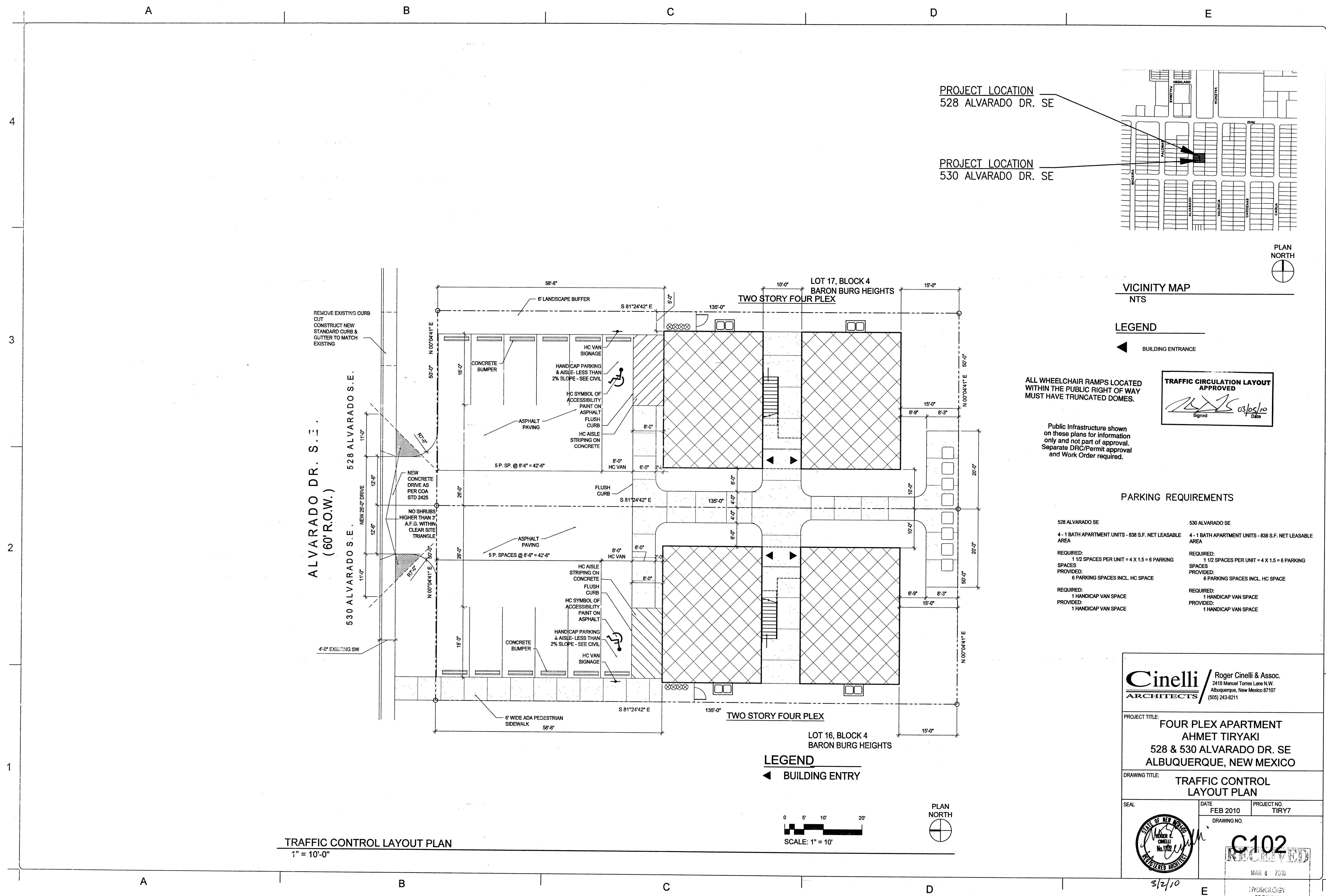
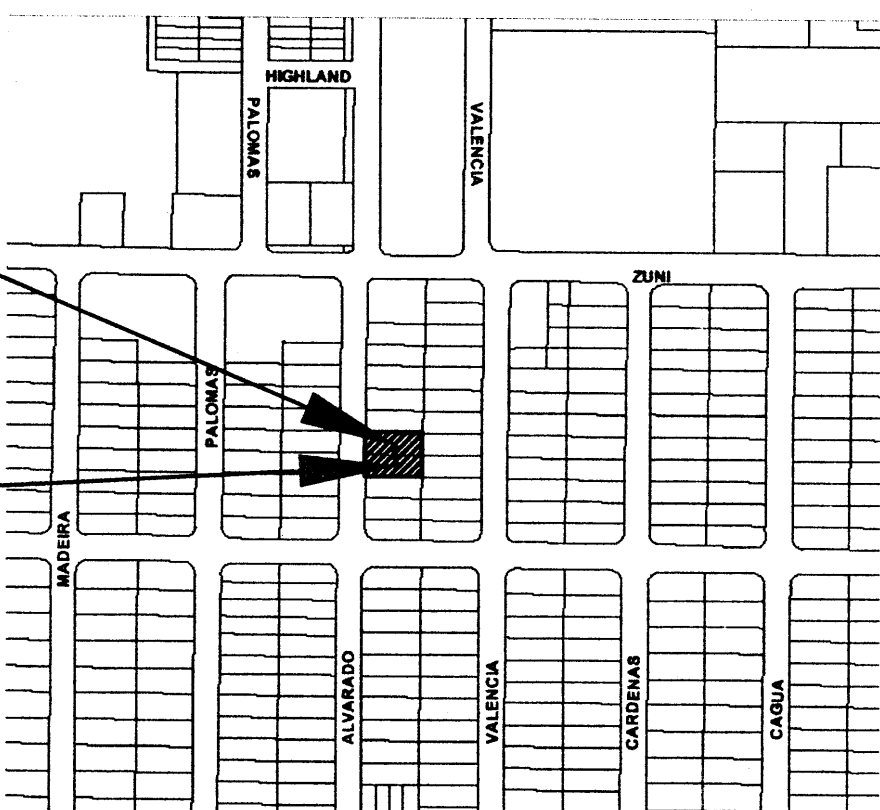




PROJECT LOCATION
528 ALVARADO DR. SE

PROJECT LOCATION
530 ALVARADO DR. SE

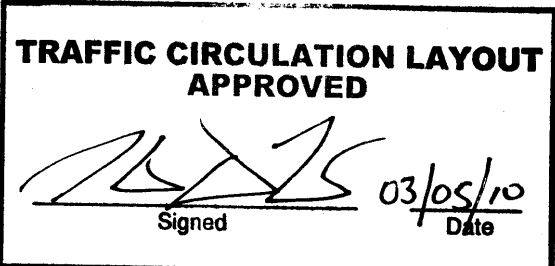


VICINITY MAP
NTS

LEGEND

◀ BUILDING ENTRANCE

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.



Public Infrastructure shown
on these plans for information
only and not part of approval.
Separate DRC/Permit approval
and Work Order required.

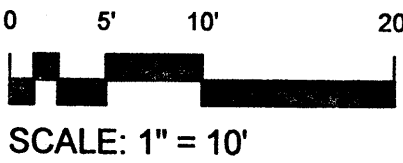
PARKING REQUIREMENTS

528 ALVARADO SE	530 ALVARADO SE
4 - 1 BATH APARTMENT UNITS - 838 S.F. NET LEASABLE AREA	4 - 1 BATH APARTMENT UNITS - 838 S.F. NET LEASABLE AREA
REQUIRED: 1 1/2 SPACES PER UNIT = 4 X 1.5 = 6 PARKING SPACES	REQUIRED: 1 1/2 SPACES PER UNIT = 4 X 1.5 = 6 PARKING SPACES
PROVIDED: 6 PARKING SPACES INCL. HC SPACE	PROVIDED: 6 PARKING SPACES INCL. HC SPACE
REQUIRED: 1 HANDICAP VAN SPACE	REQUIRED: 1 HANDICAP VAN SPACE
PROVIDED: 1 HANDICAP VAN SPACE	PROVIDED: 1 HANDICAP VAN SPACE

TRAFFIC CONTROL LAYOUT PLAN
1" = 10'-0"

LEGEND

◀ BUILDING ENTRY

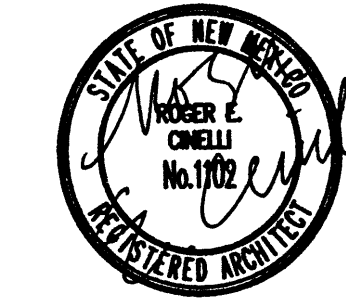


Cinelli / Roger Cinelli & Assoc.
ARCHITECTS
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

PROJECT TITLE:
**FOUR PLEX APARTMENT
AHMET TIRYAKI
528 & 530 ALVARADO DR. SE
ALBUQUERQUE, NEW MEXICO**

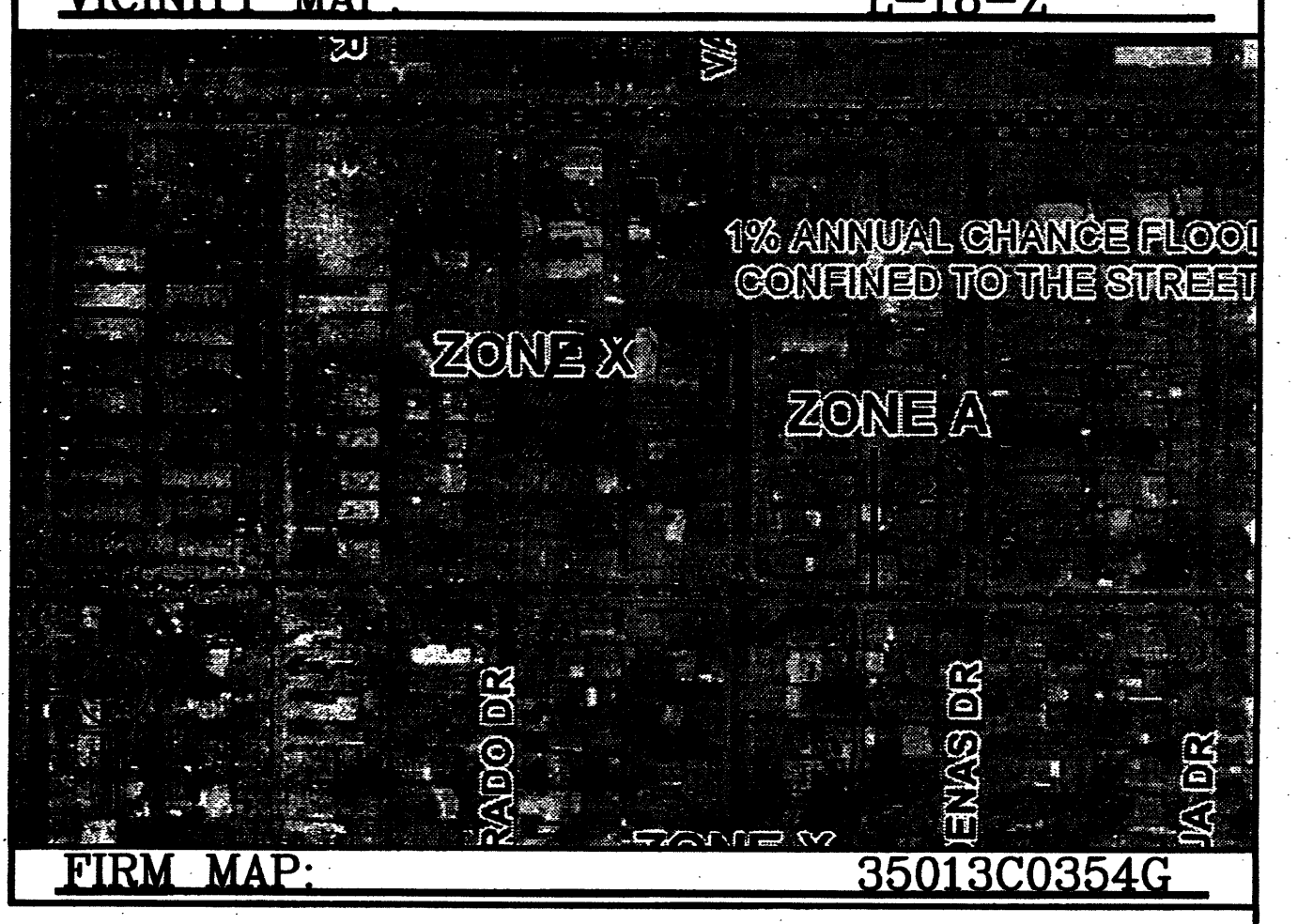
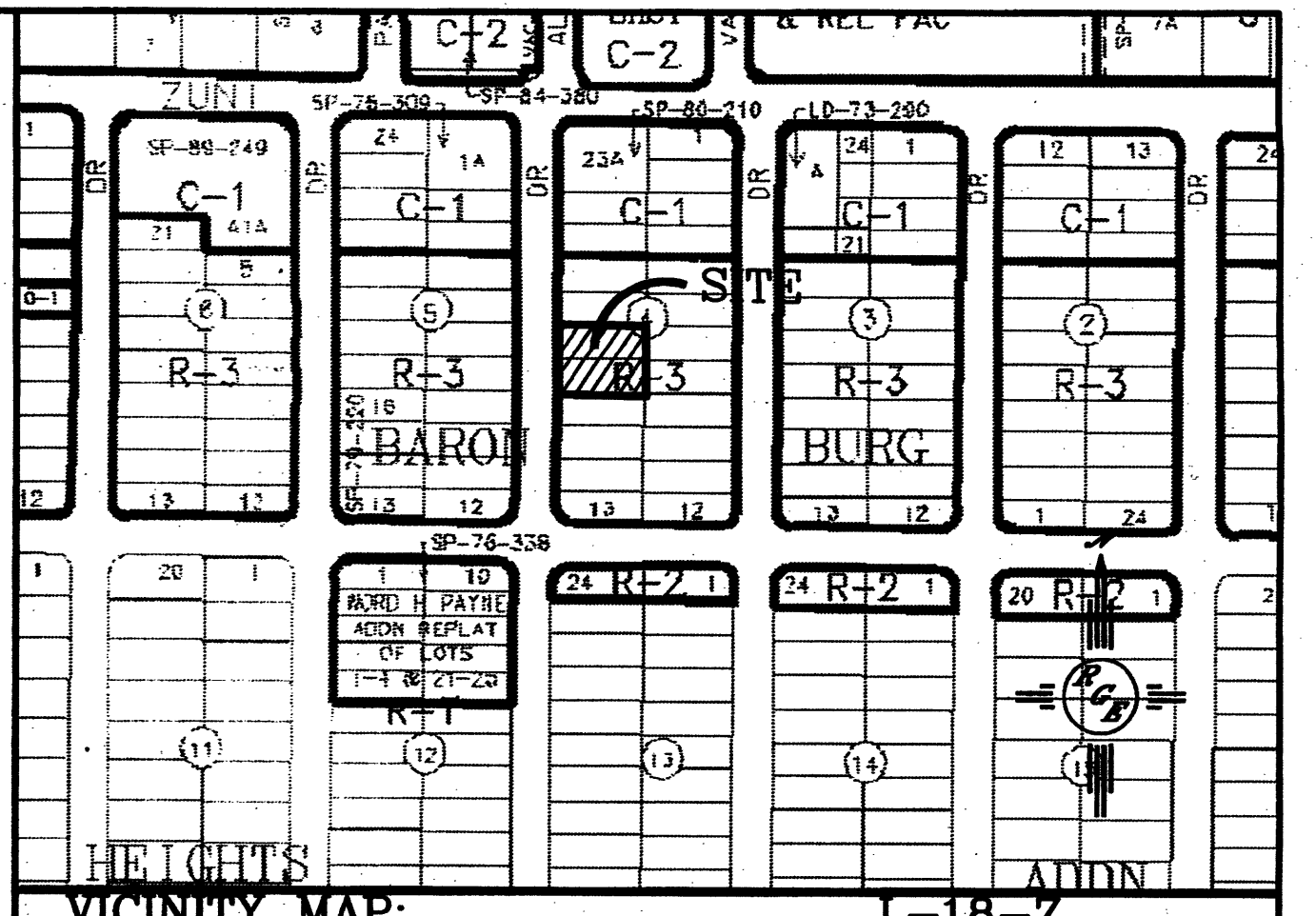
DRAWING TITLE:
**TRAFFIC CONTROL
LAYOUT PLAN**

SEAL: [Signature] DATE: FEB 2010 PROJECT NO.: TIRY7
DRAWING NO.:



C102
MAR 4 2010
HYDROLOGY
SECTION

- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



LEGAL DESCRIPTION:
LOTS NUMBERED 4 & 5, BLOCK 16 BARON BURG HEIGHTS
SHIRLEY'S REPLAT BLK 4

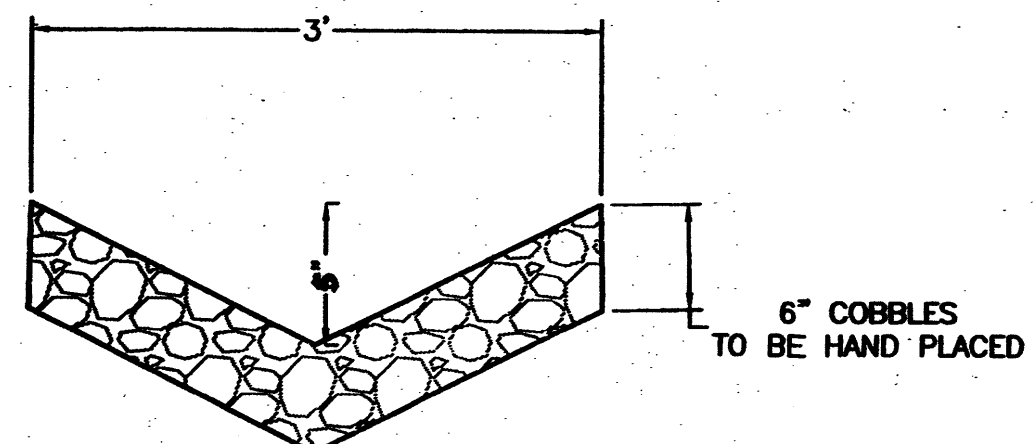
NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL CURBS SHALL BE FLUSH WITH PAVING.

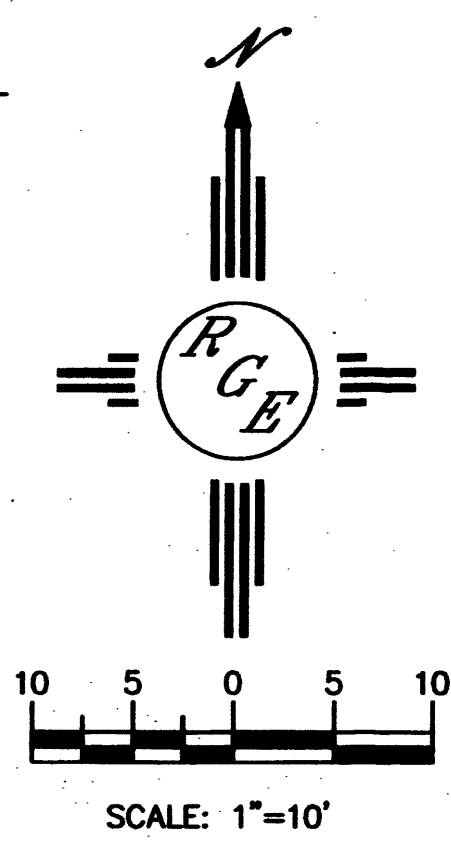
LEGEND

---	EXISTING CONTOUR
---	EXISTING INDEX CONTOUR
---	EXISTING 4" PVC STORM DRAIN
---	MAXIMUM WSEL (4980.30)
---	SLOPE TIE
---	EXISTING SPOT ELEVATION
---	PROPOSED SPOT ELEVATION
---	BOUNDARY
---	CENTERLINE
---	RIGHT-OF-WAY
---	CMU BLOCK SCREEN WALL
---	EXISTING CMU BLOCK SCREEN WALL
---	BUILDING
---	EXISTING C&G

I David Soule, NMPE 14522, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intend of the approved plan dated 3/30/10. The record information edited on the original design document has been performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided by David Vigil NMPS 8911. The certification is submitted in support of a request for Certificate of Occupancy. The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



COBBLE SWALE DETAIL
NTS



CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

	528 & 530 ALVARADO	DRAWN BY WCVJ
	GRADING AND DRAINAGE PLAN	DATE 3-03-10
	Rio Grande Engineering	2108-LAYOUT-3-03-10
	1806 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	SHEET # —
DAVID SOULE P.E. #14522		JOB # 2108