

CITY OF ALBUQUERQUE



April 15, 2008

Frank D. Lovelady, P.E.
Frank D. Lovelady P.E.
300 Alamosa Rd. NE
Albuquerque, NM 87107

Re: Endorphin Power Company, 509 Cardenas Dr. SE, (L-18/D028)
Approval of Permanent Certificate of Occupancy,
Engineer's Stamp Date 03/02/2006
Certification dates: 04-11-08

Mr. Lovelady:

PO Box 1293

Based upon the information provided in your submittal received 4/14/08, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

Sincerely,

NM 87103

Timothy E. Sims
Plan Checker-Hydrology, Planning Dept
Development and Building Services

www.cabq.gov

C: CO Clerk—Katrina Sigala
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 06/22/2005)

PROJECT TITLE: ENDORPHIN POWER COMPANY ZONE MAP/DRG. FILE # L18 /D28
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS 1-4 AND EASTERLY 47.6' OF LOTS 21-24, BK. 3 SHIRLEY'S SUBDIVISION OF
BLOCK 3, BARON BURG HEIGHTS ADDITION:
CITY ADDRESS: 509 CARDENAS DRIVE S.E.

ENGINEERING FIRM: Frank D. Lovelady, P.E.
ADDRESS: 300 Alamosa Road NE
CITY, STATE: Albuquerque, NM

CONTACT: Frank Lovelady
PHONE: 345-2267
ZIP CODE: 87107

OWNER: ENDORPHIN POWER COMPANY
ADDRESS: 509 CARDENAS DR. SE
CITY, STATE: Albuquerque, NM

CONTACT: SAM SLISHMAN
PHONE: 220-1014
ZIP CODE: 87108

ARCHITECT: RICK BENNETT ARCHITECTS
ADDRESS: 1104 PARK AVE. SW
CITY, STATE: Albuquerque, NM

CONTACT: Darby Miera
PHONE: 242-1859
ZIP CODE: 87102

SURVEYOR: Harris Surveying Company
ADDRESS: 2412 Monroe Dr. NE
CITY, STATE: Albuquerque, NM

CONTACT: Tony Harris
PHONE: 889-8056
ZIP CODE: 87110

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY _____)

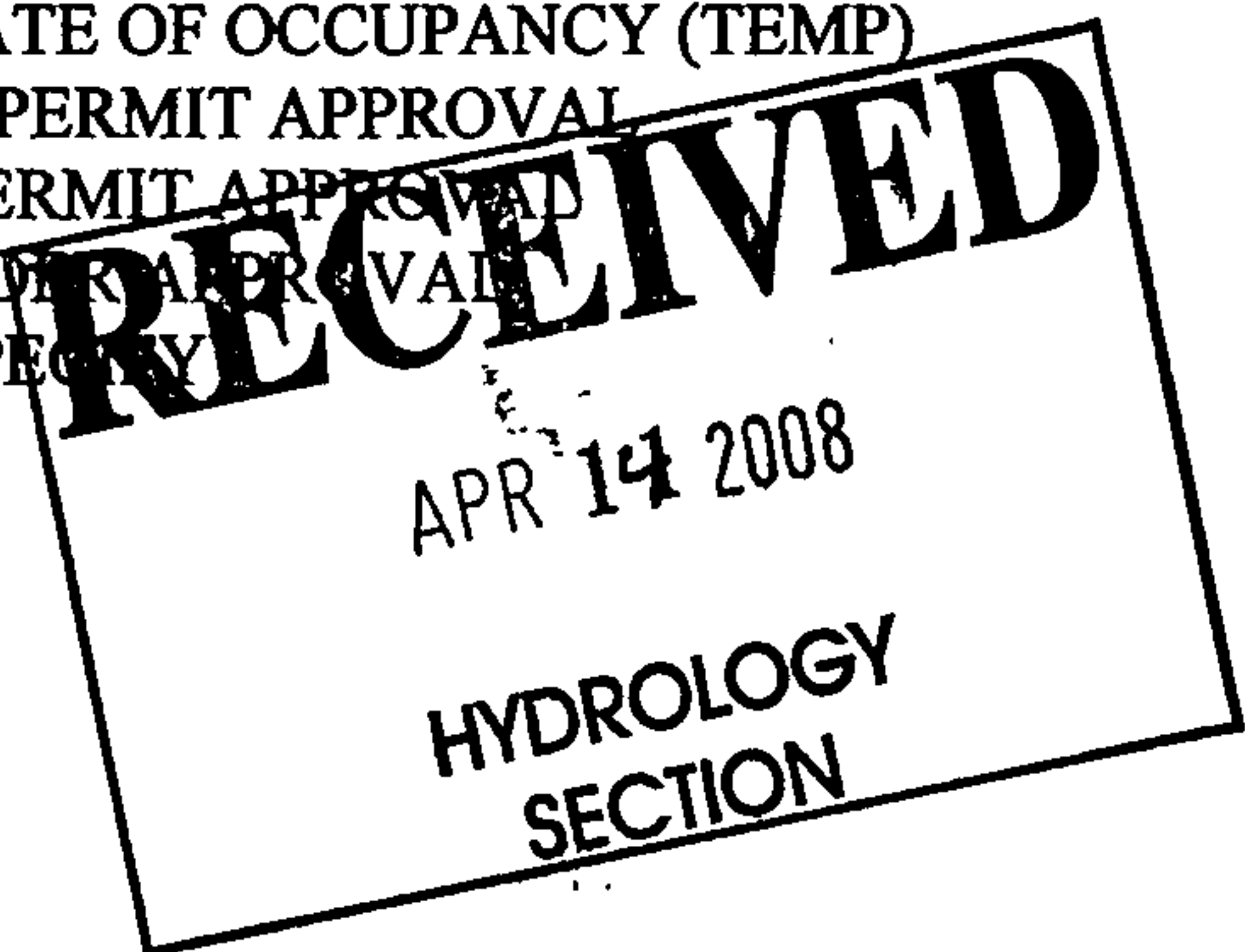
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: Frank D. Lovelady, P.E. DATE: APRIL 11, 2008

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

February 12, 2008

Richard P. Bennett, Registered Architect,
Rick Bennett Architects
1104 Park Avenue SW
Albuquerque, NM 87102

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
Endorphin Power Co.,
509 Cardenas Dr. SE (L-18/D028)
Architect's Stamp Dated 02/12/08

Dear Mr. Bennett:

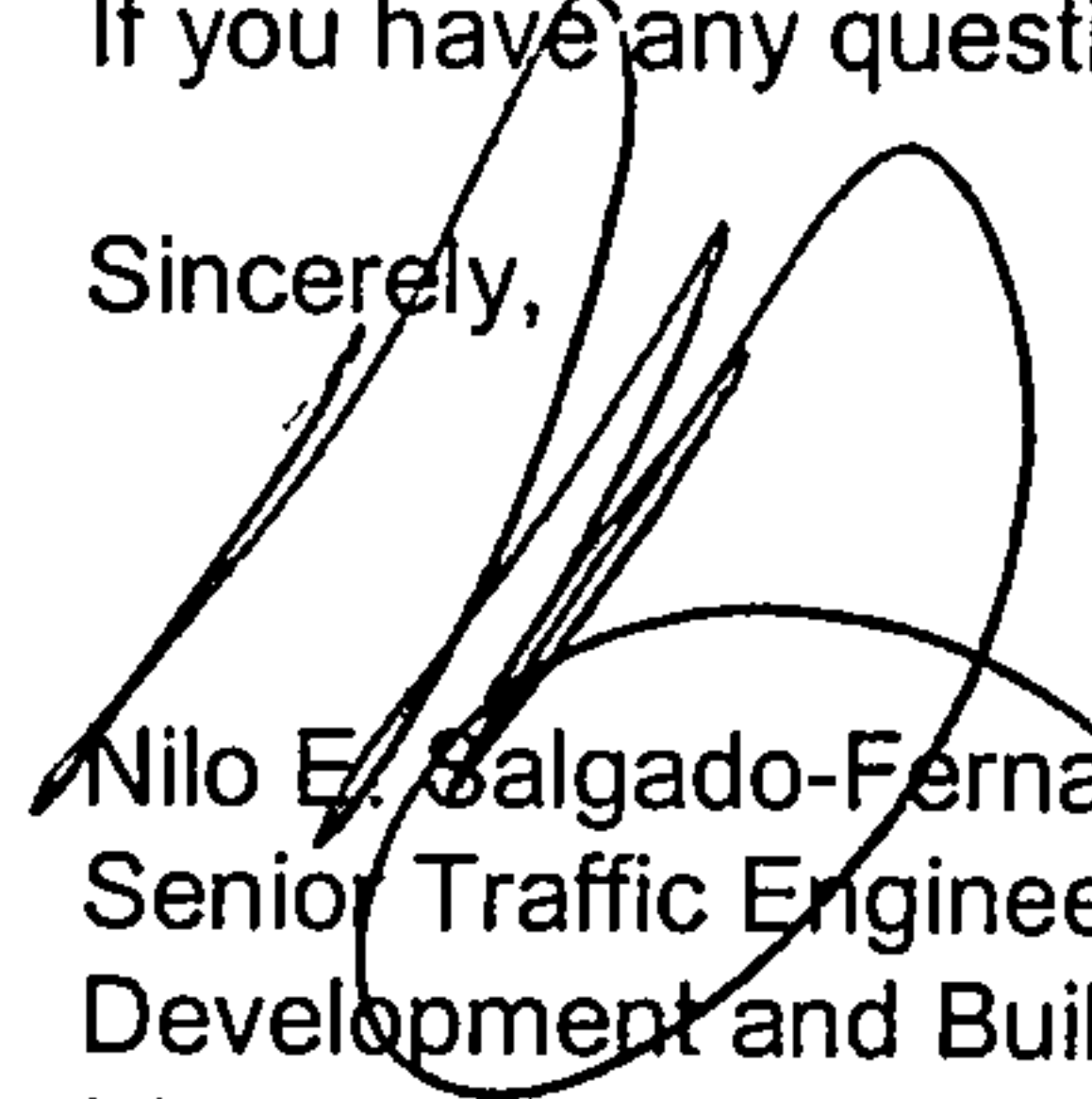
Based on the information provided on your submittal dated February 12, 2008, the above referenced project is approved for a 90-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding Site Plan (need to provide the approved site plan that you are certifying) and driveway (the existing drivepad fronting Zuni needs to be closed – Status of closure) issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

NOT REQUIRED

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: ENDORPHIN POWER Co.

ZONE MAP/DRG. FILE # L-18/DOZ8

DRB#: _____ EPC#: _____

WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS 1-4 AND E. 47.6 FEET LOTS 21-24, BLOCK 3, SHIRLEY'S SUBDIVISION OF BLOCK 1
CITY ADDRESS: 509 CARDENAS DRIVE SW 87108 BERNAILLO COUNTY, NEW MEXICO

ENGINEERING FIRM: FRANK D. LOVELADY, PE

ADDRESS: 300 ALAMOSA ROAD NW

CITY, STATE: ALBUQUERQUE NM

CONTACT: FRANK LOVELADY

PHONE: 345-2247

ZIP CODE: 87107

OWNER: SAM SUSHMAN

ADDRESS: 509 CARDENAS DRIVE SW

CITY, STATE: ALBUQUERQUE NM

CONTACT: SAM SUSHMAN

PHONE: 220-1014

ZIP CODE: 87108

ARCHITECT: RICK BENNETT ARCHITECTS, INC

ADDRESS: 1104 PARK AVE SW

CITY, STATE: ALBUQUERQUE NM

CONTACT: RICK BENNETT

PHONE: 242-1859

ZIP CODE: 87102

SURVEYOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: TED WATERMAN

ADDRESS: 501 3RD SW

CITY, STATE: ABQ NM

CONTACT: TED WATERMAN

PHONE: 248-1600

ZIP CODE: 87102

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER/ARCHITECT CERT (TCL)
- ☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
- ☐ ENGINEER/ARCHITECT CERT (AA)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

- Provide approved TCL plan
- verify driveway is closed on 2/12/08

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

SUBMITTED BY: [Signature]

RECEIVED

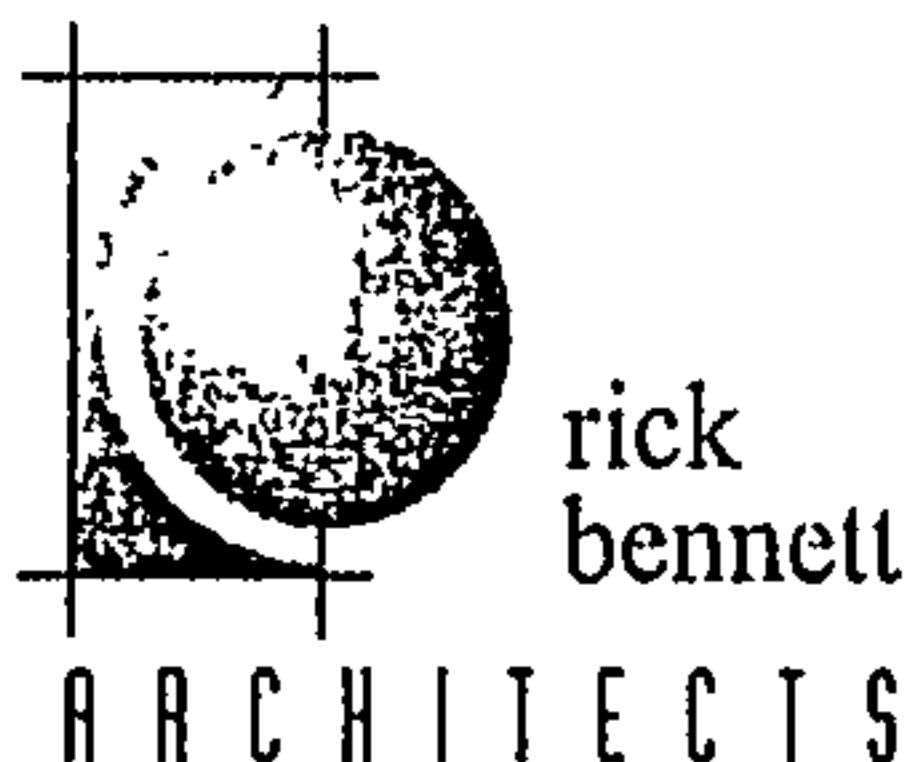
FEB 12 2008

HYDROLOGY

DATE SECTION 12/2008

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



February 12, 2008

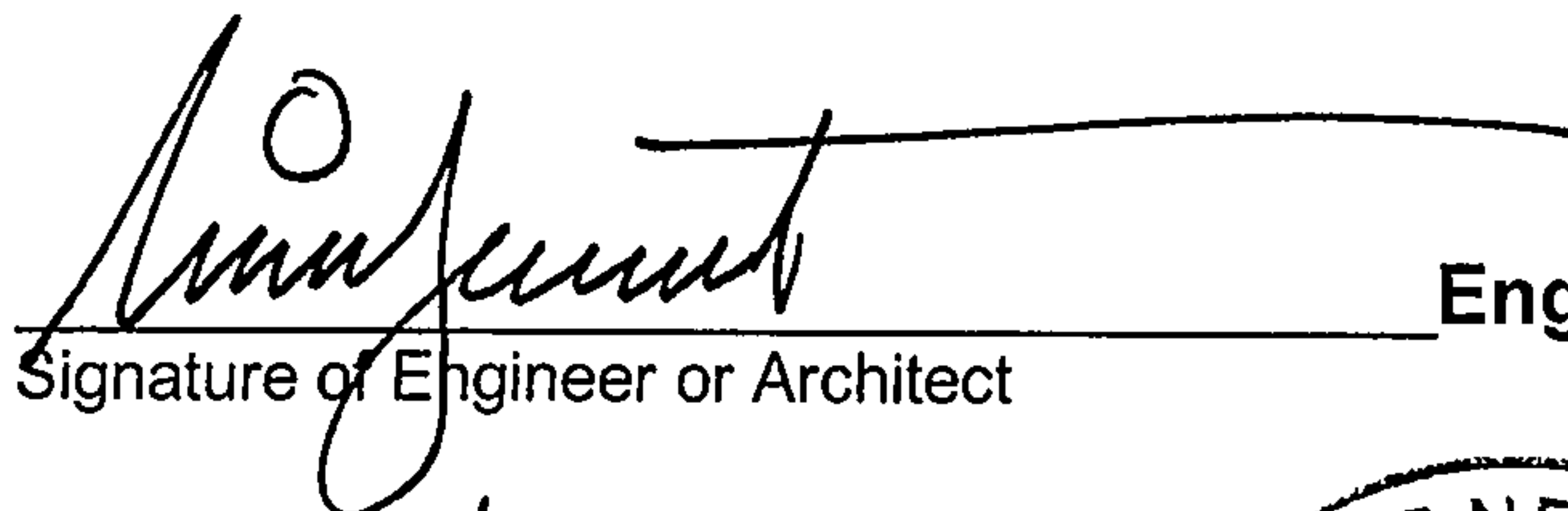
TRAFFIC CERTIFICATION

I, **Rick Bennett**, NMRA # 1240, of The Firm of Rick Bennett Architect, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Traffic Circulation Layout, approved plan dated, June 23, 2006.

The record information edited onto the original design document has been obtained by **Rick Bennett Architect**, of the firm. I further certify that I have personally visited the project site on February 11, 2008 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy (Permanent) for Endorphin Power Company. Located at 509 Cardenas SE.

Legal Description: Lots numbered One (1), Two (2), Three (3), Four (4), and the testerly 47. Feet of lots numbered Twenty-One (21), Twenty-Two (22), Twenty-Three (23), and Twenty-Four (24) of Shirley's subdivision of block numbered Three (3) of Baron Burg Heights Addition to the City of Albuquerque, New Mexico. As the same are shown and designated on the Plat of said subdivisions. Filed in the office of the County Clerk of Bernalillo County New Mexico on August 12, 1929, in Plat Book B, Folio 44.

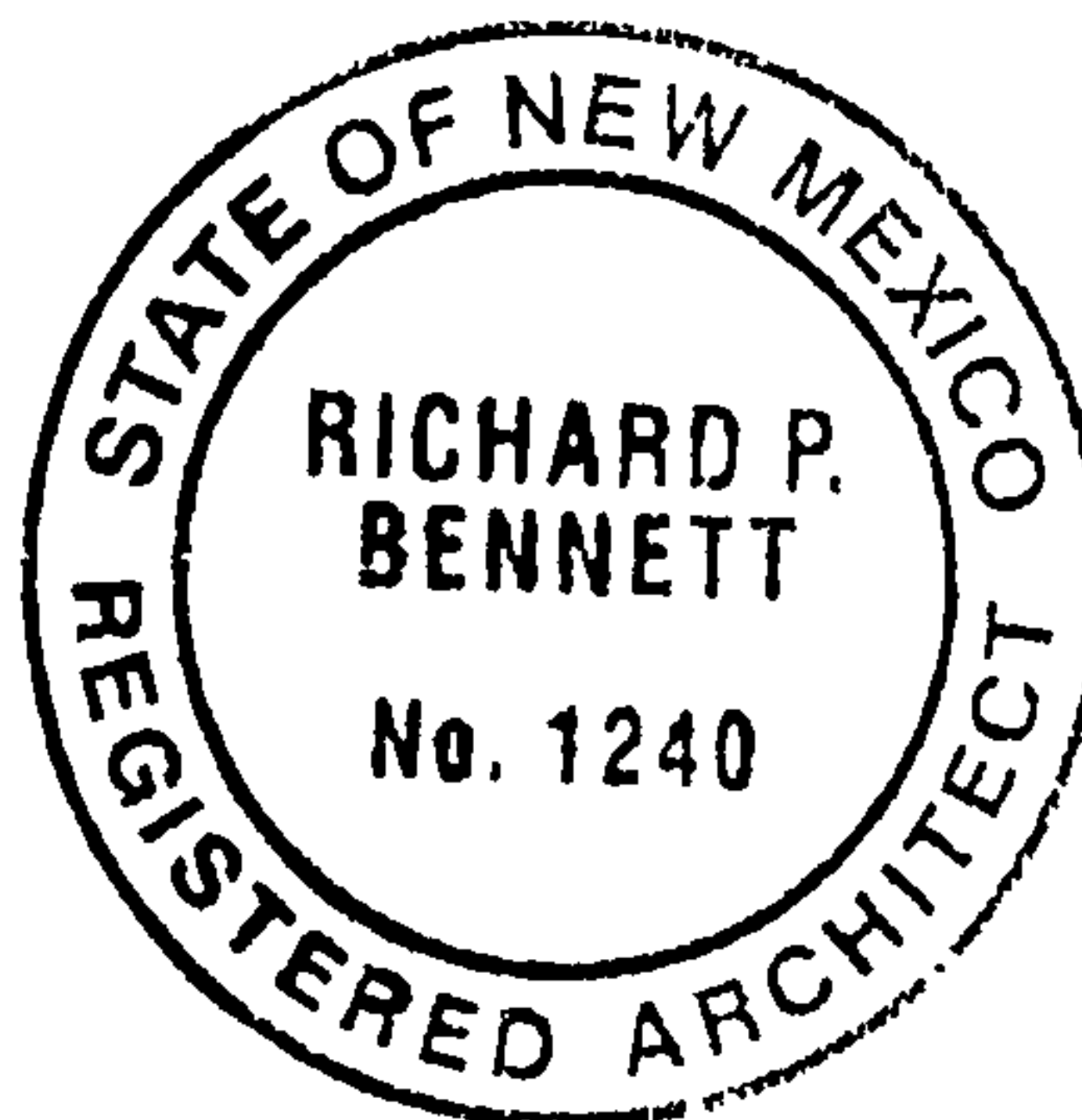
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



Signature of Engineer or Architect

Engineer's or Architect's Stamp

Date: 2/12/08



Sincerely,



Rick Bennett, Architect

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: ENDORPHIN POWER CO.ZONE MAP/DRG. FILE # L-18/DO28

DRB#: _____ EPC#: _____

WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS 1-4 AND E. 470 FEET LOTS 21-24, BLOCKS 3, SHIRLEY'S SUBDIVISION
CITY ADDRESS: 509 CARDENAS DRIVE SW 07100 BLOCK 3ENGINEERING FIRM: FRANK IVELADY, PEADDRESS: 300 ALAMOSA ROAD NWCITY, STATE: ABQ. NMCONTACT: FRANK IVELADYPHONE: 345-2247ZIP CODE: 07107OWNER: SAM SLISHMANADDRESS: 509 CARDENAS DRIVE SWCITY, STATE: ABQ. NMCONTACT: SAM SLISHMANPHONE: 220-1014ZIP CODE: 07100ARCHITECT: LICK BENNETT ARCHITECTS, INCADDRESS: 1104 PARK AVES WCITY, STATE: ABQ. NMCONTACT: LICK BENNETTPHONE: 242-1857 (9)ZIP CODE: 07102

SURVEYOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: WATERMAN INC.ADDRESS: 501 3RD ST.CITY, STATE: ABQ NMCONTACT: TED WATERMANPHONE: 240-1400ZIP CODE: 07102

TYPE OF SUBMITTAL:

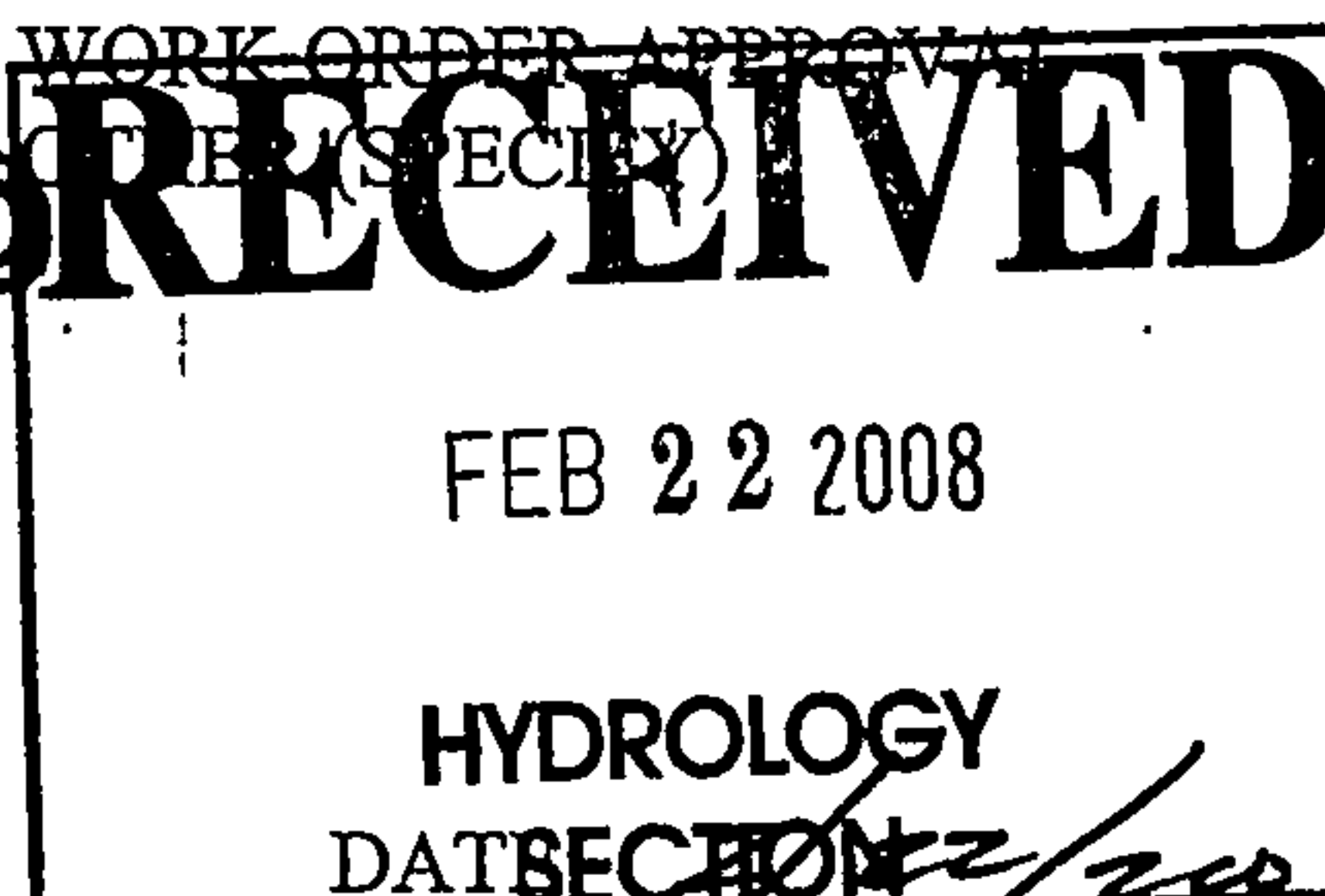
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ **TRAFFIC CIRCULATION LAYOUT**
- ☐ ENGINEER/ARCHITECT CERT (TCL)
- ☐ ENGINEER/ARCHITECT CERT (DR S.E.)
- ☐ ENGINEER/ARCHITECT CERT (AA)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

SUBMITTED BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

~~status of closure of inst driped~~

Exist vs. proposed conditios

Remove exist driped on Zone - replena
w/ SW, C & G

ADMINISTRATIVE UNIT
1954-1955
1956

ADMINISTRATIVE UNIT
1954-1955
1956

ADMINISTRATIVE UNIT
1954-1955
1956

ADMINISTRATIVE UNIT
1954-1955
1956

ADMINISTRATIVE UNIT
1954-1955
1956

ADMINISTRATIVE UNIT
1954-1955
1956

WILSON

1954-1955

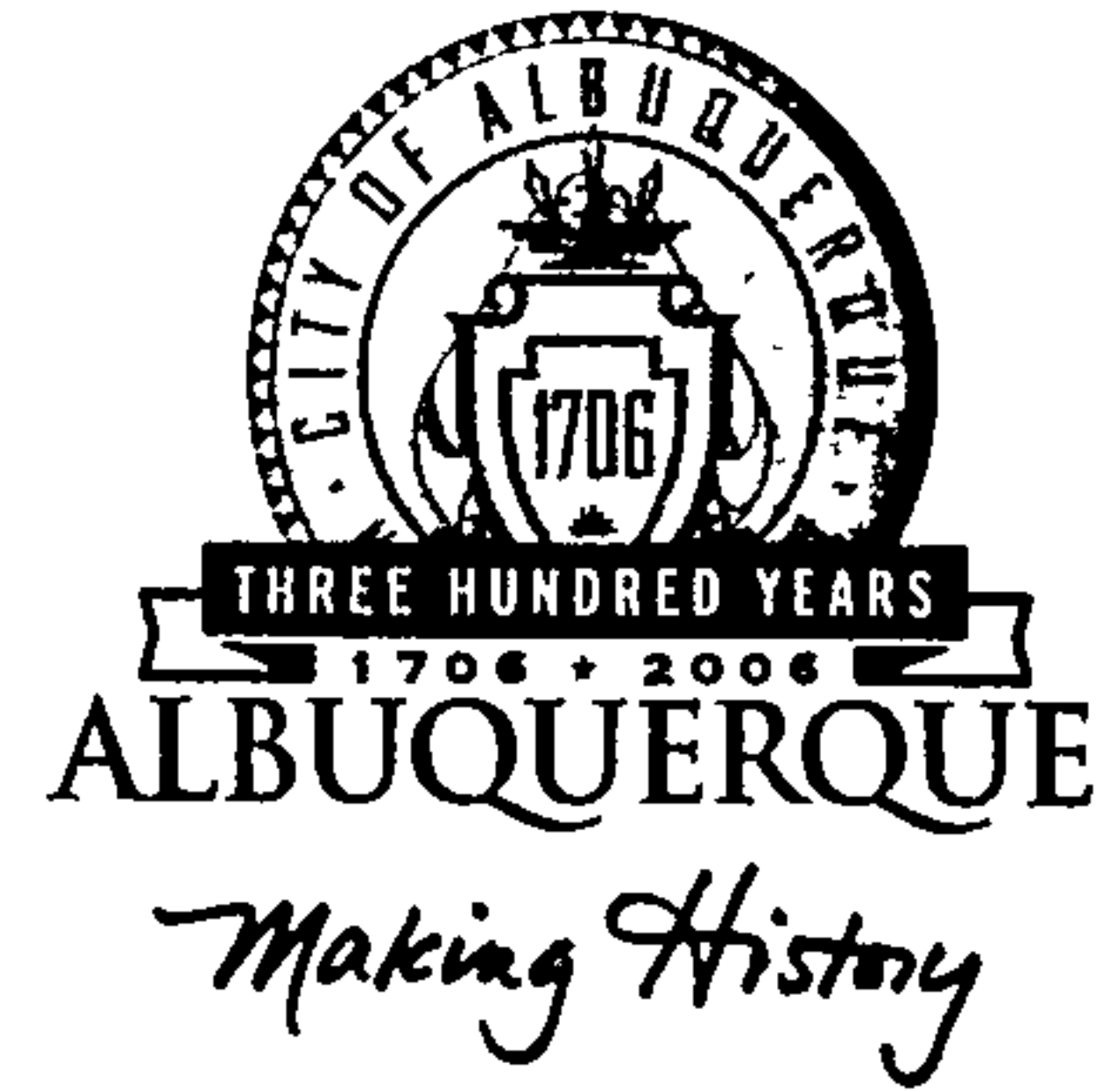
1956

1957

1958

1959

CITY OF ALBUQUERQUE



April 3, 2006

Frank D. Lovelady, PE
300 Alamosa Road NE
Albuquerque, NM 87107

**Re: Endorphin Power Company, 509 Cardenas Dr. SE-Grading & Drainage Plan
Engineer's Stamp dated 3-2-06 (L18-D28)**

Dear Mr. Lovelady,

Based upon the information provided in your submittal dated 3-2-06, the above referenced plan is approved for Building Permit and SO19 Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to release of the Certificate of Occupancy an Engineer's Certification of the grading plan per the DPM checklist will be required.

P.O. Box 1293

If you have any questions, you can contact me at 924-3990.

Albuquerque

Sincerely,

New Mexico 87103

Phillip J. Lovato, E.I., C.F.M.
Engineering Associate, Hydrology,
Development and Building Services,
Planning Department

www.cabq.gov

cc: Liz Sanchez, Excavation & Barricading
Edward Elwell, Street/Storm Drain Maintenance
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 06/22/2005)

PROJECT TITLE: ENDORPHIN POWER COMPANY ZONE MAP/DRG. FILE # L-18-7 D28
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS 1 - 4 AND EASTERLY 47.6' OF LOTS 21 - 24, BK. 3, SHIRLEY'S SUBDIVISION OF
BLOCK 3, BARON BURG HEIGHTS ADDITION:
CITY ADDRESS: 509 Cardenas Dr. SE

ENGINEERING FIRM: Frank D. Lovelady, P.E.
ADDRESS: 300 Alamosa Road NE
CITY, STATE: Albuquerque, NM

CONTACT: Frank Lovelady
PHONE: 345-2267
ZIP CODE: 87107

OWNER: Endorphin Power Company
ADDRESS: 509 Cardenas Drive SE
CITY, STATE: Albuquerque, NM

CONTACT: Sam Slishman
PHONE: 220-1014
ZIP CODE: 87108

ARCHITECT: Rick Bennett, Architect
ADDRESS: 1104 Park Ave. SW
CITY, STATE: Albuquerque, NM

CONTACT: Darby Miera
PHONE: 242-1859
ZIP CODE: 87102

SURVEYOR: Surveys of the Southwest
ADDRESS: 333 Lomas Blvd. NE
CITY, STATE: Albuquerque, NM

CONTACT: Dan Graney
PHONE: 998-0303
ZIP CODE: 87102

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

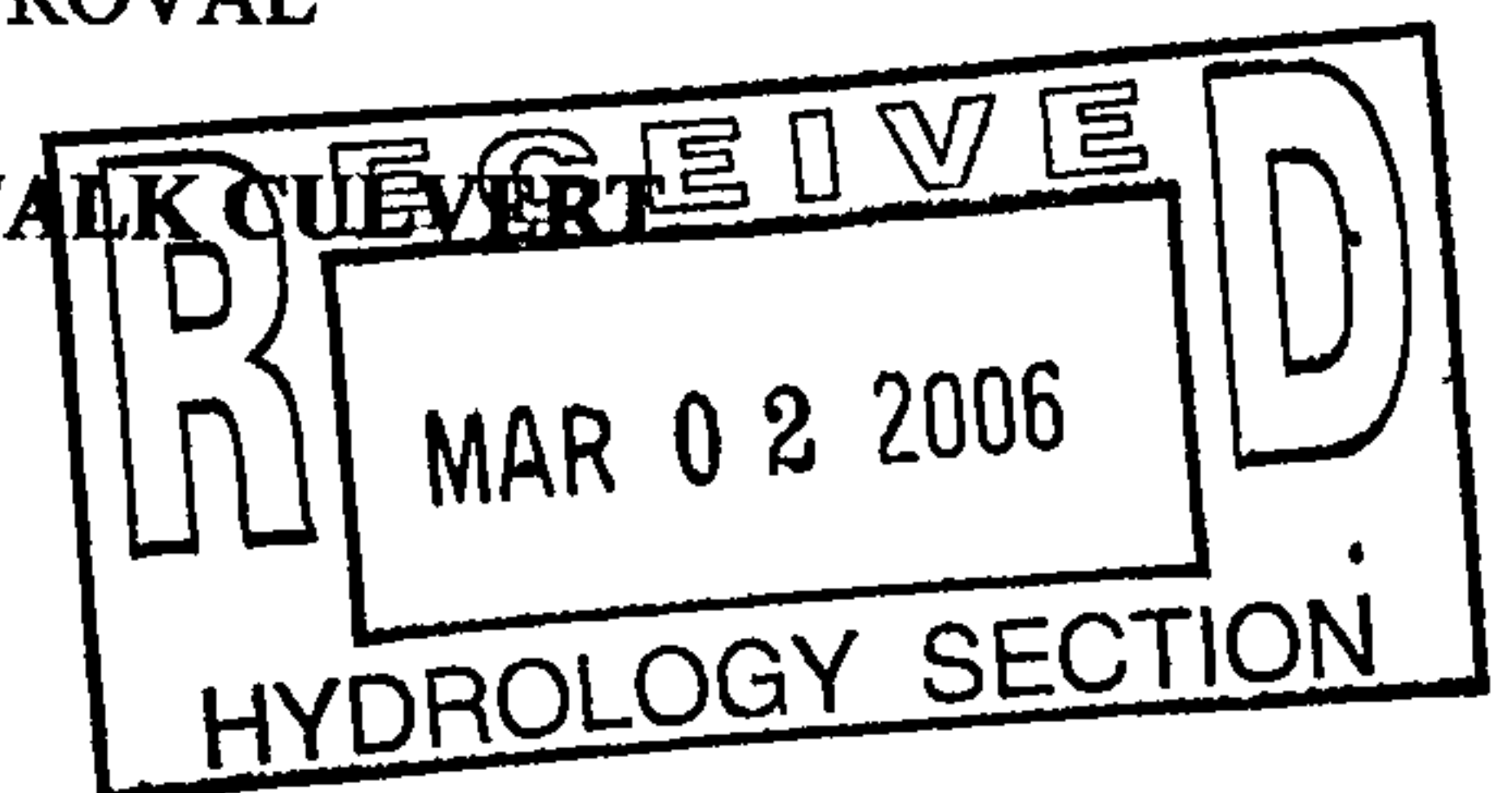
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☒ OTHER (SPECIFY)
S.O. 19 FOR SIDEWALK CULVERT

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES (Discussion at counter or by telephone)
☐ NO
☐ COPY PROVIDED (DISCUSSION AT COUNTER WITH BRAD BINGHAM)



SUBMITTED BY: Frank D. Lovelady, P.E. DATE: March 2, 2006

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Frank D. Lovelady, PE

300 Alamosa Road NW, Albuquerque, New Mexico 87107 Phone (505) 345-2267 Fax (505) 345-2115

March 2, 2006

Kristal D. Metro, P.E.,
Senior Engineer, Planning Dept.
Development and Building Services
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103


**RE: Endorphin Power Company, 509 Cardenas Drive SE, Grading and Drainage
Plan – Engineer's Stamp Dated 1-23-06 and Revised 3-02-06 (L18 – D28):**

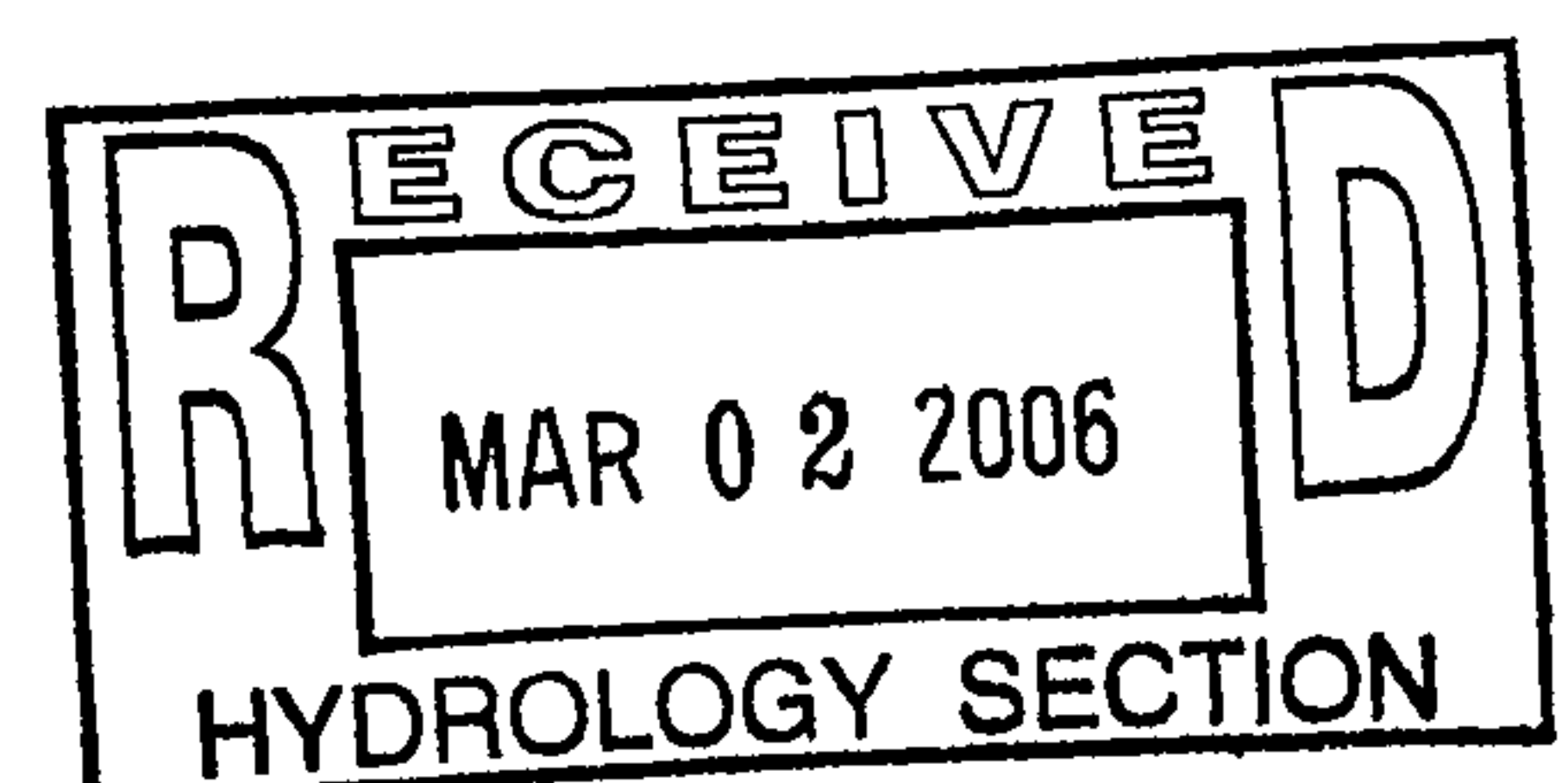
Dear Ms. Metro:

With regard to your letter of February 24, 2006, attached is the revised grading and drainage plan referenced above, hopefully with all of the changes you requested. Apparently, the second sheet, Sheet 2 of 2, inadvertently was left out of the first submittal.

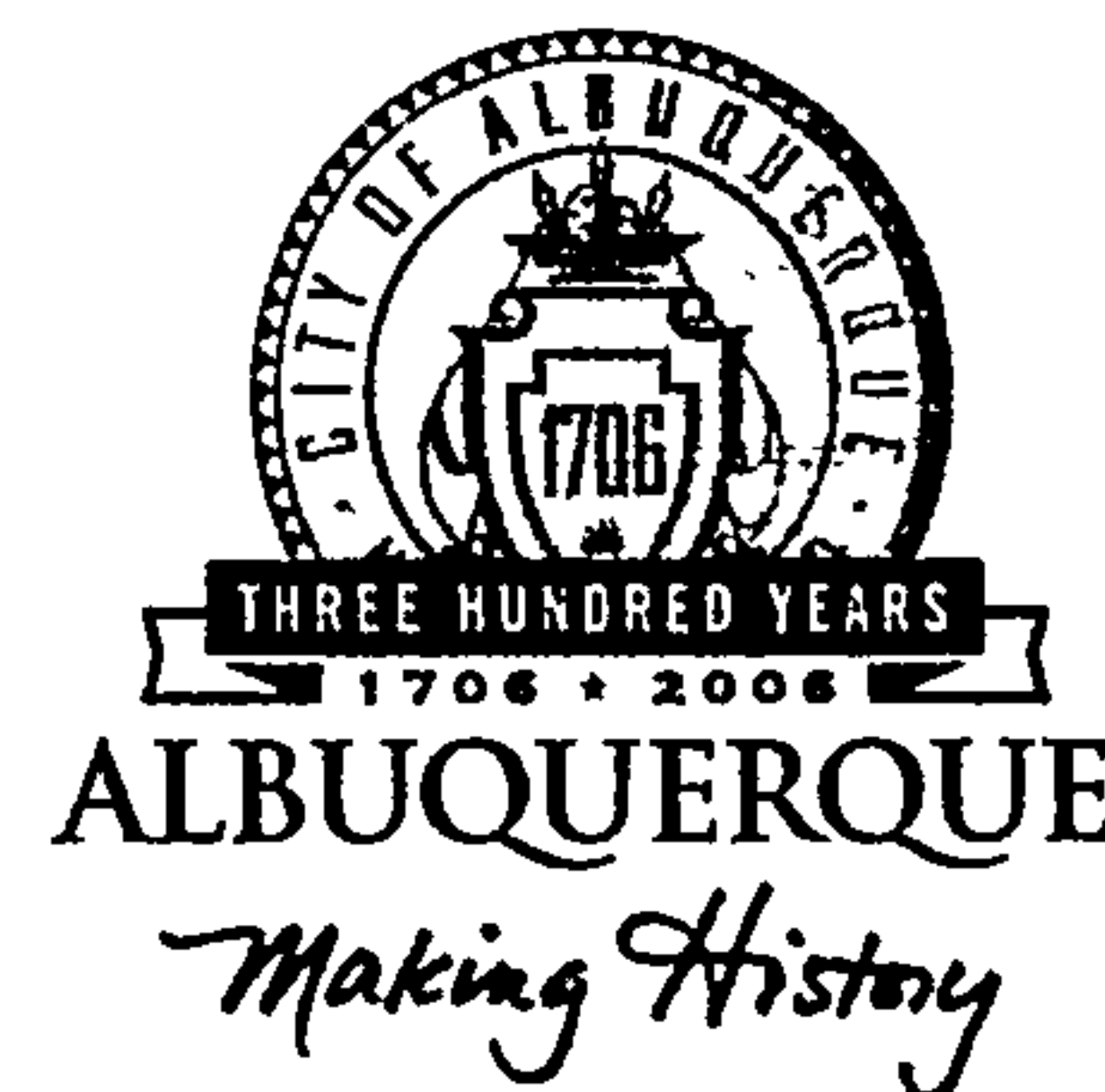
Please accept my apologies for the confusion. If you have any questions or require additional information, please do not hesitate to call me.

Sincerely,


Frank D. Lovelady, PE



CITY OF ALBUQUERQUE



February 24, 2006

Frank D. Lovelady P.E.
300 Alamosa Road NW
Albuquerque, NM 87107

**Re: Endorphin Power Company, 509 Cardenas Drive SE, Grading and
Drainage Plan
Engineer's Stamp dated 1-23-06 (L18-D28)**

Dear Mr. Lovelady,

Based upon the information provided in your submittal received 1-26-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

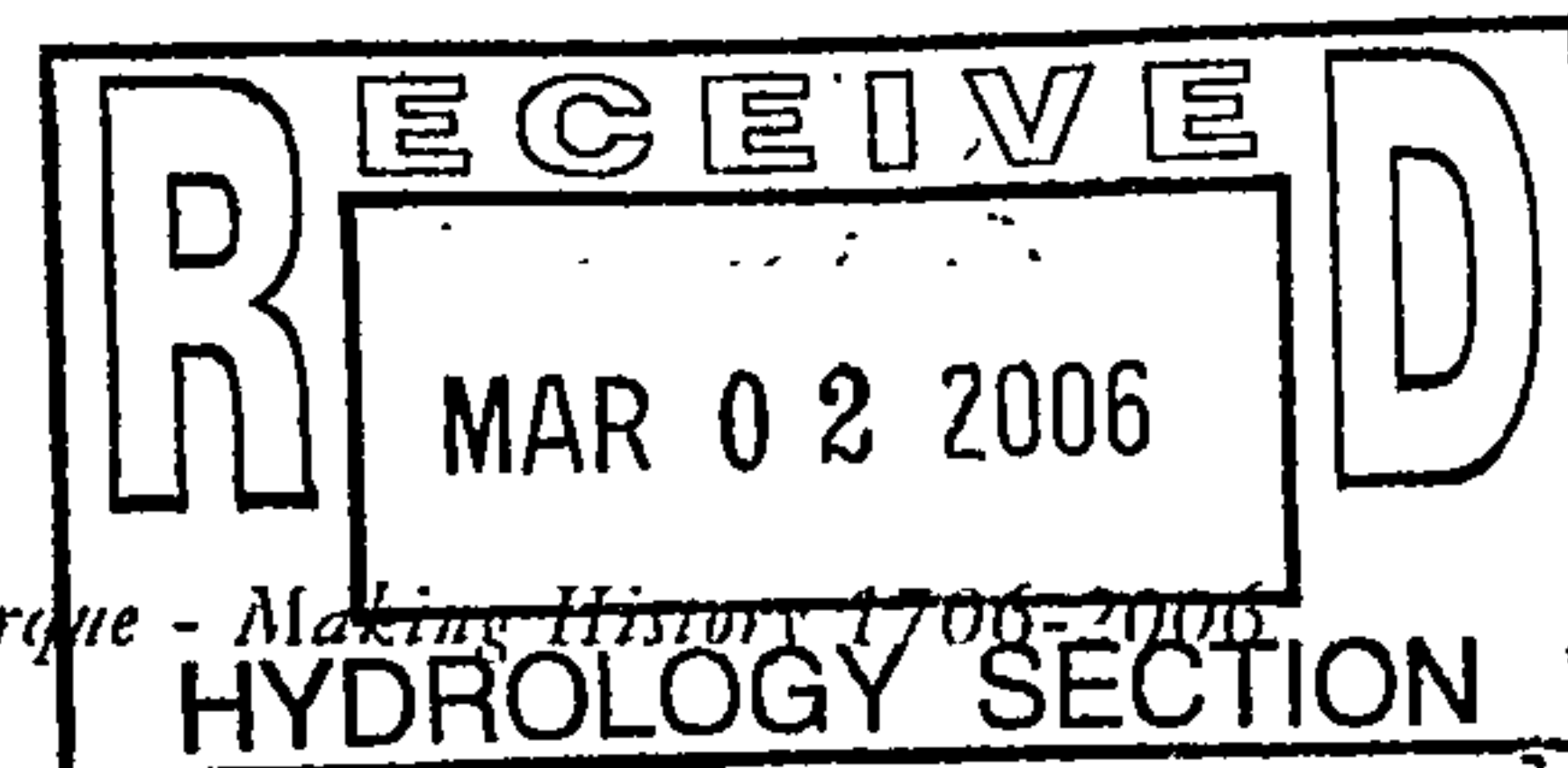
1. Provide the drainage calculations for this site, both existing and proposed.
2. Define the site's proximity to the flood zone. Include a copy of the FEMA Flood Insurance Rate Map.
3. Please include an executive summary on the plan set. This summary should include the following items: general project location; development concept for the site; the drainage concept for the site (both existing and proposed); how onsite flows will be handled and discharged; previously approved drainage plans/reports/studies regarding the project area; drainage basin boundaries; and capacity of infrastructure (such as the proposed sidewalk inlet).
4. Quantify the proposed and existing flow by providing calculations.
5. Provide a detail for the proposed concrete slab (keyed note 8).

If you have any questions, you can contact me at 924-3981.

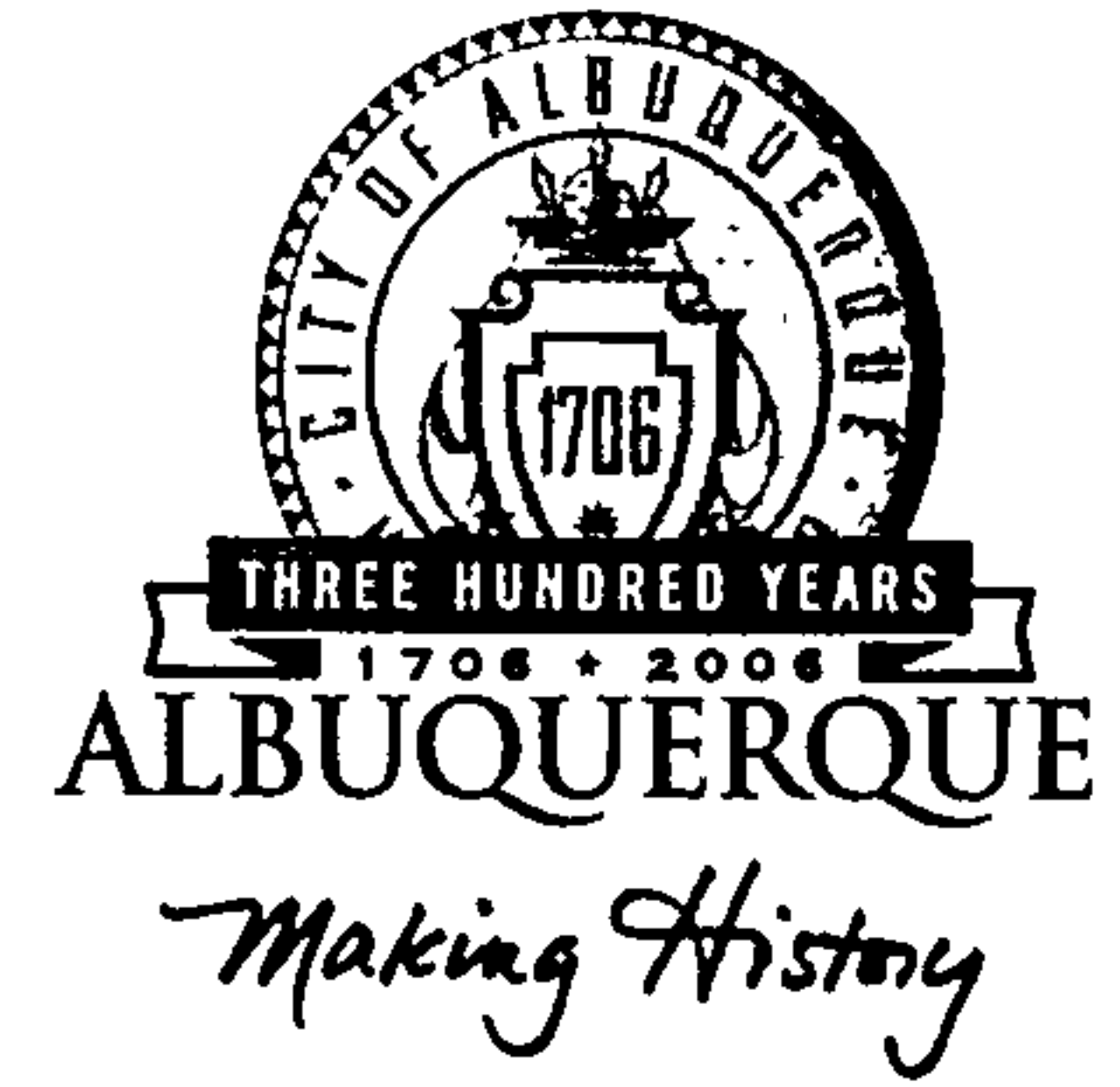
Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File



CITY OF ALBUQUERQUE



February 24, 2006

Frank D. Lovelady P.E.
300 Alamosa Road NW
Albuquerque, NM 87107

**Re: Endorphin Power Company, 509 Cardenas Drive SE, Grading and
Drainage Plan
Engineer's Stamp dated 1-23-06 (L18-D28)**

Dear Mr. Lovelady,

Based upon the information provided in your submittal received 1-26-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. Provide the drainage calculations for this site, both existing and proposed.
2. Define the site's proximity to the flood zone. Include a copy of the FEMA Flood Insurance Rate Map.
3. Please include an executive summary on the plan set. This summary should include the following items: general project location; development concept for the site; the drainage concept for the site (both existing and proposed); how onsite flows will be handled and discharged; previously approved drainage plans/reports/studies regarding the project area; drainage basin boundaries; and capacity of infrastructure (such as the proposed sidewalk inlet).
4. Quantify the proposed and existing flow by providing calculations.
5. Provide a detail for the proposed concrete slab (keyed note 8).

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File