

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

July 12, 2021

David Soule, P.E.  
Rio Grande Engineering  
P.O. Box 93924  
Albuquerque, NM 87199

**RE: 1100 Ridgecrest Dr. SE**  
**Revised Grading and Drainage Plan**  
**Engineer's Stamp Date: 07/02/21**  
**Hydrology File: L17D027**

Dear Mr. Soule:

Based upon the information provided in your submittal received 07/02/2021, the Revised Grading and Drainage Plan is approved for Grading Permit.

Once the grading is complete, a pad certification will be required prior to release of Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter and the pad certification approval letter.

Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** 1100 RIDGECREST SE **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** LOT 1, Block 40 PARKLAND HILLS SUBDIVISION  
**City Address:** 1100 RIDGECREST SE

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** RIO GRANDE ENGINEERING **Contact:** DAVID SOULE  
**Address:** PO BOX 93924 ALB NM 87199  
**Phone#:** 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT ☒ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

Check all that Apply:

### DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE  
\_\_\_\_\_ TRAFFIC/ TRANSPORTATION

### TYPE OF SUBMITTAL:

\_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION  
\_\_\_\_\_ PAD CERTIFICATION  
\_\_\_\_\_ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
\_\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_\_ STREET LIGHT LAYOUT  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL  
\_\_\_\_\_ CERTIFICATE OF OCCUPANCY  
\_\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☒ Yes \_\_\_\_\_ No

\*MODIFIED PLAN DUE TO 4' STEP IN HOUSE AT RV GARAGE

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

Weighted E Method												
							100-Year, 6-hr.			100 yr 10-day		
Basin	Area (sf)	Area (acres)	Treatment A % (acres)	Treatment B % (acres)	Treatment C % (acres)	Treatment D % (acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)		
Historical	8877.00	0.204	0%	0 85%	0.173 10%	0.020 5%	0.010	0.900	0.015	0.52	0.016	
PROPOSED	8877.00	0.204	0%	0 22%	0.045 34%	0.069 45%	0.092	1.575	0.027	0.72	0.030	

Equations:

Weighted E = Ea\*Aa + Eb\*Ab + Ec\*Ac + Ed\*Ad / (Total Area)

Volume = Weighted D \* Total Area

Flow = Qa \* Aa + Qb \* Ab + Qc \* Ac + Qd \* Ad

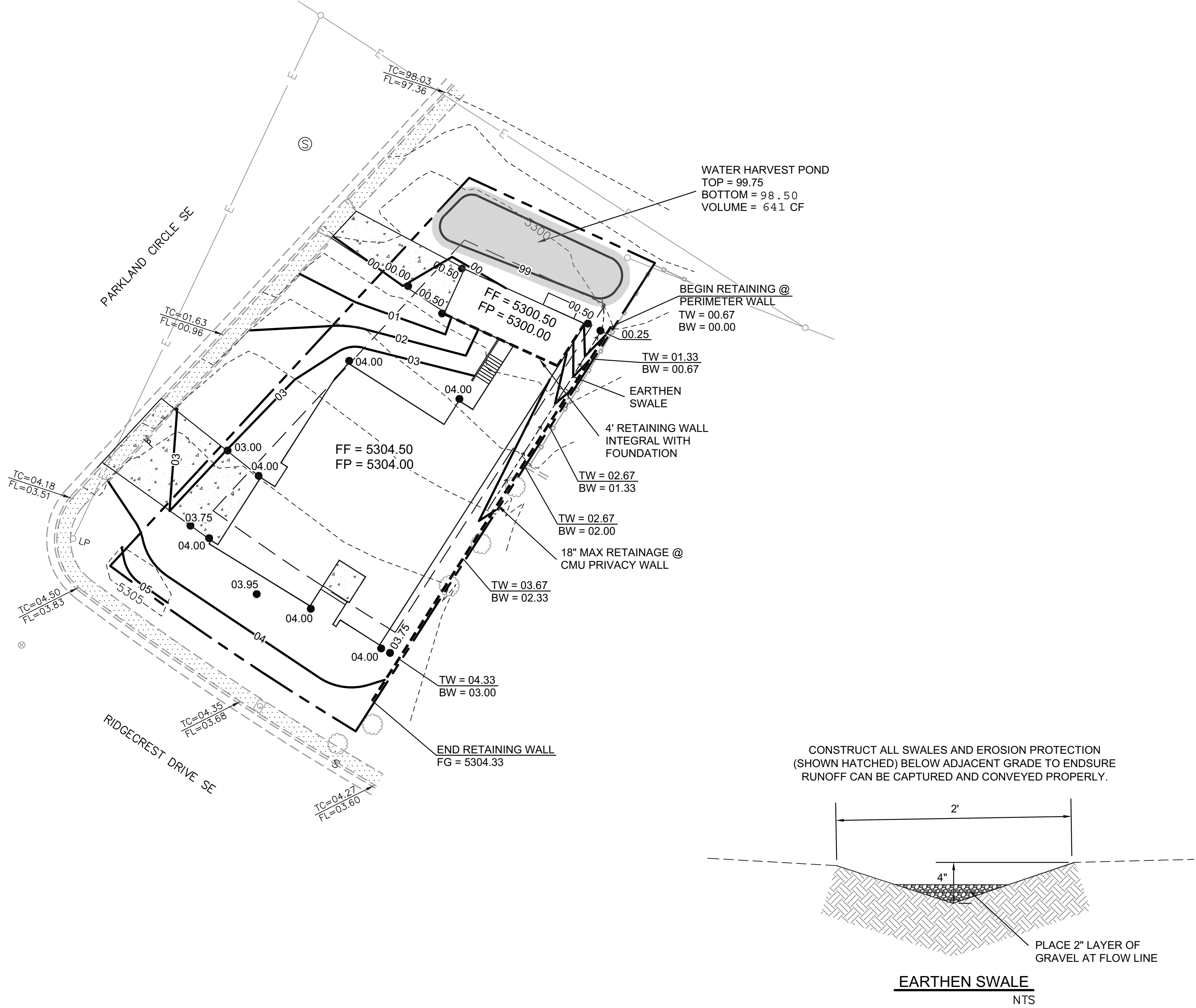
Where for 100-year, 6-hour storm(zone2)

Ea= 0.62  
Eb= 0.8  
Ec= 1.03  
Ed= 2.33

Qa= 1.71  
Qb= 2.36  
Qc= 3.05  
Qd= 4.34

Developed Conditions	TOTAL VOLUME 6-hour	10-day
HISTORICAL DISCHARGE	665	680 CF
PROPOSED DISCHARGE	1165	1298 CF
INCREASE PROVIDED	499	618 CF
	641	641

This site appear to be a redevelopment of a previously developed lot. The area was developed prior to drainage files being available. All lots in area free discharge. This site appears to be similar in density as the 1959 aerial of the lot (poor quality pic). Therefore we believe this lot should be allowed to free discharge. To account for the additional discharge created , we propose to retain the increase in the developed storm water for the 10-day storm compared to existing condition. The drainag patterns will remain to drain all the flow to the adjacent road way



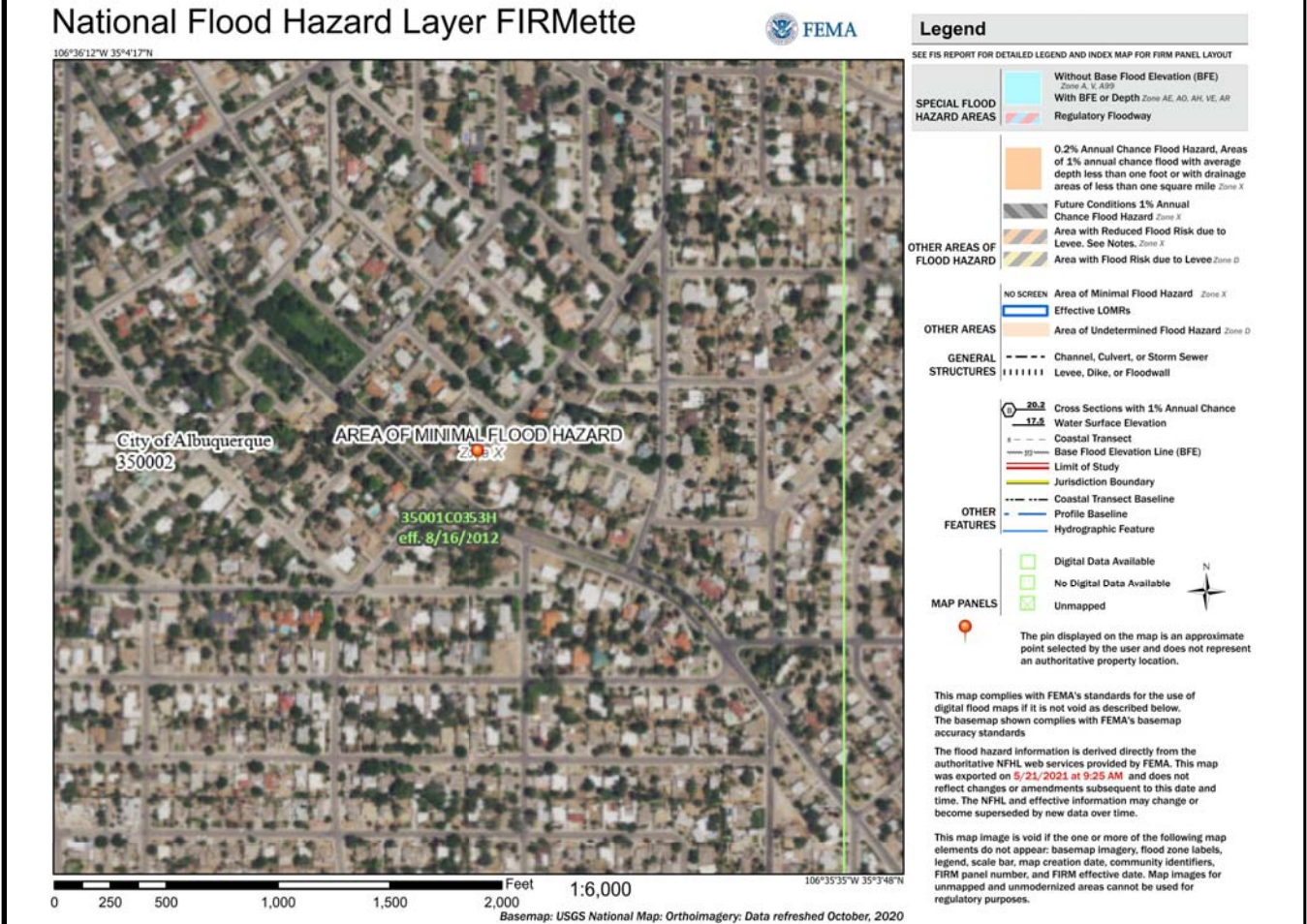
**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN.  
IT SHALL BE THE SOLE RESPONSIBILITY  
OF THE CONTRACTOR TO CONDUCT ALL  
NECESSARY FIELD INVESTIGATIONS PRIOR  
TO ANY EXCAVATION TO DETERMINE THE  
ACTUAL LOCATION OF UTILITIES & OTHER  
IMPROVEMENTS.

## EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



## VICINITY MAP: L-17-Z



## FIRM MAP:

## LEGAL DESCRIPTION:

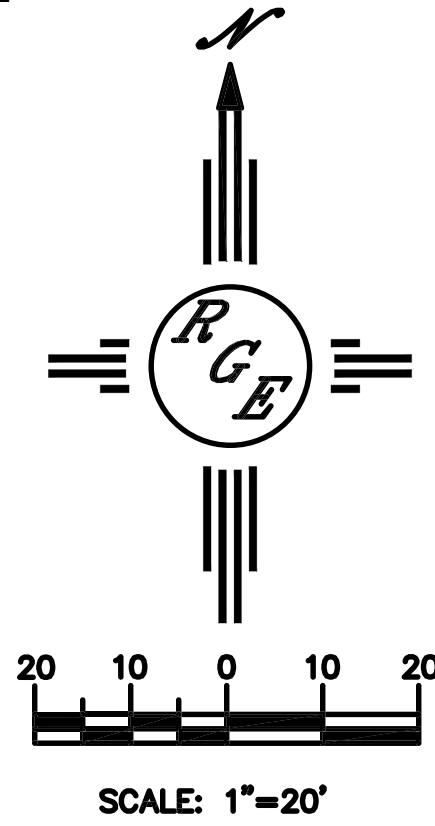
LOT 1 BLOCK 40 PARKLAND HILLS  
OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO


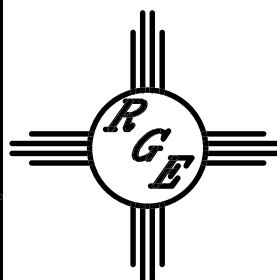
## NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.
5. A PAD ELEVATION CERTIFICATION SHALL BE REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT.

## LEGEND

---	XXXX	---	EXISTING CONTOUR
---	XXXX	---	EXISTING INDEX CONTOUR
---	XXXX	---	PROPOSED CONTOUR
---	XXXX	---	PROPOSED INDEX CONTOUR
+	XXXX		EXISTING SPOT ELEVATION
●	XXXX		PROPOSED SPOT ELEVATION
---			BOUNDARY
---			ADJACENT BOUNDARY
==			EXISTING CURB AND GUTTER
---			PROPOSED EARTHEN SWALE
---			PROPOSED RETAINING WALL
---			PROPOSED CONCRETE



<div>ENGINEER'S SEAL</div> <div></div> <div>7/2/21</div> <div>DAVID SOULE P.E. #14522</div>	<div>LOT 1 BLOCK 40 PARKLAND HILLS</div> <div>1100 RIDGECREST DRIVE</div> <div>GRADING AND DRAINAGE PLAN</div>	<div>DRAWN BY</div> <div>DEM</div>
		<div>DATE</div> <div>6-30-21</div>
	<div>LOT 1 BLOCK 40 PARKLAND HILLS DRG</div>	
<div></div> <div>PO BOX 83924 ALBUQUERQUE, NM 87199 (505) 321-9099</div>	<div>SHEET #</div> <div>C1</div>	
	<div>JOB #</div> <div>_____</div>	