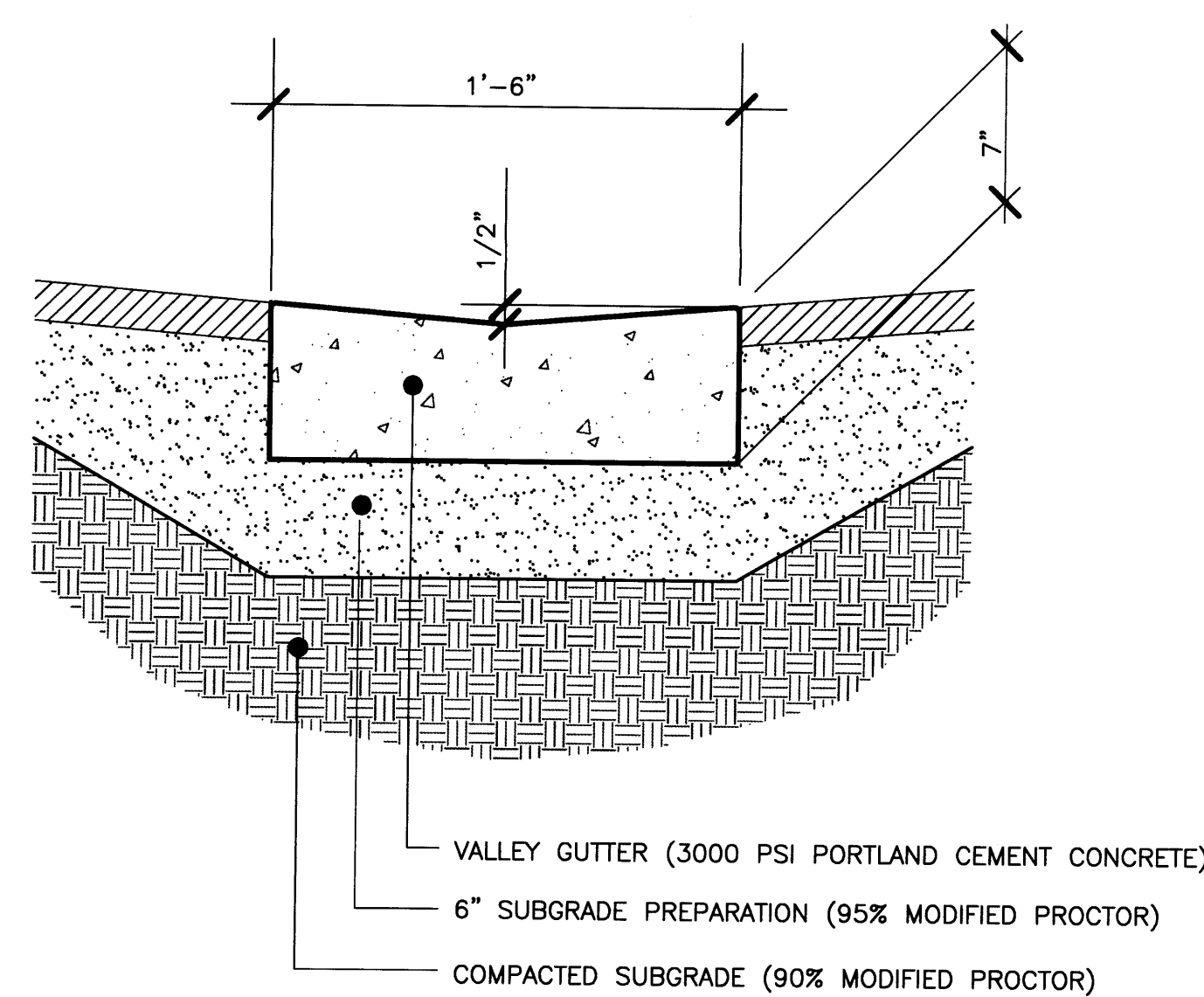
TURNDOWN SIDEWALK



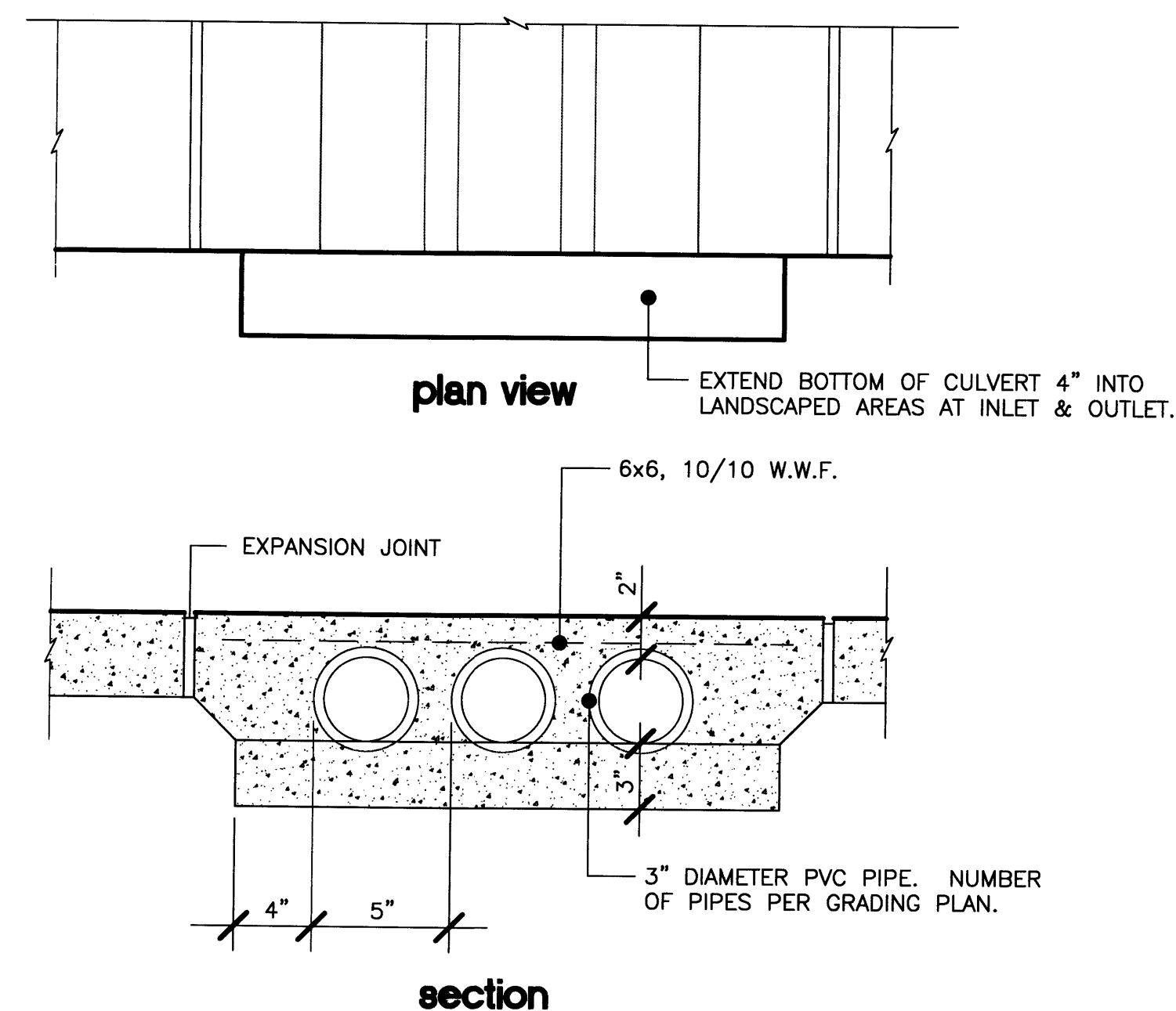
ASPHALT PAVEMENT



CONCRETE VALLEY GUTTER



PIPE SIDEWALK CULVERT



CONCRETE CHANNEL

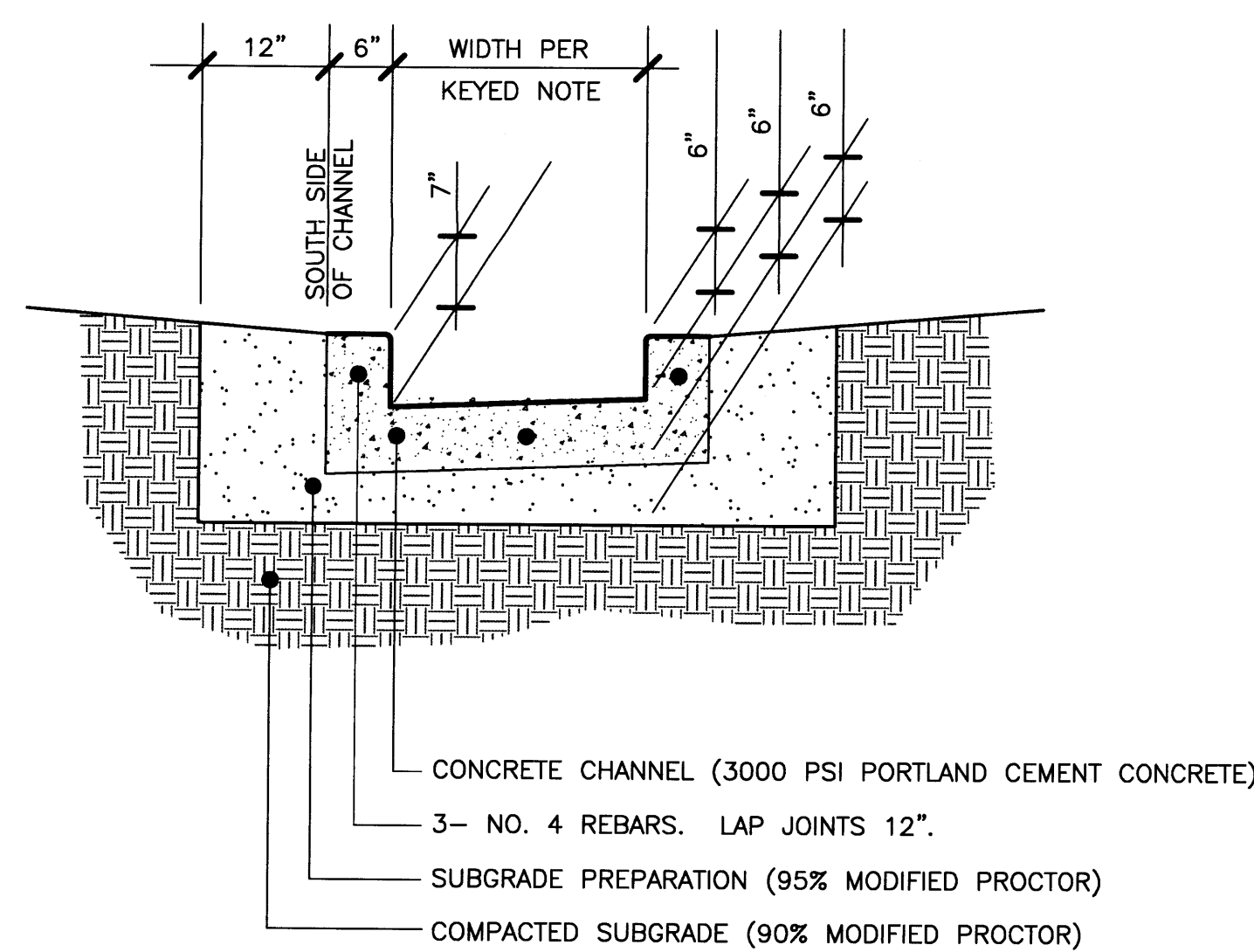
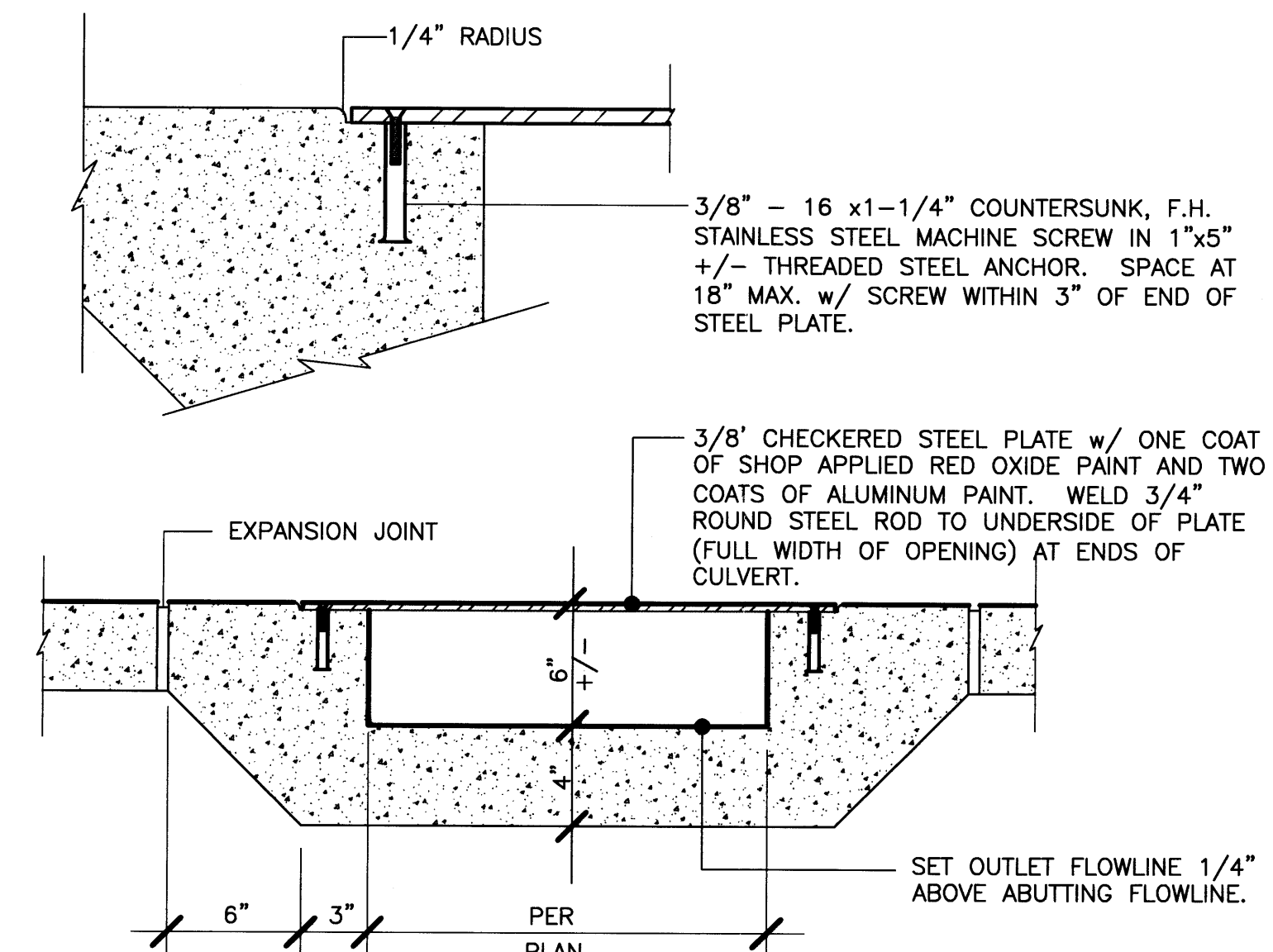


PLATE SIDEWALK CULVERT



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