

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Interim Director



Mayor Timothy M. Keller

October 6, 2022

Vince Carrica, P.E.
Tierra West LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**RE: SafeStor Self-Storage
Lot 1 Block 3 Town of Atrisco Grant
Conceptual Grading and Drainage Plan
Engineer's Stamp Date: 9/22/22
Hydrology File: L08D013**

Dear Mr. Carrica:

Based upon the information provided in your submittal received 9/27/2022, the Grading and Drainage Plan is approved for Grading, Paving, Building Permits, and Work Order.

PO Box 1293

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

Albuquerque

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

NM 87103

www.cabq.gov

Please provide the Drainage Covenant with Exhibit A for the stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit the original copies along with the \$ 25.00 recording fee check made payable to Bernalillo County to Carrie Compton (cacompton@cabq.gov) on the 4th floor of Plaza de Sol. Please note that Hydrology will need a pdf copy of the recorded Drainage Covenant prior to Hydrology's approval of Permanent Release of Occupancy.

If you have any questions, please contact me at 924-3695 or dggutierrez@cabq.gov

Sincerely,

David G. Gutierrez, P.E.
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: SafeStor Self-Storage **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lot 1 Block 3 Town of Atrisco Grant UPC: 100805638540210405
City Address: Central Ave SW Albuquerque, NM 87121

Applicant: Tierra West LLC **Contact:** VINCE CARRICA
Address: 5571 MIDWAY PARK PLACE NE, ALBUQUERQUE, NM 87109
Phone#: 505-858-3100 **Fax#:** _____ **E-mail:** VCARRICA@TIERRAWESTLLC.COM

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE Type DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes _____ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 09.26.22 **By:** VINCE CARRICA

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Interim Director



Mayor Timothy M. Keller

June 24, 2022

Vince Carrica, P.E.
Tierra West LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**RE: SafeStor Self-Storage
Lot 1 Block 3 Town of Atrisco Grant
Conceptual Grading and Drainage Plan
Engineer's Stamp Date: 6/6/2022
Hydrology File: L08D013**

Dear Mr. Carrica:

Based upon the information provided in your submittal received 6/6/2022, the Conceptual Grading & Drainage Plan is preliminary approved. The following comments need to be addressed for approval for Grading Permit, Work Order, and Building Permit.

1. Provide written approval from AMAFCA for the plans.
2. Submit a finalized G&D for approval to Hydrology for review.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3695 or dggutierrez@cabq.gov

Sincerely,

David G. Gutierrez, P.E.
Senior Engineer, Hydrology
Planning Department

Vince Carrica

From: Jared Romero <jromero@amafca.org>
Sent: Thursday, May 5, 2022 3:48 PM
To: Vince Carrica
Cc: David Gutierrez; Ron Bohannon
Subject: RE: [#2021064] SAFESTor G&D Resubmittal - AMAFCA Comments

Good Afternoon Vince,

Noting your responses below and additional information attached, AMAFCA has no further comments on the Drainage Report and Site Plan with ESD 4/1/2022.

Best,
Jared

Jared Romero
Development Review Engineer
Albuquerque Metropolitan Arroyo Flood Control Authority
2600 Prospect Ave. NE
Albuquerque, NM 87107
Phone: (505) 884-2215
jromero@amafca.org

From: Vince Carrica <VCarrica@tierrawestllc.com>
Sent: Monday, May 2, 2022 3:37 PM
To: Jared Romero <jromero@amafca.org>
Cc: David Gutierrez <dggutierrez@cabq.gov>; Ron Bohannon <rrb@tierrawestllc.com>
Subject: RE: [#2021064] SAFESTor G&D Resubmittal - AMAFCA Comments

Hi Jared,
Thank you for the review and comments. See below for responses in Red.

Vince

PRIVILEGED AND CONFIDENTIAL

The information contained in this electronic mail message is confidential, may be privileged, and is intended only for the use of the individual(s) named above or their designee. If you are not the intended recipient of this message, you are hereby notified that any dissemination, distribution, or copying of this communication is strictly prohibited. Any unauthorized interception of this message is illegal under the law. If you have received this message in error, please immediately notify me by return message or by telephone and delete the original message from your email system. Thank you.

From: Jared Romero <jromero@amafca.org>
Sent: Monday, May 2, 2022 9:03 AM

LEGEND

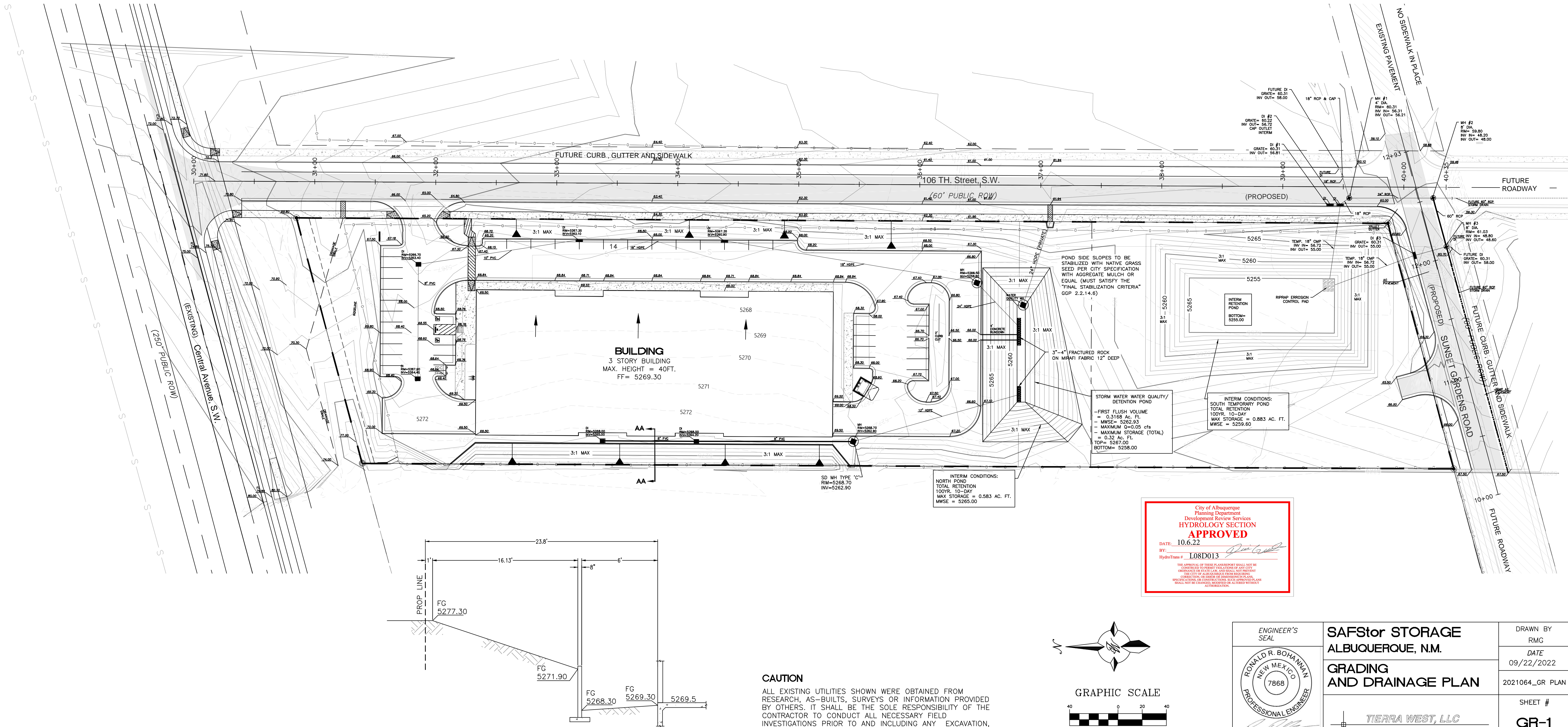
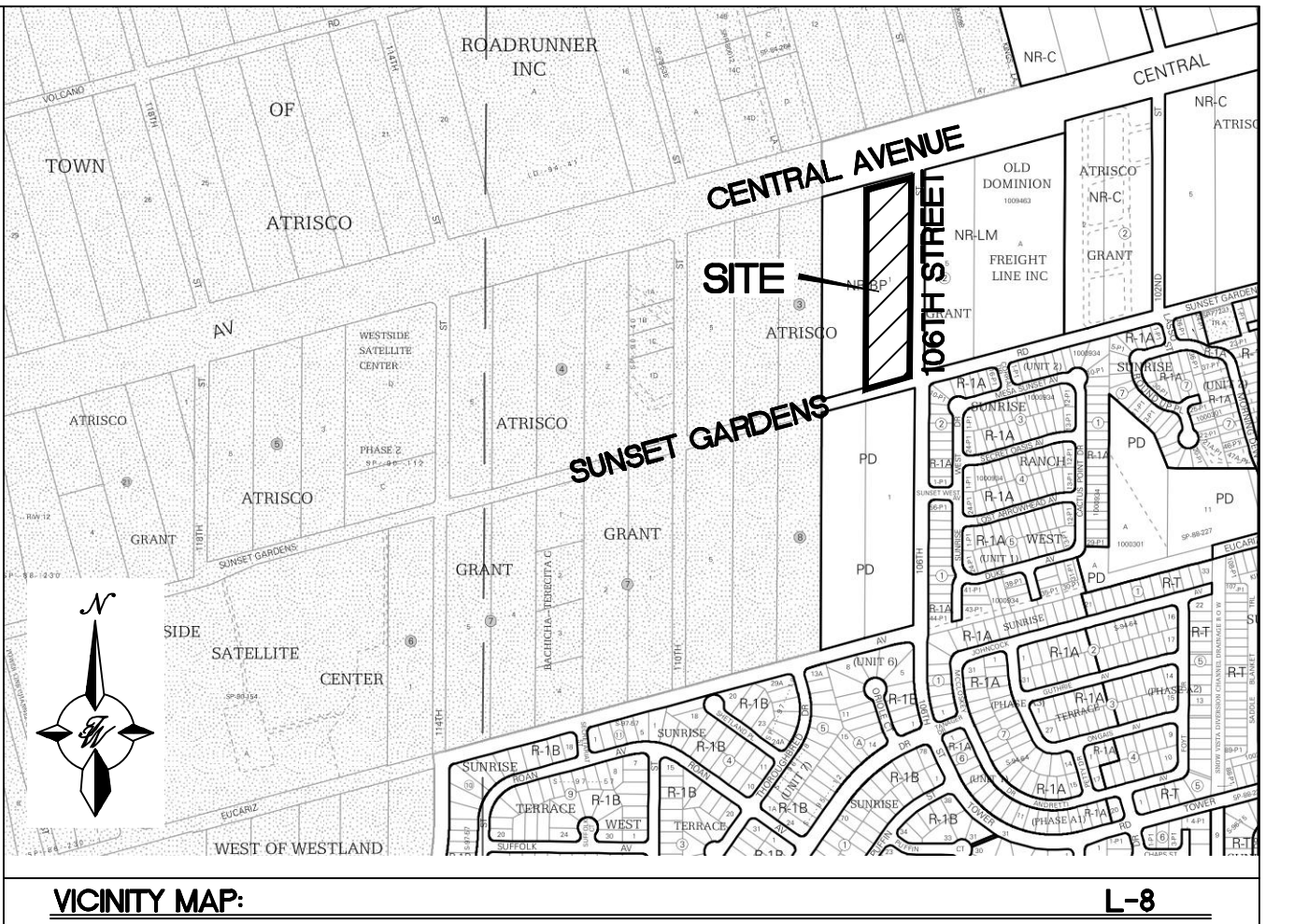
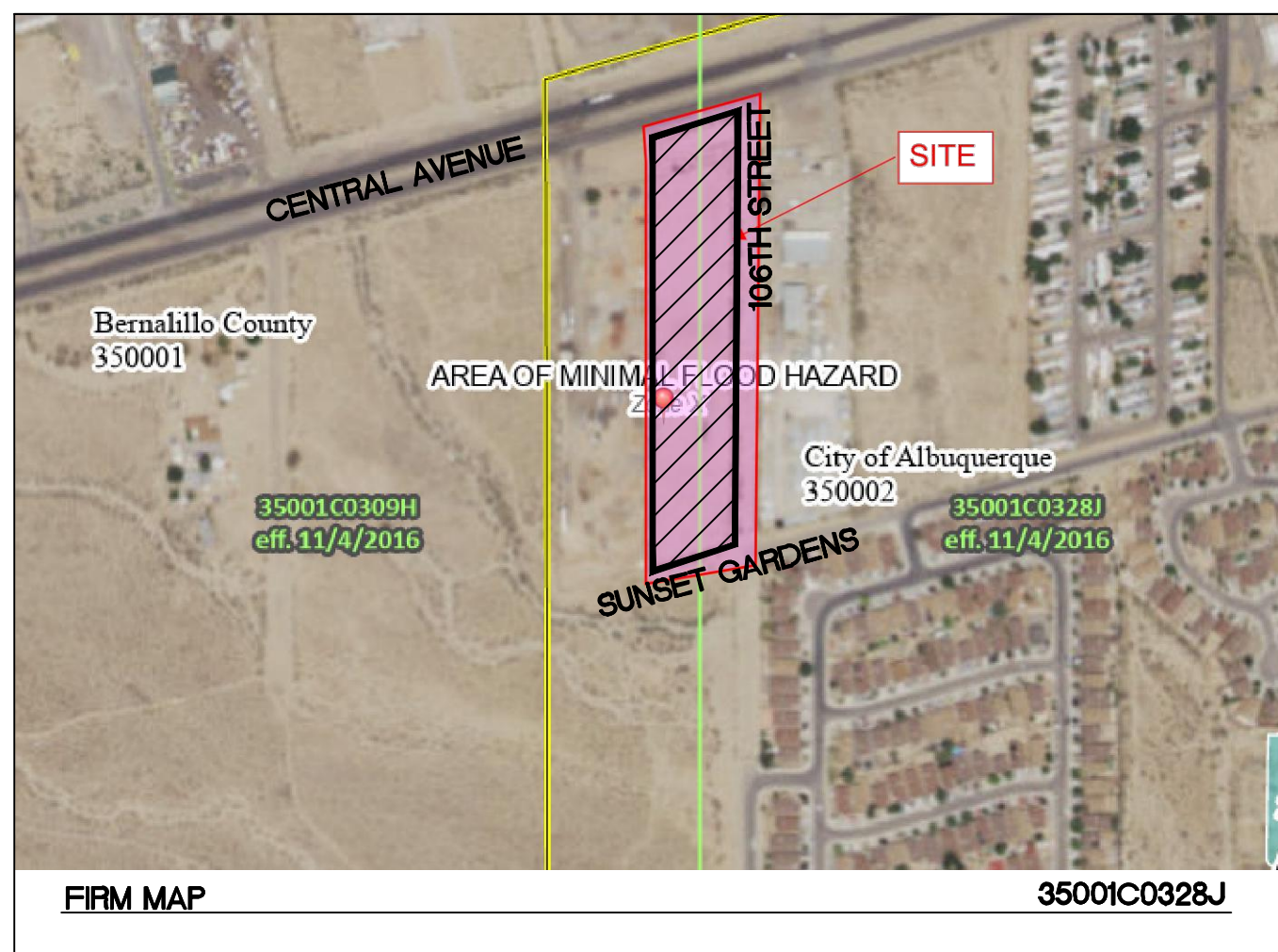
- CURB & GUTTER
- - - BOUNDARY LINE
- - - RIGHT-OF-WAY
— BUILDING
SIDEWALK
— 5010 — CONTOUR MAJOR
— 5011 — CONTOUR MINOR
x 5048.25 SPOT ELEVATION
— FLOW ARROW
— EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
— 5010 — EXISTING CONTOUR MAJOR
- - - EXISTING CONTOUR MINOR

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT UTILITY LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

EROSION CONTROL NOTES

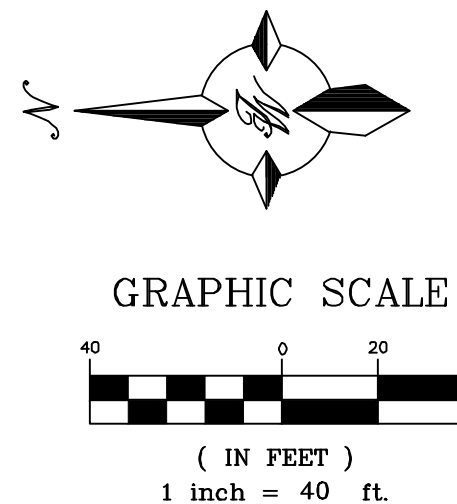
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3" GRAVEL.

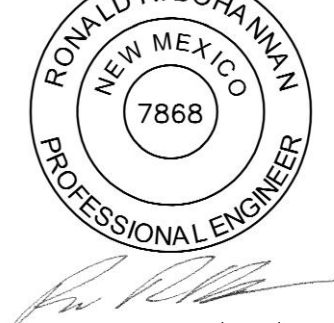



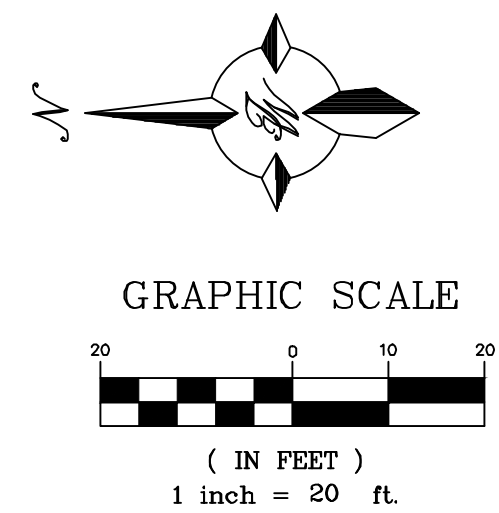
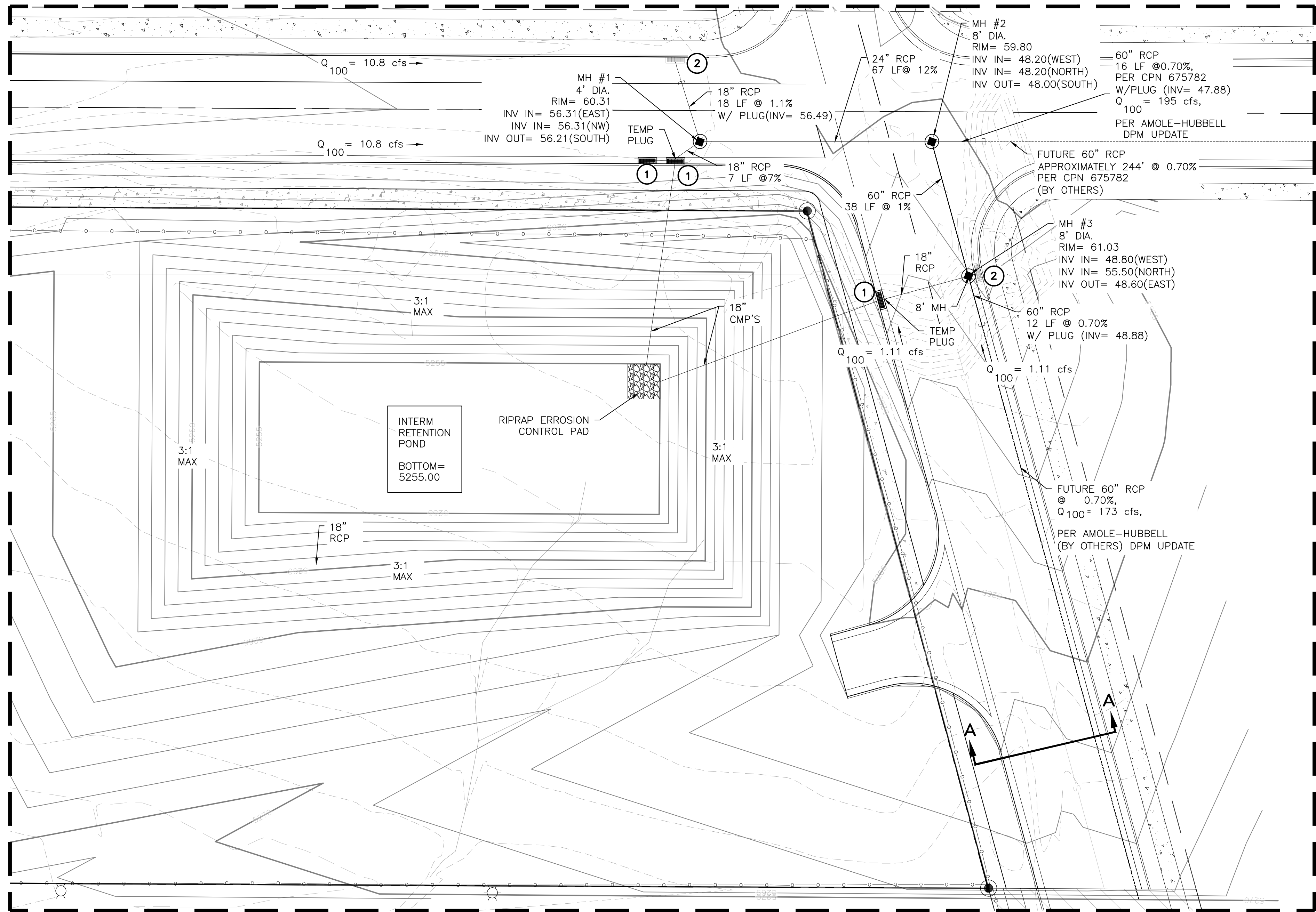
SECTION AA-AA

CAUTION

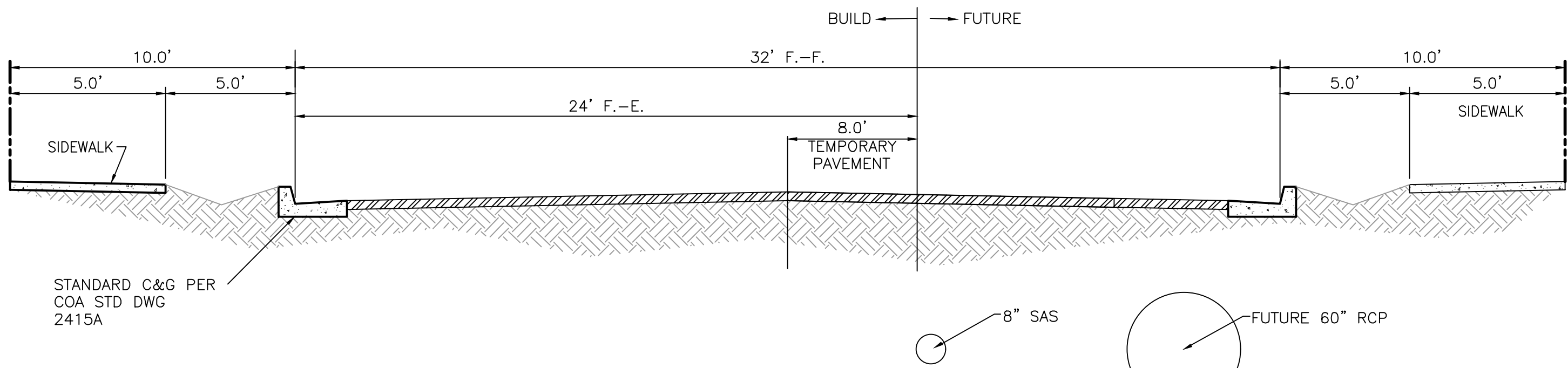
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



ENGINEER'S SEAL	SAFStor STORAGE ALBUQUERQUE, N.M. GRADING AND DRAINAGE PLAN	DRAWN BY RMG
		DATE 09/22/2022
		2021064_GR PLAN
RONALD R. BOHANNAN P.E. #7868	 TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	SHEET # GR-1
		JOB # 2021064



Pipe Capacity					
D (in)	Slope (%)	Area (ft²)	R	Q Provided (cfs)	Velocity (ft/s)
60	0.7	19.63	1.25	218.49	11.13
60	1	19.63	1.25	261.14	13.30
24	12	3.14	0.5	78.58	25.01
18	1.1	1.77	0.375	11.05	6.25
18	7	1.77	0.375	27.87	15.77



SUNSET GARDENS RD.
SECTION A-A
SCALE: NTS


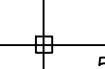
KEYED NOTES

- TYPE "A" DBL INLET
- FUTURE TYPE "A" DBL INLET (BY OTHERS)



CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

	ENGINEER'S SEAL	SAFStor STORAGE ALBUQUERQUE, N.M.	DRAWN BY RMG
	DATE 09/22/2022		DATE 09/22/2022
	GRADING AND DRAINAGE PLAN	 TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2021064_GR PLAN
			SHEET # GR-2
		JOB # 2021064	