

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

June 9, 2023

David Soule, P.E.  
Rio Grande Engineering  
P.O. Box 93924  
Albuquerque, NM 87199

**RE: 1100 Ridgecrest Dr. SE**  
**Permanent C.O. – Accepted**  
**Engineer's Certification Date: 06/03/23**  
**Engineer's Stamp Date: 07/02/21**  
**Engineer's Certification Date: 06/25/22**  
**Hydrology File: L17D027**

Dear Mr. Soule:

PO Box 1293

Based on the Certification received 06/06/2023 and site visit on 06/09/2023, this letter serves as a "green tag" from Hydrology Section for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

NM 87103

Sincerely,

[www.cabq.gov](http://www.cabq.gov)

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** 1100 RIDGECREST SE **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** LOT 1, Block 40 PARKLAND HILLS SUBDIVISION

**City Address:** 1100 RIDGECREST SE

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** RIO GRANDE ENGINEERING **Contact:** DAVID SOULE

**Address:** PO BOX 93924 ALB NM 87199

**Phone#:** 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT ☒ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

Check all that Apply:

### DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION

### TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION  
☐ PAD CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE REPORT  
☐ DRAINAGE MASTER PLAN  
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
☐ ELEVATION CERTIFICATE  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ STREET LIGHT LAYOUT  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ FLOODPLAIN DEVELOPMENT PERMIT  
☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



Weighted E Method														
							100-Year, 6-hr.			100 yr 10-day				
Basin	Area (sf)	Area (acres)	Treatment A % (acres)	Treatment B % (acres)	Treatment C % (acres)	Treatment D % (acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)				
Historical	8877.00	0.204	0%	0	85%	0.173	10%	0.020	5%	0.010	0.900	0.015	0.52	0.016
PROPOSED	8877.00	0.204	0%	0	22%	0.045	34%	0.069	45%	0.092	1.575	0.027	0.72	0.030

Equations:

Weighted E = Ea\*Aa + Eb\*Ab + Ec\*Ac + Ed\*Ad / (Total Area)

Volume = Weighted D \* Total Area

Flow = Qa \* Aa + Qb \* Ab + Qc \* Ac + Qd \* Ad

Where for 100-year, 6-hour storm(zone2)

Ea= 0.62	Qa= 1.71
Eb= 0.8	Qb= 2.36
Ec= 1.03	Qc= 3.05
Ed= 2.33	Qd= 4.34

Developed Conditions

	TOTAL VOLUME 6-hour	10-day 680 CF
HISTORICAL DISCHARGE	665	
PROPOSED DISCHARGE	1165	1298 CF
INCREASE PROVIDED	499	618 CF
	641	641

This site appear to be a redevelopment of a previously developed lot. The area was developed prior to drainage files being available. All lots in area free discharge  
This site appears to be similar in density as the 1959 aerial of the lot (poor quality pic). Therefore we believe this lot should be allowed to free discharge. To account for the additional discharge created , we propose to retain the increase in the developed storm water for the 10-day storm compared to existing condition. The drainage patterns will remain to drain all the flow to the adjacent road way

I, DAVID SOULE HAVE PERSONALLY INSPECTED THE SITE. I HEREBY CERTIFY THE PAD HAS BEEN CONSTRUCTED SUCH THAT IT IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED GRADING PLAN DATED 7/2/21

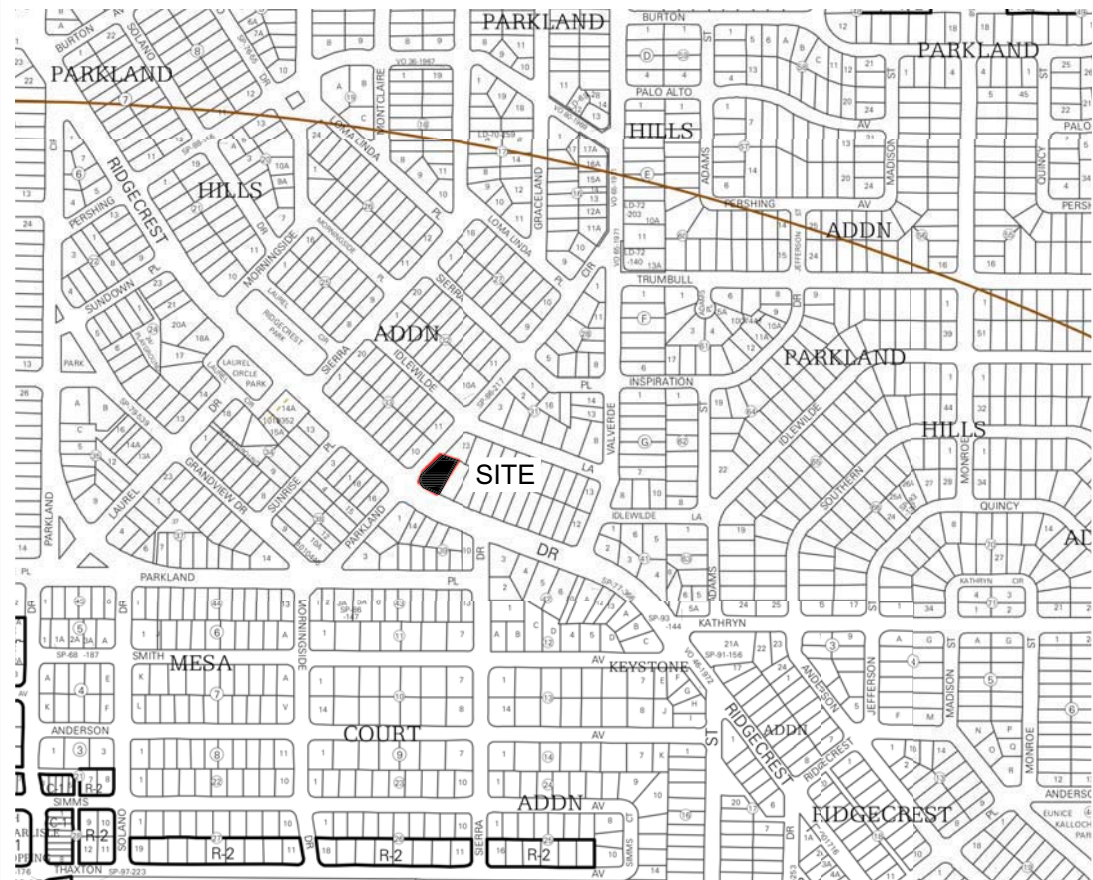


6/25/22

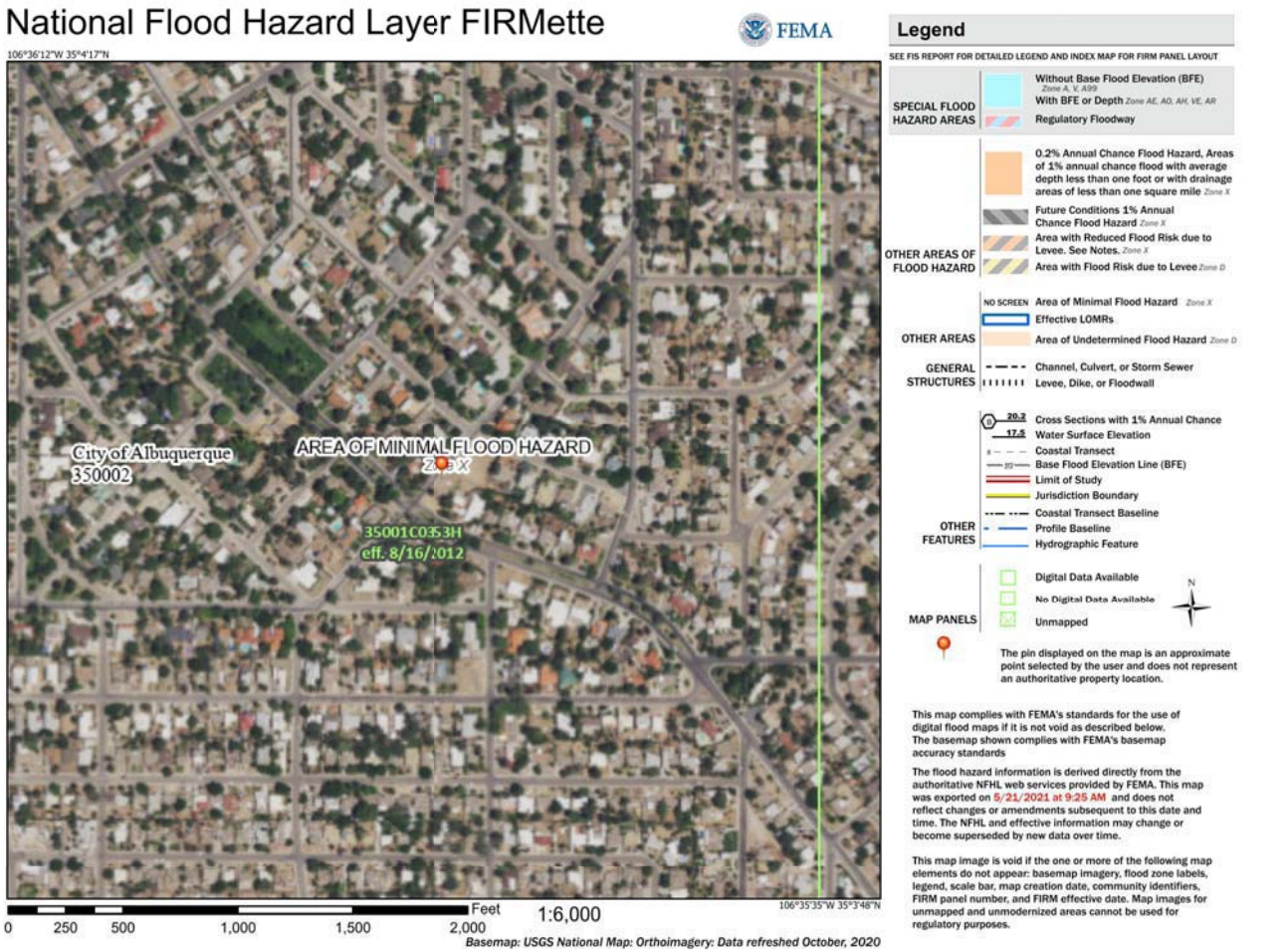
I David Soule, NMPE 14522 , of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intend of the approved plan dated 7/2/21 . The record information edited on the original design document has performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided by Tim Aldrich NMPS 12651. The certification is submitted in support of a request for **PERMANENT CERTIFICATE OF OCCUPANCY**. The record information presented heron is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose



6/3/23



### VICINITY MAP: L-17-Z



### FIRM MAP:

### LEGAL DESCRIPTION:

LOT 1 BLOCK 40 PARKLAND HILLS  
OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

### NOTES:

- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
- ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
- SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.
- A PAD ELEVATION CERTIFICATION SHALL BE REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT.

### LEGEND

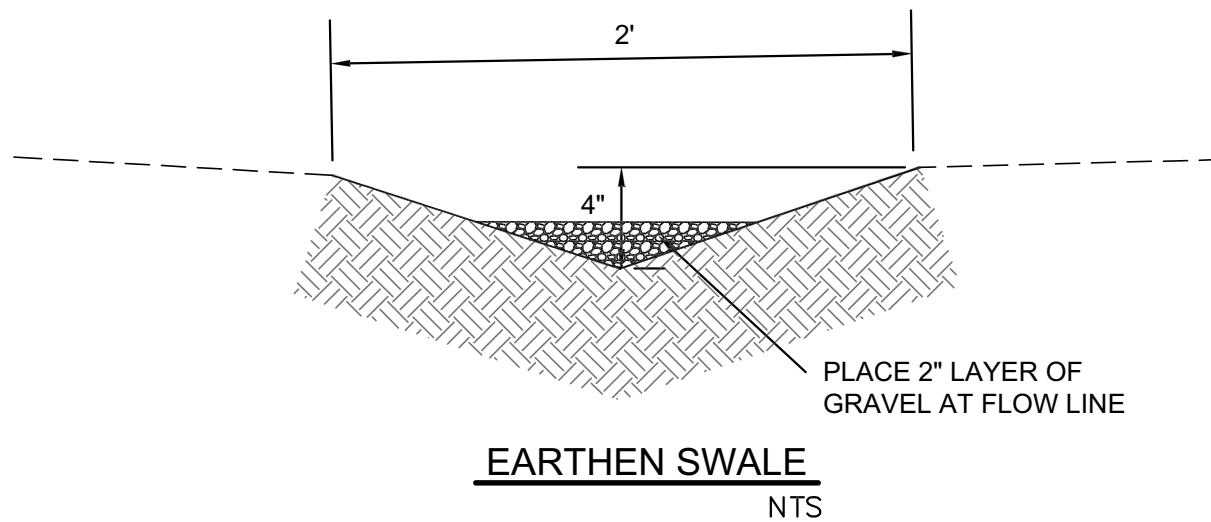
---	XXXX	---	EXISTING CONTOUR
---	XXXX	---	EXISTING INDEX CONTOUR
---	XXXX	---	PROPOSED CONTOUR
---	XXXX	---	PROPOSED INDEX CONTOUR
+	XXXX		EXISTING SPOT ELEVATION
●	XXXX		PROPOSED SPOT ELEVATION
---			BOUNDARY
---			ADJACENT BOUNDARY
==			EXISTING CURB AND GUTTER
---			PROPOSED EARTHEN SWALE
---			PROPOSED RETAINING WALL
---			PROPOSED CONCRETE

### CAUTION:

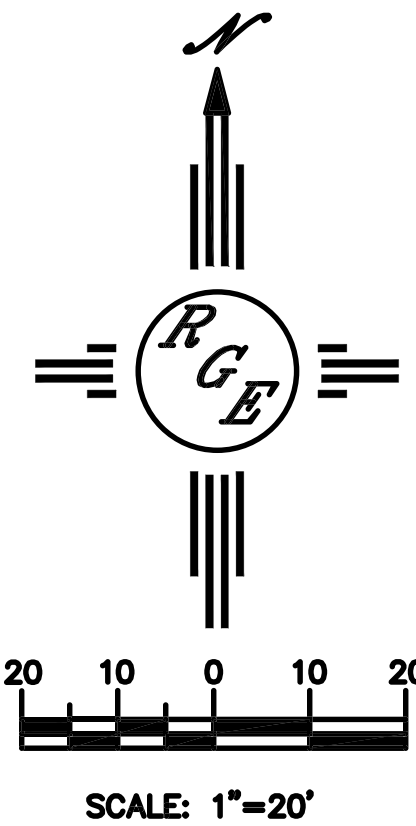
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

TEMPORARY BENCHMARK  
NORTH RIM MANHOLE  
ELEVATION = 5305.39

CONSTRUCT ALL SWALES AND EROSION PROTECTION (SHOWN HATCHED) BELOW ADJACENT GRADE TO ENSURE RUNOFF CAN BE CAPTURED AND CONVEYED PROPERLY.



EARTHEN SWALE  
NTS



ENGINEER'S SEAL	LOT 1 BLOCK 40 PARKLAND HILLS 1100 RIDGECREST DRIVE  GRADING AND DRAINAGE PLAN	DRAWN BY DEM
DAVID SOULE P.E. #14522		DATE 6-30-21
	 P.O. BOX 53924 ALBUQUERQUE, NM 87199 (505) 321-9099	SHEET # C1
		JOB #