

# CITY OF ALBUQUERQUE



October 24, 2013

Thomas Johnston, P.E.  
TGC Engineering, Inc.  
330 Louisiana Blvd. NE  
Albuquerque, NM 87108

**Re: Paragon Electric, 1409 Ortiz Drive  
Request For Permanent C.O.  
Engineer's Stamp Date: 10-09-12 (L18/D030)  
Certification Date: 10-18-13**

Dear Mr. Johnston,

Based on the Certification received 10/23/2013, the site is acceptable for a release of a Permanent Certificate of Occupancy by Hydrology.

Hydrology is asking for an electronic copy, in PDF format, of this certification for our records. This PDF file can be e-mailed to me at: [sbiazar@cabq.gov](mailto:sbiazar@cabq.gov).

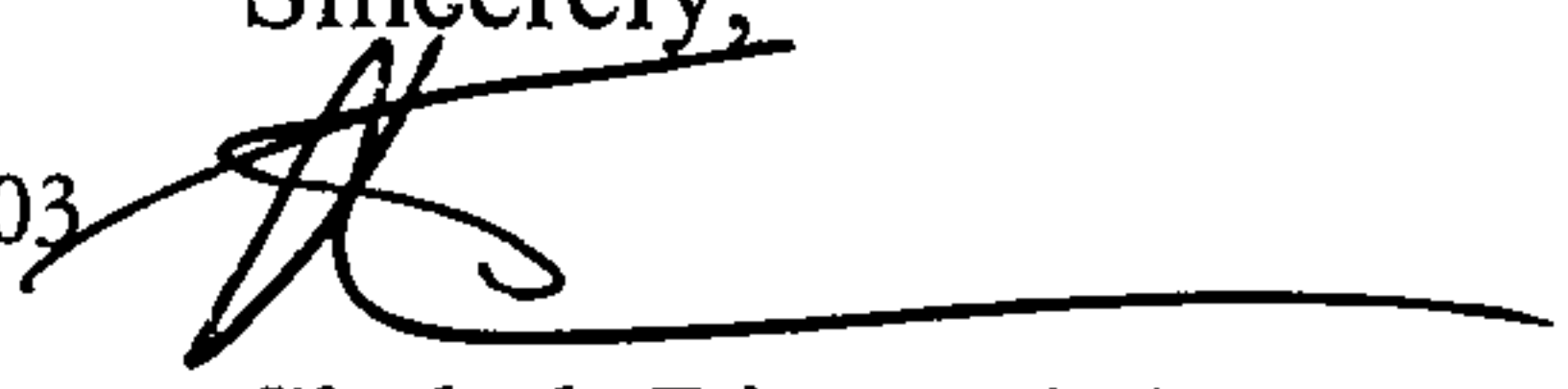
PO Box 1293

If you have any questions, you can contact me at 924-3695.

Albuquerque

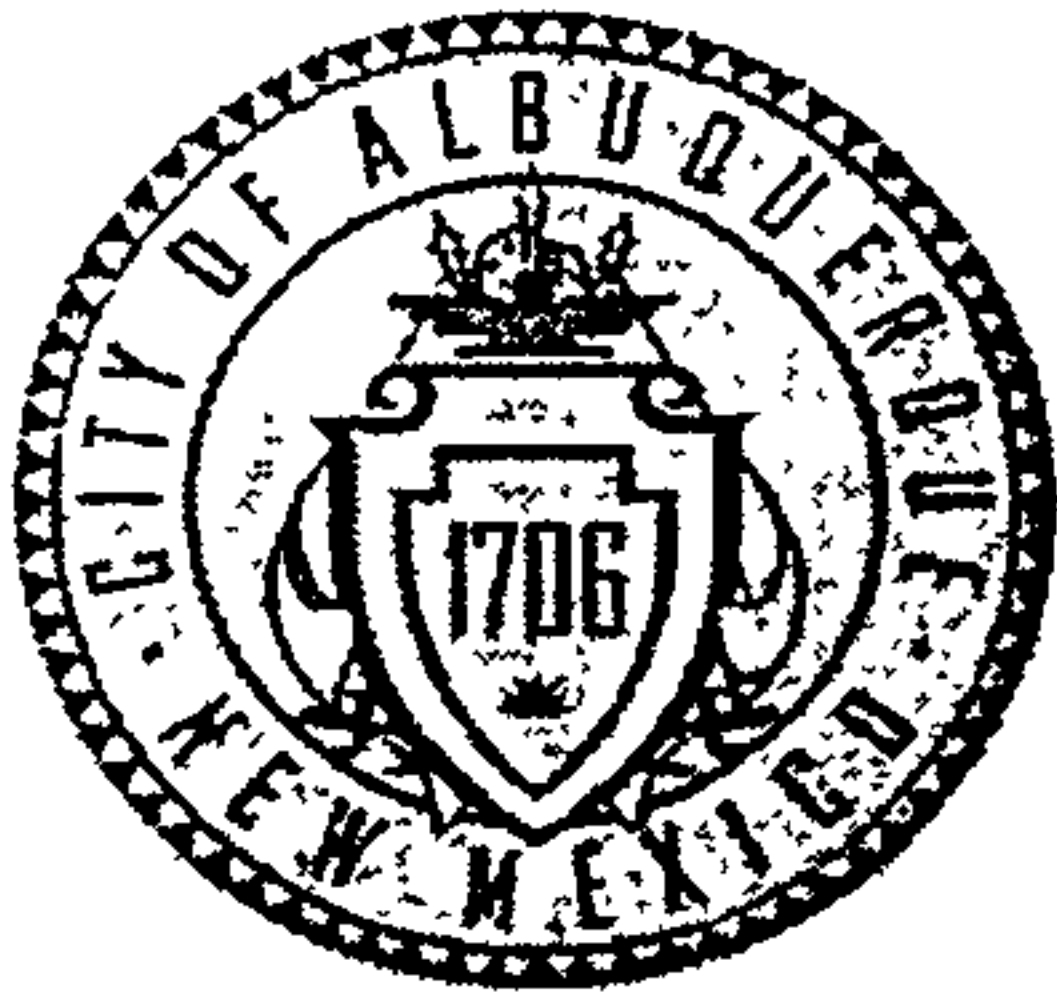
Sincerely,

New Mexico 87103

  
Shahab Biazar, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

[www.cabq.gov](http://www.cabq.gov)

C: CO Clerk—Katrina Sigala  
E-mail



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: PARAGON ELECTRIC Building Permit #: 201291208 City Drainage #: L18/D030

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: TRACT R-2-A, BLOCK 25, VIRGINIA PLACE ADDITION

City Address: 1409 ORTIZ DRIVE SE

Engineering Firm: TGC ENGINEERING INC. Contact: THOMAS JOHNSTON

Address: 330 LOUISIANA BLVD NE ALBUQUERQUE NM 87108

Phone#: 505-266-7256 Fax#: 505-255-2052 E-mail: TGCENGINEERING@AOL.COM

Owner: PARAGON ELECTRIC (AL PARKER) Contact: AL PARKER

Address: PO BOX 8269 ALBUQUERQUE NM 87198

Phone#: 261-6000 Fax#: \_\_\_\_\_ E-mail: ALPARKER1000@PARAGON-ELECTRIC.COM

Architect: AUDAZ DESIGN Contact: TROY BORRÓN

Address: PO BOX 30274 ALBUQUERQUE NM 87190

Phone#: 350-8569 Fax#: \_\_\_\_\_ E-mail: TROY@AUDAZDESIGN.COM

Surveyor: WAYJOHN SURVEYING INC. Contact: THOMAS JOHNSTON

Address: 330 LOUISIANA BLVD NE ALBUQUERQUE NM 87108

Phone#: 505-255-2052 Fax#: 505-255-2887 E-mail: INFO@WAYJOHN.COM

Contractor: D3IC CONSTRUCTION Contact: GLENN MURRAY

Address: PO BOX 2672 DURANGO CO 81302

Phone#: 970-759-2407 Fax#: \_\_\_\_\_ E-mail: HGM@FRONTIER.NET

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_

Yes ☒ No ☐

Copy Provided \_\_\_\_\_

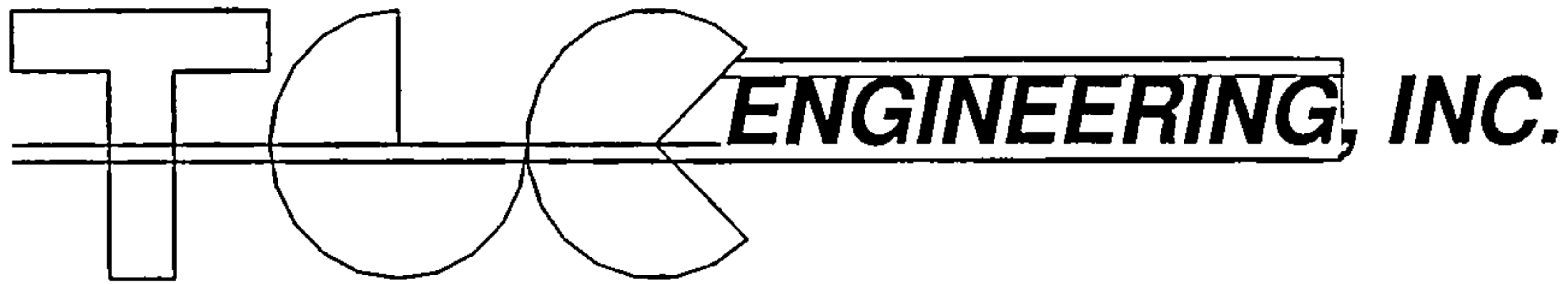
DATE SUBMITTED: 10-21-13

By: THOMAS JOHNSTON

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
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3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

RESUBMIT 10/23/13



330 Louisiana Blvd., N.E.  
Albuquerque, NM 87108  
Phone: (505) 266-7256  
Fax: (505) 255-2887

October 22, 2013

Shahab Biazar, PE  
Senior Engineer, Planning Department  
City of Albuquerque  
Development and Building Services  
PO Box 1293  
Albuquerque, NM 87103

RE: Additional information, Final As-built, Grading and Drainage Plan, Paragon Electric (L-18/D030)

Dear Mr. Shahab:

We have completed the as-built for Final Certificate of Occupancy for Paragon Electric, 1409 Ortiz Drive, SE. Per our conversation previously, the site plan had changed mid-construction, and a decision was made to remove and replace the existing asphalt. This provided the opportunity to regrade the site to incorporate a swale, which allows the entire site to drain through the driveway apron, and into the landscaping. This allowed us to eliminate the SO-19 sidewalk culvert.

I have changed the certification language per your request. I have also added additional spot elevations in the landscaped area at the southeast corner of the building. I have also added a note that the landscaping area will retain its own stormwater, as there are no additional contributory basins affecting that area.

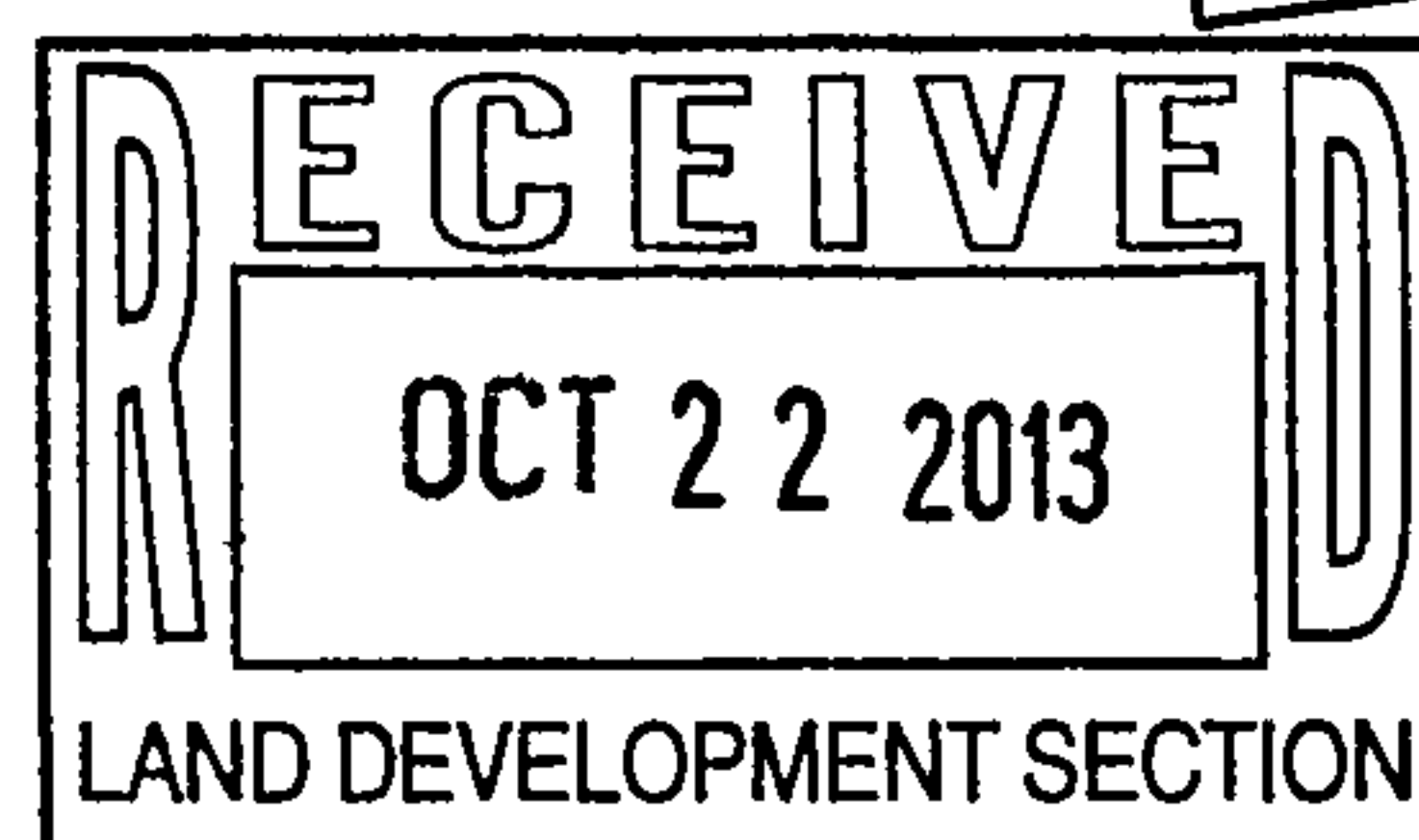
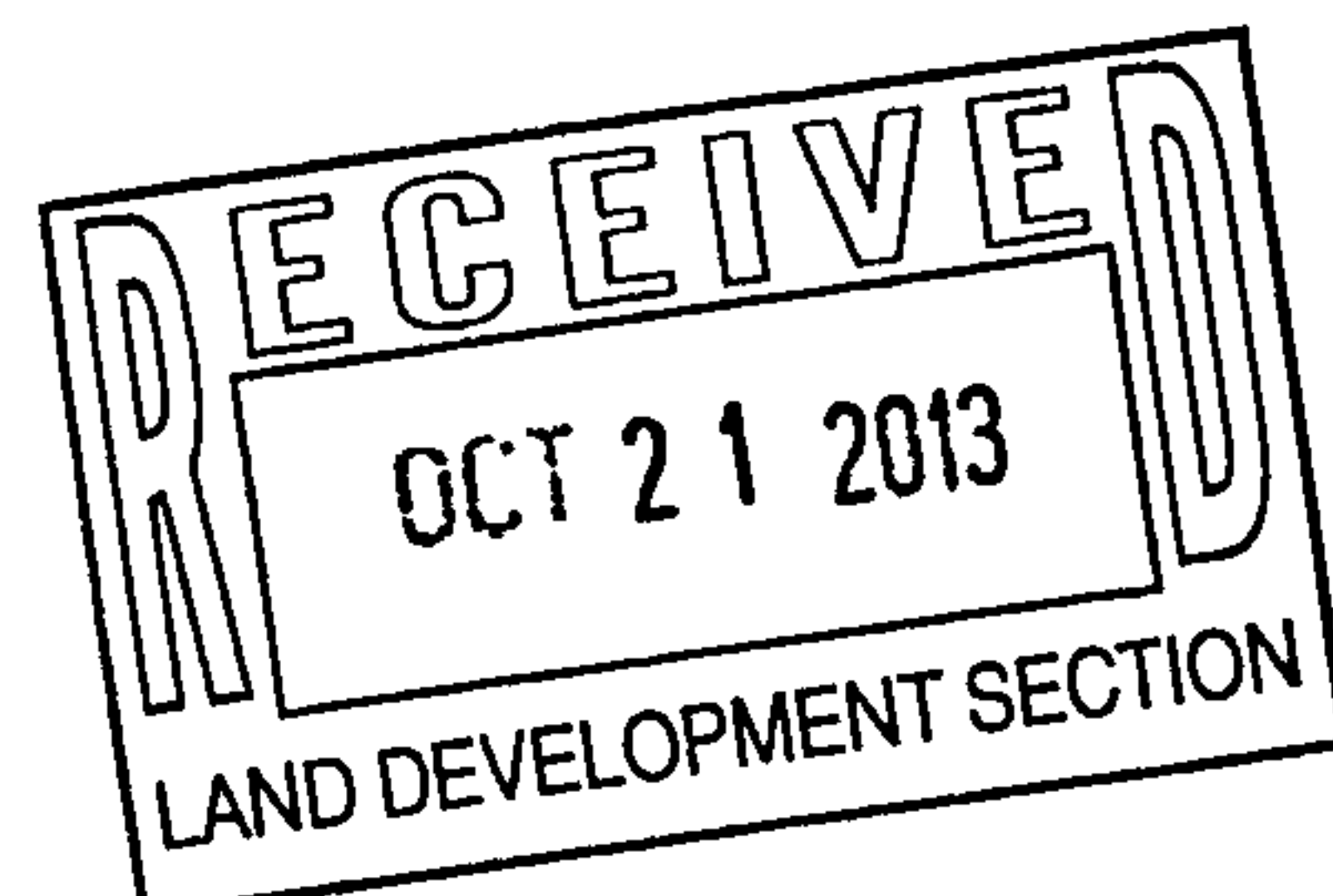
The runoff from the roof is channeled into a gutter and downspout. The downspout discharges at the southwest corner of the building, into the parking lot, and follows the swale out the drive apron.

If you have any questions regarding this grading and drainage plan, feel free to contact me at 266-7256.

Sincerely,

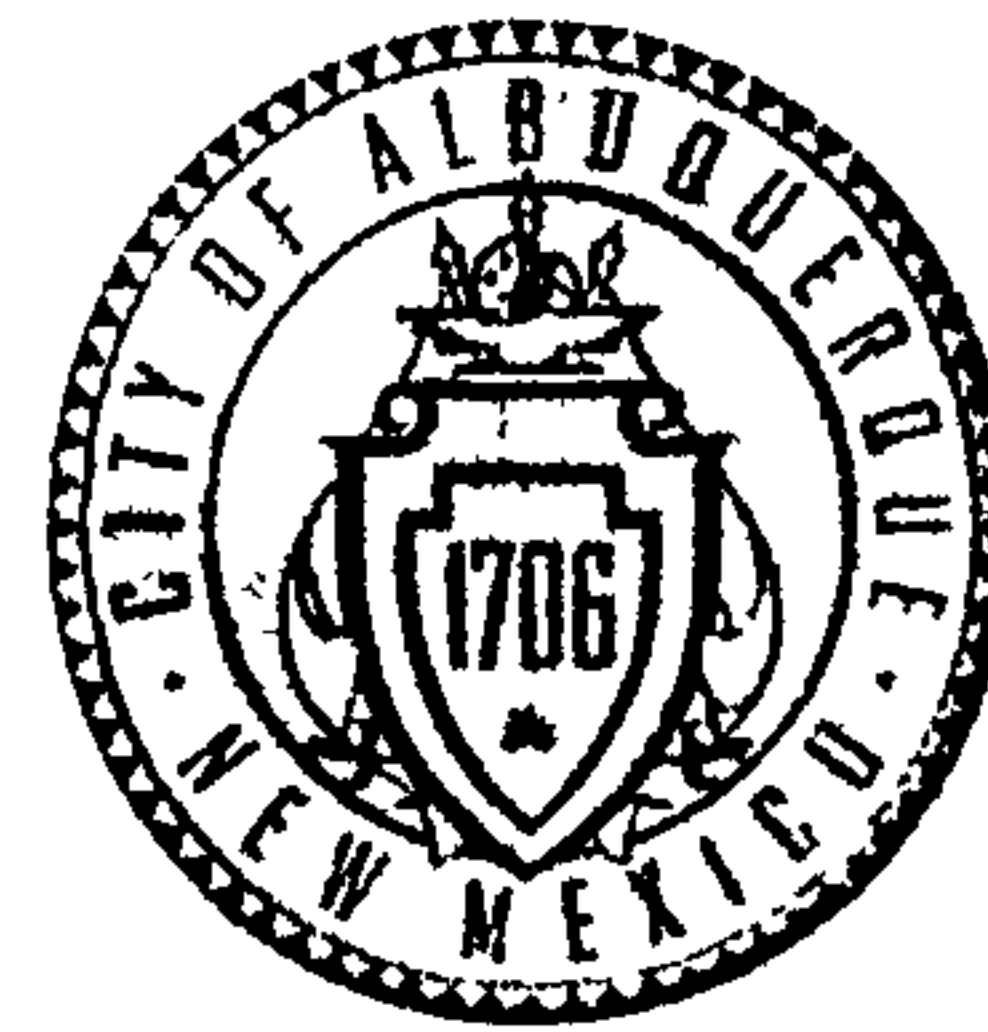
A handwritten signature in black ink, appearing to read 'Thomas D. Johnston', written over a horizontal line.

Thomas D. Johnston, PS, PE  
TGC Engineering, Inc.





# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

October 23, 2013

William Troy Borron, Registered Architect  
Audaz Design  
PO Box 8269  
Albuquerque, NM 87198

Re: **Certification for Permanent Building Certificate of Occupancy (C.O.)**  
Paragon Electric Inc., Office and Shop, [L-18/D030]  
1409 Ortiz Drive SE  
Architect's Stamp Dated 10/23/13

Dear Mr. Borron:

Based upon the information provided in your submittal received 10-23-13, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

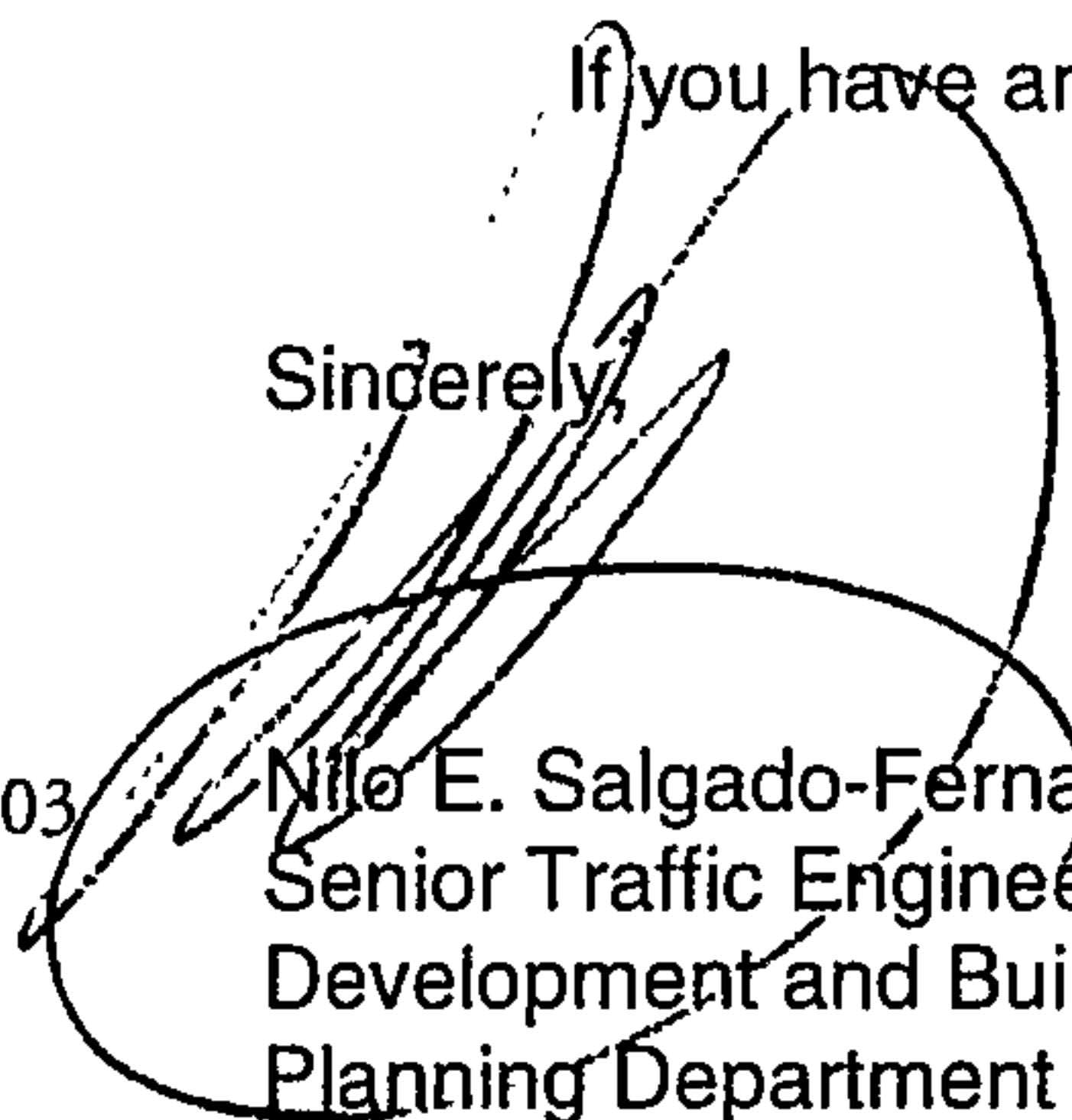
Albuquerque

New Mexico 87103

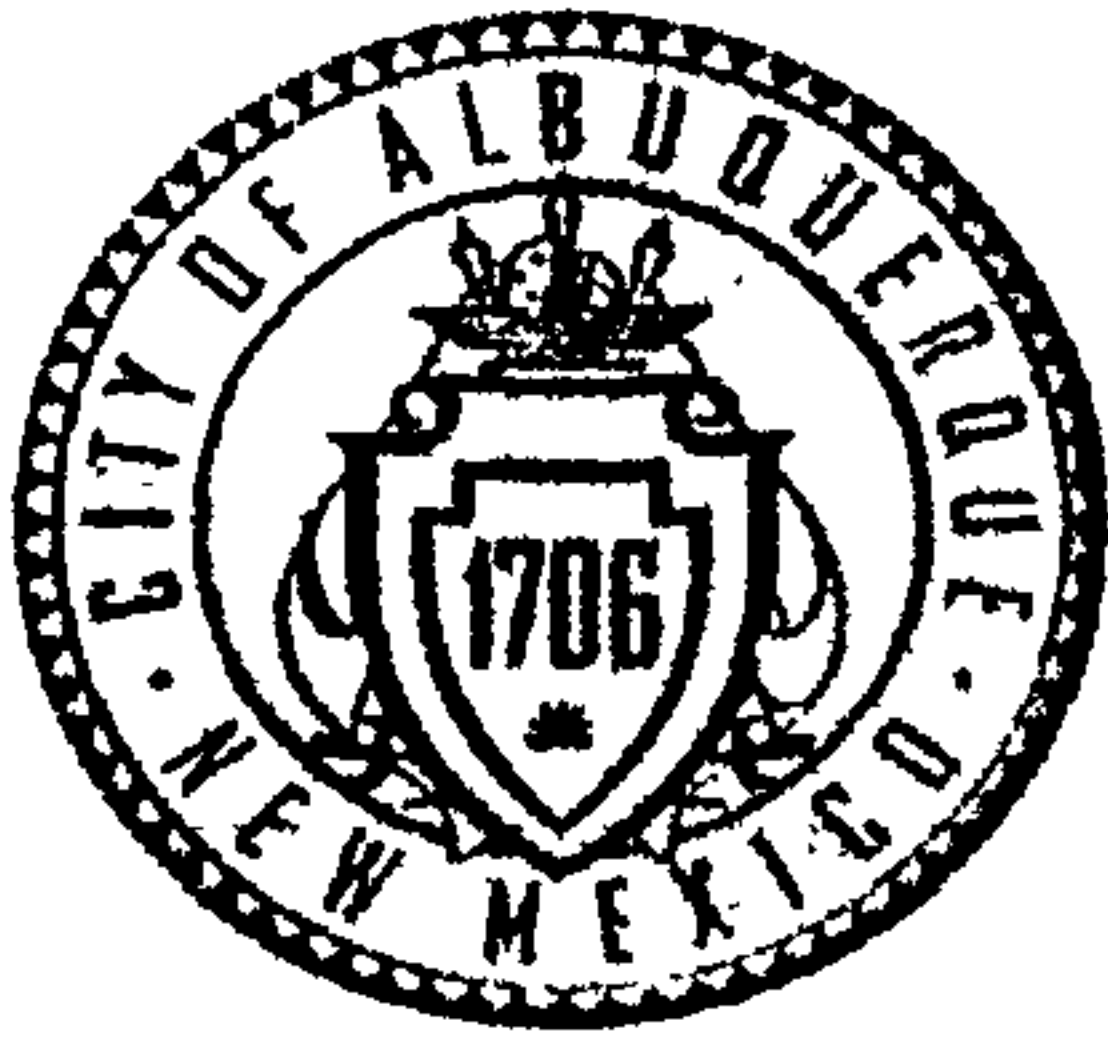
[www.cabq.gov](http://www.cabq.gov)

If you have any questions, please contact me at (505)924-3630.

Sincerely,

  
Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Paragon Electric, Inc - Office and Shop Building Permit #: 201291288 City Drainage #: L18D030

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Tract R-2-A, Block 25, Virginia Place Addition

City Address: 1409 Ortiz Dr. SE

Engineering Firm: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Owner: Parkwell Enterprises, LLC Contact: Al Parker

Address: PO Box 8269 Albuquerque, NM 87198

Phone#: 505.265.5883 Fax#: 505.232.0748 E-mail: alparker1000@paragon-electric.com

Architect: Audaz Design - Wm. Troy Borron, Architect Contact: Troy Borron

Address: PO Box 30274 Albuquerque, NM 87190

Phone#: 505.350.8569 Fax#: \_\_\_\_\_ E-mail: troy@audazdesign.com

Surveyor: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

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- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
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- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
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- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) \_\_\_\_\_

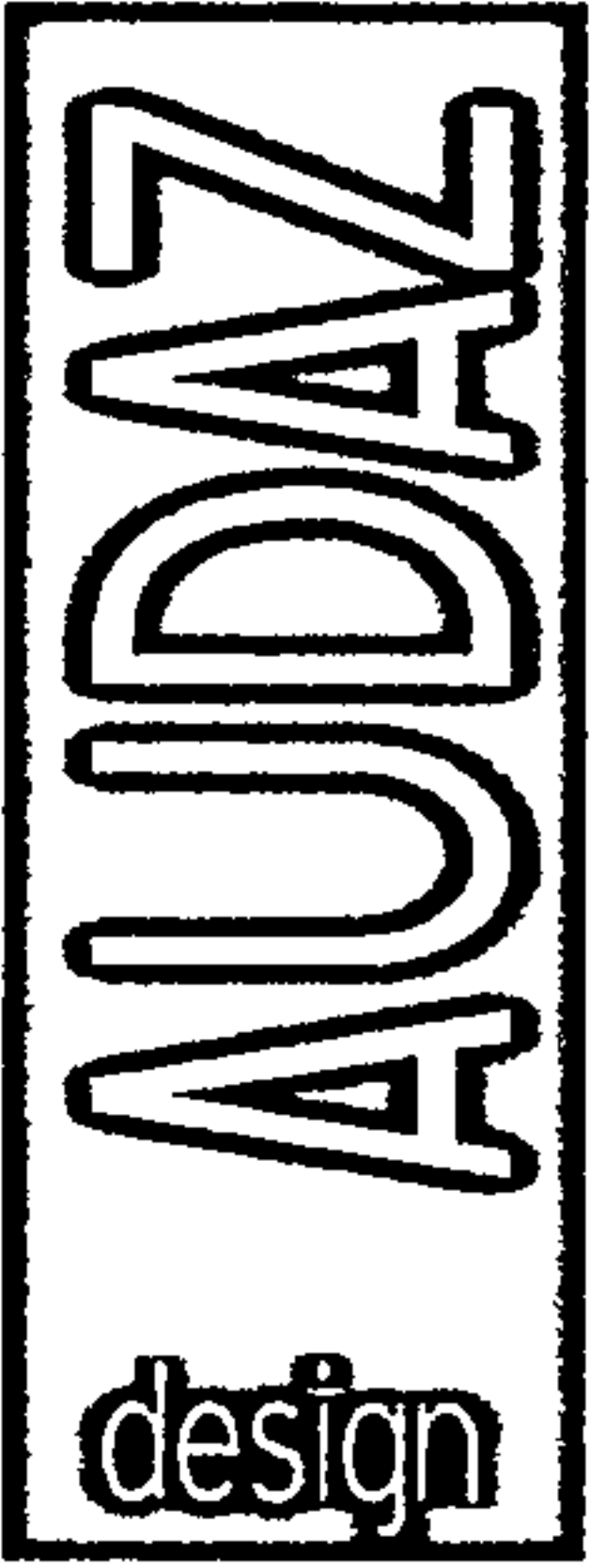


WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes ☒ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: 23 October 2013 By: William Troy Borron

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**Date:** 23 October 2012

**Project:** Paragon Electric, Inc. Office & Shop  
1409 Ortiz Dr. SE  
Albuquerque, NM 87108

**Re:** TCL Certification for Certificate of Occupancy

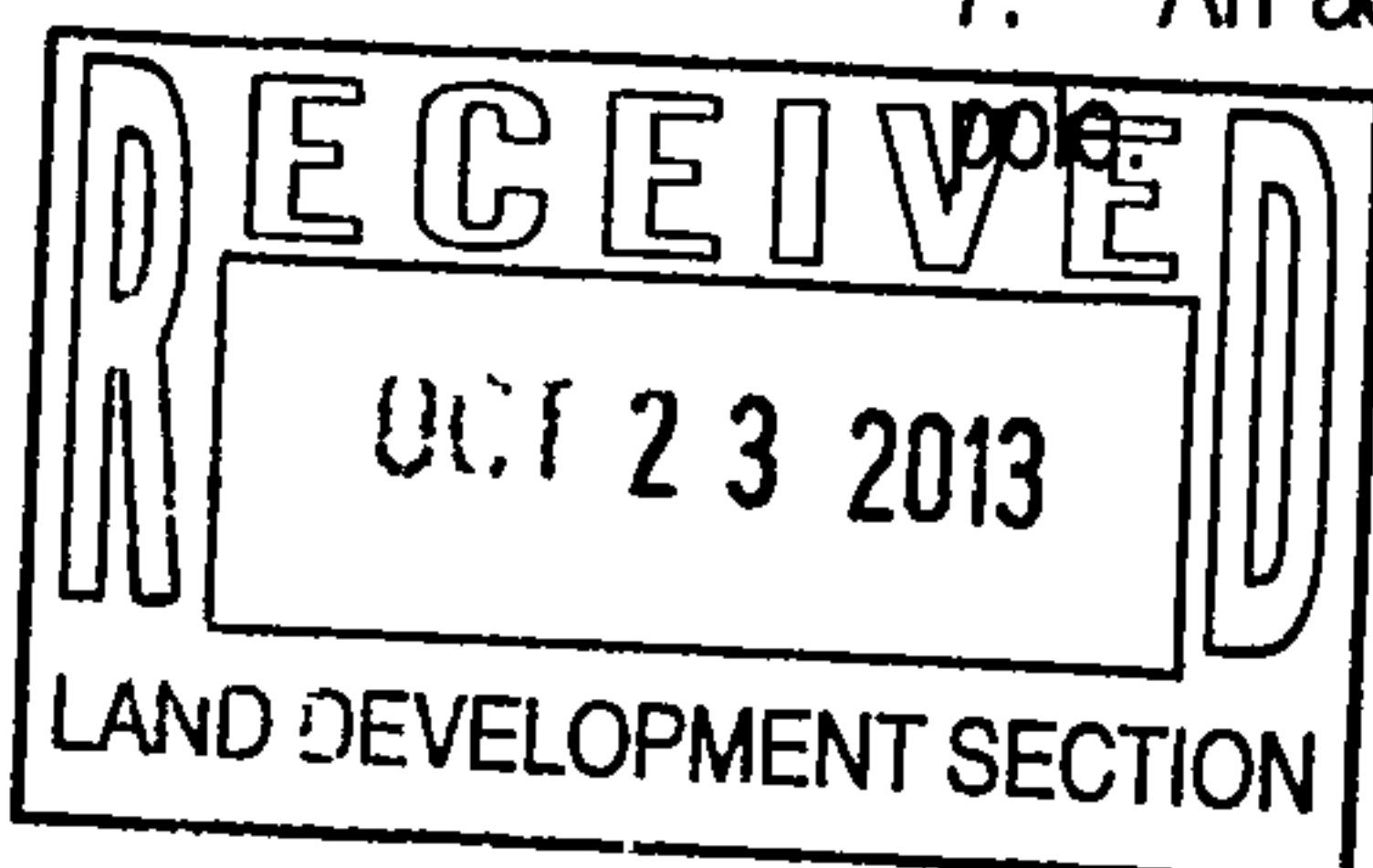
**To:** Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services  
City of Albuquerque

Dear Ms. Metro -

I, William Troy Borron, NMRA, OF THE FIRM Audaz Design, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED TCL DATED 14 September 2012. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY William Troy Borron OF THE FIRM Audaz Design. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 22 October 2013 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Certificate of Occupancy.

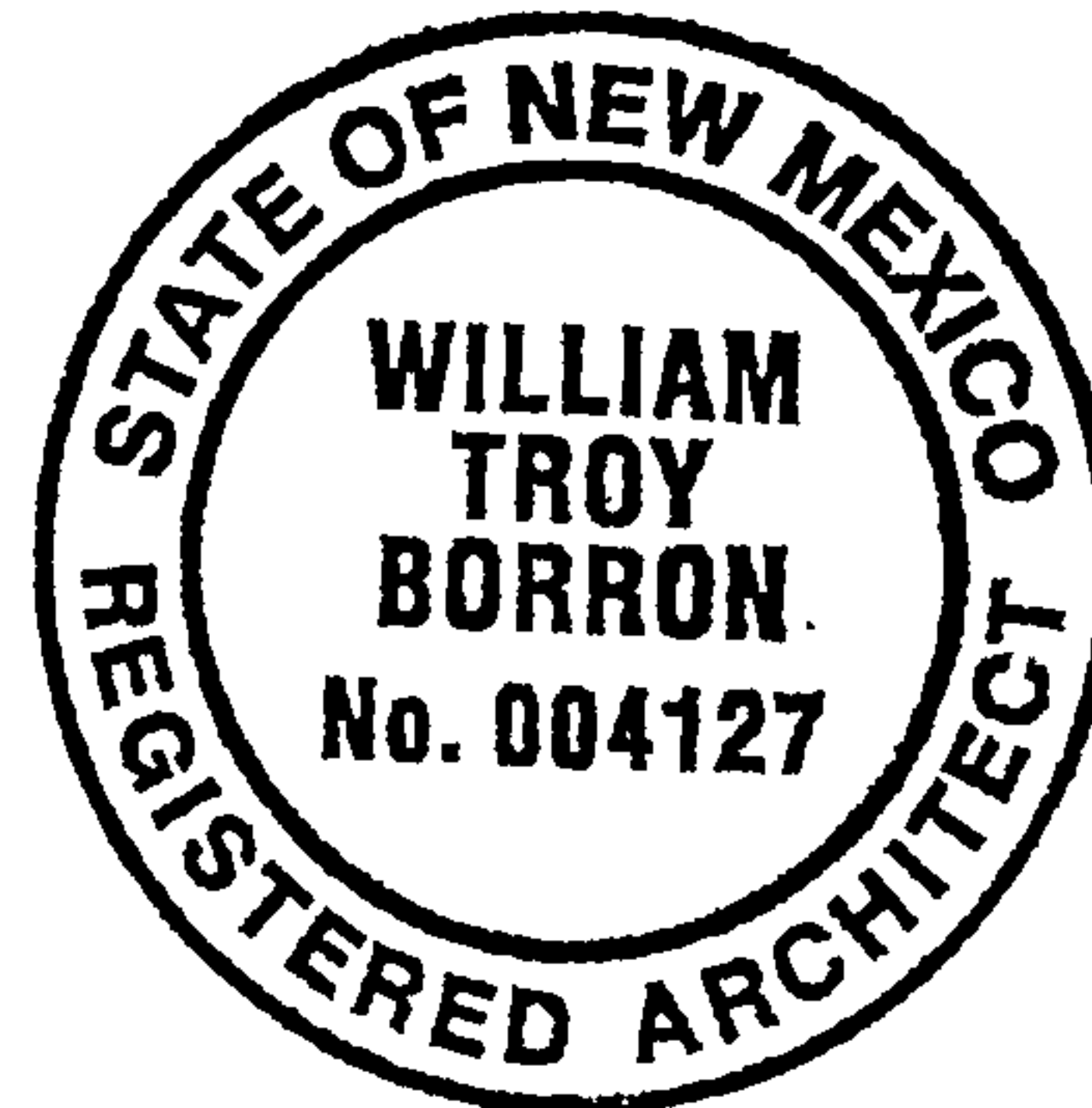
Indicated in red on the original TCL are as-built conditions that vary from the original design document. These are described below.

1. The refuse enclosure was relocated approximately 7'- 6" west of the location shown on the original TCL.
2. The automatic entry gate and fencing along the north property line and northeast property line were deleted.
3. The parking spaces along the north side of the paved parking area were moved approximately 5'- 6" to the east. The parking count was not changed.
4. Asphalt paving was added between the refuse enclosure and the northern parking and extended to the property line for Emergency Vehicle Turn-Around. This area is striped in red paint with markings indicating "No Parking" and "Fire Lane".
5. The steps to the concrete dock were deleted. The diagonal striping to north of the deleted stairs was deleted as well.
6. A concrete curb and gutter was constructed along the north edge of the paved parking area in lieu of re-using the existing wheelstops as the paving edge.
7. An additional concrete wheel stop was installed in the parking space in front of the new power





THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



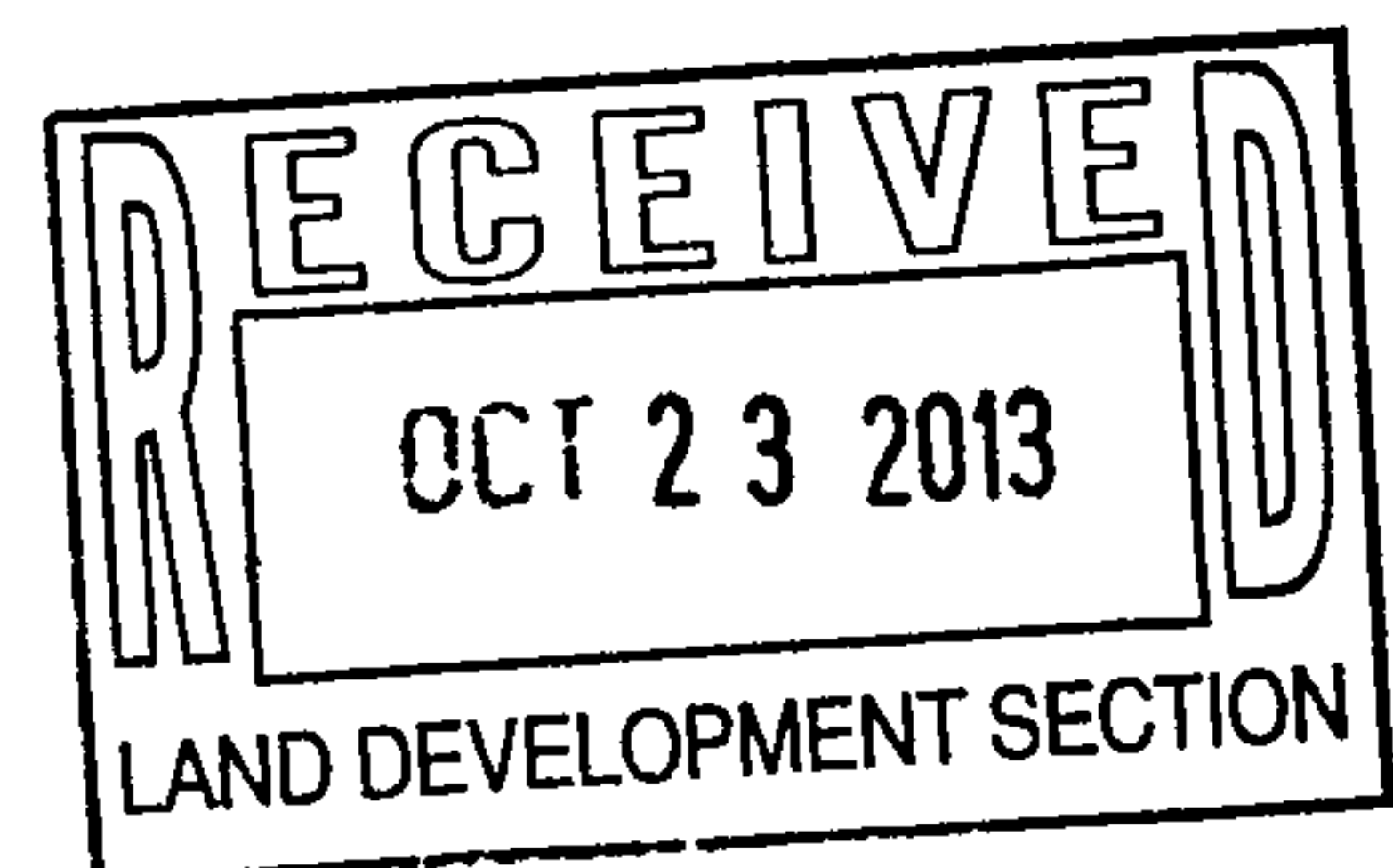
A handwritten signature in black ink, appearing to read "W. Troy Borron".

23 October 2013

William Troy Borron, Architect

Attachments:

Drainage & Transportation Information Sheet  
Approved TCL  
Approved Request for On-Street Parking



## REQUEST FOR ON-STREET PARKING

Per Section 14-16-3-1(E)(6)(d) of the Zoning Code, where parking spaces are provided on a public street and abut the property, one half of the parking may be counted toward the off-street parking requirement of a building or use on such property provided the on-street parking spaces are approved by the Traffic Engineer, in conjunction with a site plan approval for off-street parking.

**Notification Requirement:** The Planning Department, by regular mail, shall notify all residents within 250 feet of the property for which on-street parking credit is sought. Such residents may submit written comments to the Planning Director or his designee, regarding the request for on-street parking credit within 15 days from the date the notice was mailed.

Comments received by the Planning Director that meet the requirements of Section 14-16-3-1(E)(6)(d) shall be considered by the Traffic Engineer prior to the final determination of whether to grant credit for on-street parking.

Applicant/Agent Wm. Troy Borron, Architect, Audaz Design troy@audazdesign.com  
Address: 1409 Ortiz Dr. SE  
Project No. (if available) \_\_\_\_\_

### ROUTING

1. Staff Planner or Plan Checker

\_\_\_\_\_  
Name

\_\_\_\_\_  
Date

2. Initial Review and Determination by Traffic Engineer

Project ☒ does ☐ does not qualify for consideration of on-street parking.

\_\_\_\_\_  
Traffic Engineer

09-13-12  
Date

3. Notification

09-13-12  
Date notices were mailed out

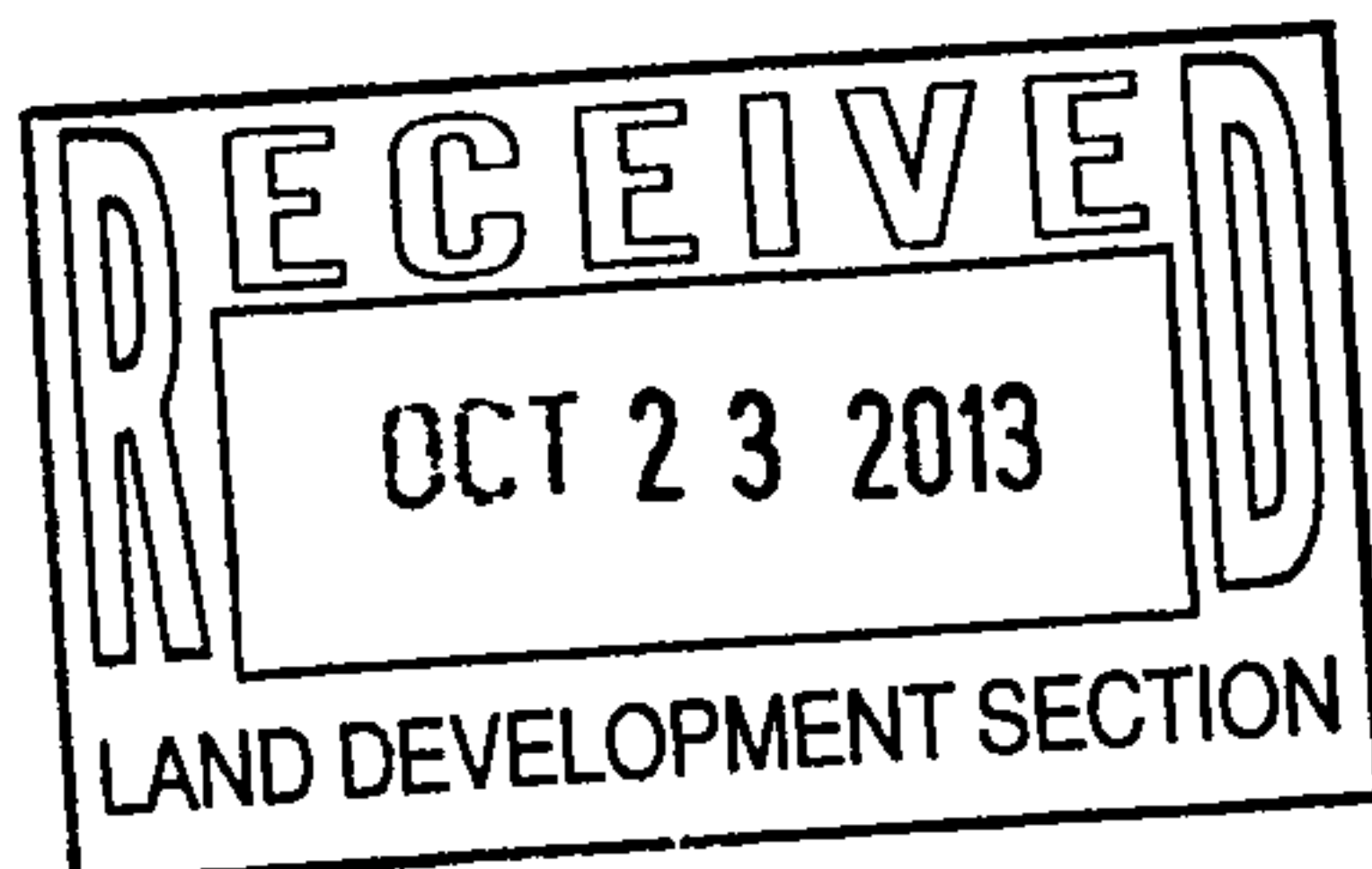
Ernie Gomez  
Property Researcher

4. Final Action by Traffic Engineer

The request for 2 on-street parking spaces is ☒ Approved ☐ Denied

\_\_\_\_\_  
Traffic Engineer

10-26-12  
Date





# CITY OF ALBUQUERQUE



November 16, 2012

Thomas Johnston, P.E.  
TGC Engineering, Inc.  
330 Louisiana Blvd. NE  
Albuquerque, NM 87108

Re: **Paragon Electric Grading and Drainage Plan**  
**Engineer's Stamp Dated 10-09-2012 (L-18/D030)**

Based upon the information provided in your submittal received 10-26-12, the grading and Drainage Plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

PO Box 1293

Albuquerque's MS4 Permit became effective March 1<sup>st</sup>, 2012. Grading and Drainage Plans and Drainage Reports will have to comply with the requirements of the new permit (<http://www.cabq.gov/planning/landcoord/Hydrology.html>).

Albuquerque

If you have any questions, you can contact me at 924-3695.

NM 87103

Sincerely,

Shahab Biazar, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: e-mail

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 01/06)

PROJECT TITLE: PARAGON ELECTRIC ZONE MAP/DRG. FILE # L-18/D030  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: TRACT R-2-A, BLOCK 25, VIRGINIA PLACE ADDITION  
 CITY ADDRESS: ORTIZ DRIVE, SE

ENGINEERING FIRM: TGC ENGINEERING INC.  
 ADDRESS: 330 LOUISIANA BLVD NE  
 CITY, STATE: ALBUQUERQUE NM

CONTACT: THOMAS JOHNSTON  
 PHONE: 266-7256  
 ZIP CODE: 87108

OWNER: PARAGON ELECTRIC (AL PARKER)  
 ADDRESS: PO BOX 8269  
 CITY, STATE: ALBUQUERQUE NM

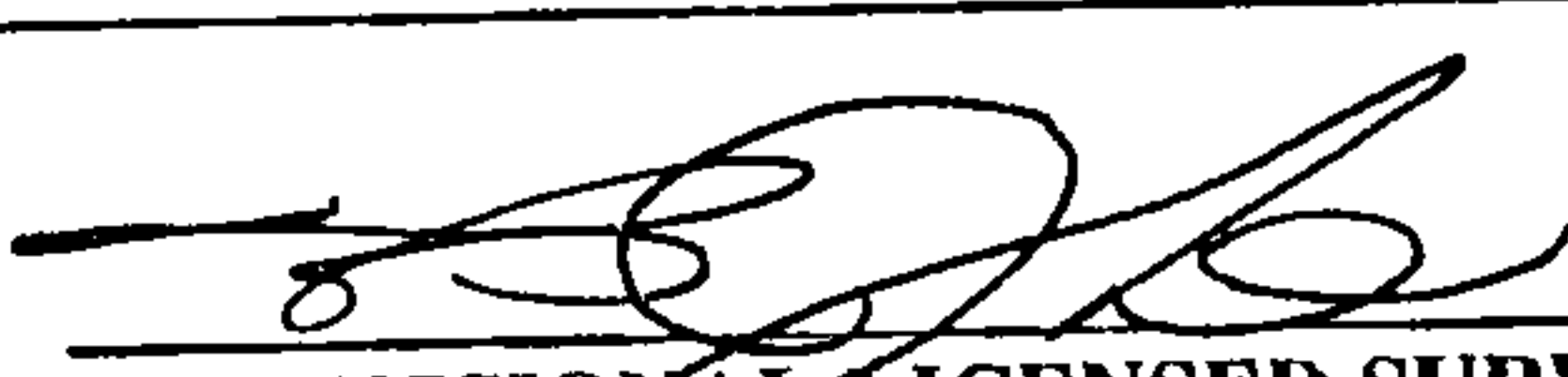
CONTACT: AL PARKER  
 PHONE: 261-6000  
 ZIP CODE: 87198

ARCHITECT: AUDAZ DESIGN  
 ADDRESS: PO BOX 30274  
 CITY, STATE: ALBUQUERQUE NM

CONTACT: TROY BORRON  
 PHONE: 350-8969  
 ZIP CODE: 87190

SURVEYOR: WAYJOHN SURVEYING INC.  
 ADDRESS: 330 LOUISIANA BLVD NE  
 CITY, STATE: ALBUQUERQUE NM

CONTACT: THOMAS JOHNSTON  
 PHONE: 255-2052  
 ZIP CODE: 87108

 PROFESSIONAL LICENSED SURVEYOR SIGNATURE	<u>NMPS 14269</u> LICENSE NO.	<u>10/26/12</u> DATE
---	----------------------------------	-------------------------

CONTRACTOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

- TYPE OF SUBMITTAL:**
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  - ☒ DRAINAGE PLAN RESUBMITTAL
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  - ☐ CLOMR/LOMR
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  - ☐ BUILDING PERMIT APPROVAL
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  - ☐ CERTIFICATE OF OCCUPANCY (TEMP)
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  - ☐ PAVING PERMIT APPROVAL
  - ☐ WORK ORDER APPROVAL
  - ☐ OTHER (SPECIFY)

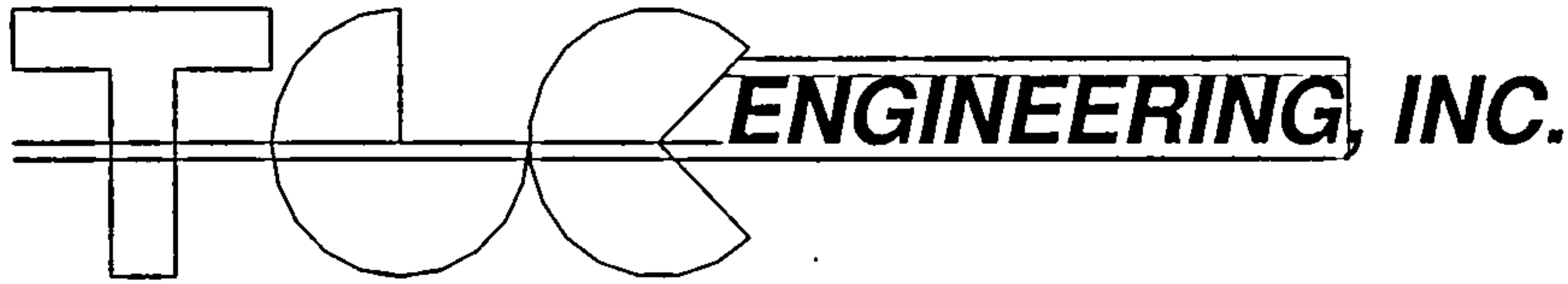
WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☐ YES  
☒ NO  
☐ COPY PROVIDED

RECEIVED  
 OCT 26 2012

SUBMITTED BY: THOMAS D. JOHNSTON DATE: 10/26/12

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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330 Louisiana Blvd., N.E.  
Albuquerque, NM 87108  
Phone: (505) 266-7256  
Fax: (505) 255-2887

October 26, 2012

Shahab Biazar, PE  
Senior Engineer, Planning Department  
City of Albuquerque  
Development and Building Services  
PO Box 1293  
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RE: Grading and Drainage Plan, Paragon Electric (L-18/D030)

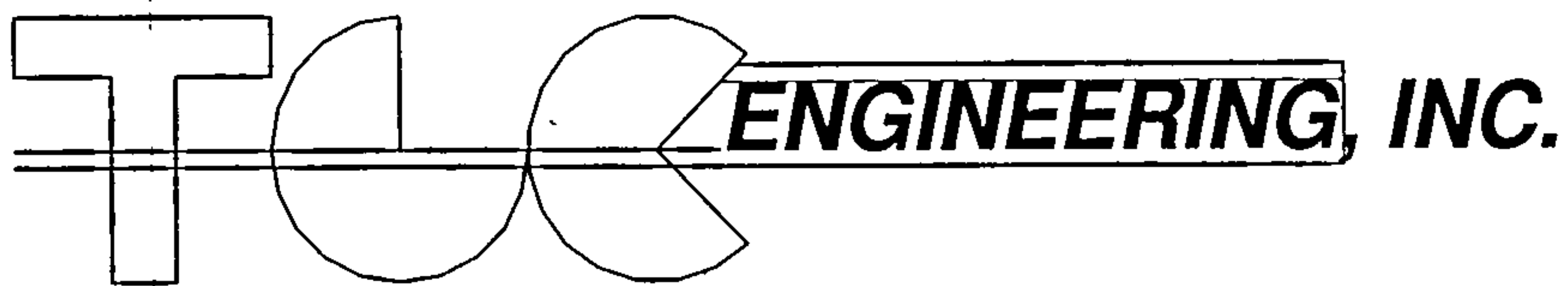
Dear Mr. Shahab:

This letter accompanies a resubmittal for the Paragon Electric Grading and Drainage plan. There have been some site plan changes, which have required a slight redesign of the grading and drainage. I will address the comments of the first submittal and note whether or not they apply now.

- Basin A and Basin B are clearly defined.
- Regarding the decrease in Treatment D; the existing site is currently a parking lot that was used as an overflow parking lot for Lovelace. The asphalt on this parking lot covers almost the entire site. The current requirements for landscaping require that a significant portion of the asphalt is removed in order to accommodate the landscaping. This is the reason for the net decrease in Type D treatment.
- It is noted that COA standard 2236 is to be used for the proposed sidewalk culvert. Also please note that the sidewalk culvert to the north is existing, and will be removed to accommodate the new driveway entrance.
- Pipe capacity for the penetration is no longer necessary. This has been eliminated in favor of a sidewalk culvert.
- We have received approval from Richard Dourte to use the existing wheelstops on the site as curbing along landscaped areas. This will provide for flows to enter landscaped areas.
- Section A-A has been eliminated. The concrete drain has been replaced by a sidewalk. The roof drainage is now captured by a gutter and channeled to the detention area east of the building.
- The retaining wall has been eliminated.
- Landscape areas have been depressed.
- Site discharge is below existing conditions by eliminating some of the treatments on site.

RECEIVED  
OCT 26 2012





330 Louisiana Blvd., N.E.  
Albuquerque, NM 87108  
Phone: (505) 266-7256  
Fax: (505) 255-2887

If you have any questions regarding this grading and drainage plan, feel free to contact me at 266-7256.

Sincerely,

A handwritten signature in black ink, appearing to read 'T. Johnston', is written over a horizontal line.

Thomas D. Johnston, PS, PE  
TGC Engineering, Inc.

RECEIVED  
OCT 26 2012

## Biazar, Shahab

---

**From:** Biazar, Shahab  
**Sent:** Monday, October 21, 2013 4:56 PM  
**To:** 'Thomas Johnston'  
**Cc:** Sims, Timothy E.  
**Subject:** RE: 330 Louisiana, CO request, (L18/D030)

Hi,

I have the following comments regarding your CO submittal for 330 Louisiana (L18/D030):

- 1) Change the certification language and include the changes on the drainage patterns from what was approved previously.
- 2) Add more spot elevations around the building.
- 3) How will the runoff drain to the street through the driveway?

Thanks and have a nice day.

I had the wrong drainage number on the email

***Shahab Biazar, P.E.***

*Senior Engineer*

Planning Department

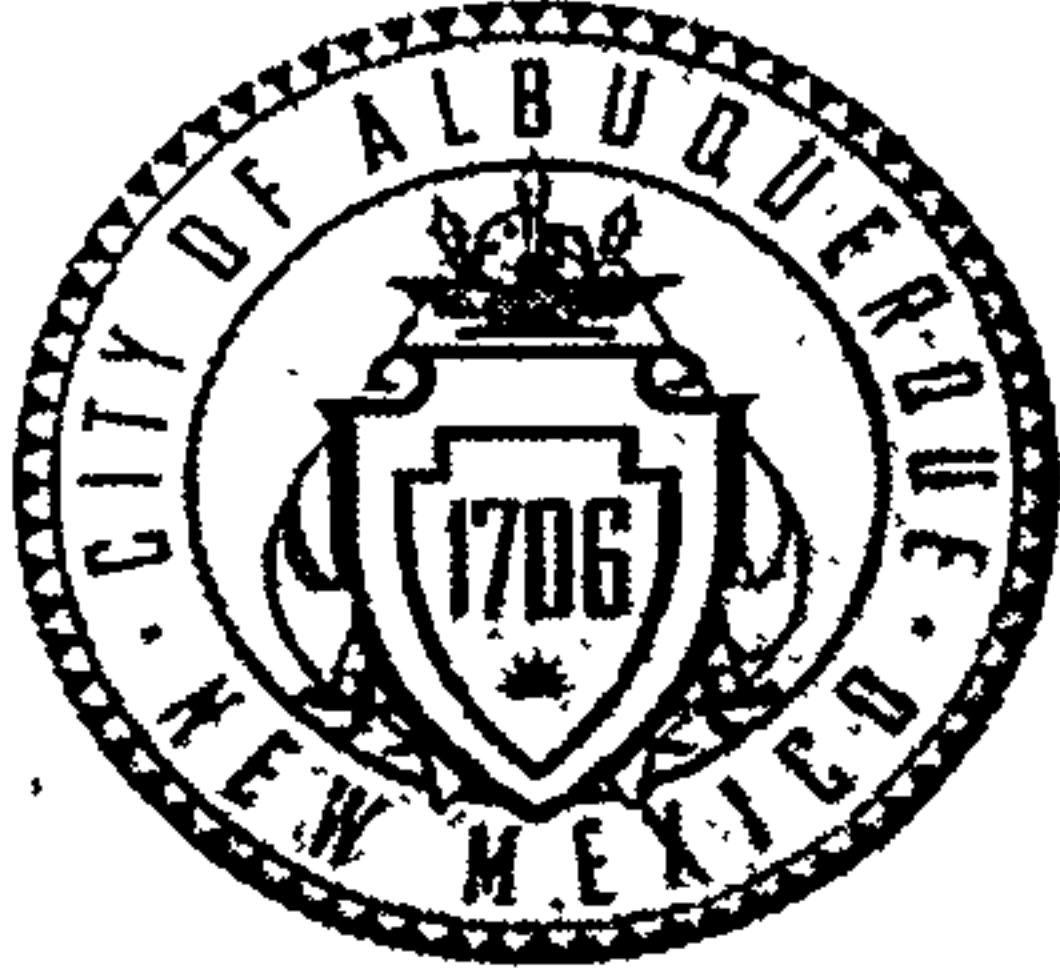
Development & Building Services Division

600 2nd St. NW, Suite 201

Albuquerque, NM 87102

t 505-924-3695

f 505-924-3864



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: PARAGON ELECTRIC Building Permit #: 201291288 City Drainage #: L18/D030

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: TRACT R-2-A, BLOCK 25, VIRGINIA PLACE ADDITION

City Address: 1409 ORTIZ DRIVE SE

Engineering Firm: TGC ENGINEERING INC. Contact: THOMAS JOHNSTON

Address: 330 LOUISIANA BLVD NE ALBUQUERQUE NM 87108

Phone#: 505-266-7266 Fax#: 505-255-2052 E-mail: TGCENGINEERING@AOL.COM

Owner: PARAGON ELECTRIC (AL PARKER) Contact: AL PARKER

Address: PO BOX 8269 ALBUQUERQUE NM 87198

Phone#: 261-6000 Fax#: \_\_\_\_\_ E-mail: ALPARKER1000@PARAGON-ELECTRIC.COM

Architect: AUDAZ DESIGN Contact: TROY BORRAN

Address: PO BOX 30274 ALBUQUERQUE NM 87190

Phone#: 350-8569 Fax#: \_\_\_\_\_ E-mail: TROY@AUDAZDESIGN.COM

Surveyor: WAYJOHN SURVEYING INC. Contact: THOMAS JOHNSTON

Address: 330 LOUISIANA BLVD NE ALBUQUERQUE NM 87108

Phone#: 505-255-2052 Fax#: 505-255-2887 E-mail: INFO@WAYJOHN.COM

Contractor: D3IC CONSTRUCTION Contact: GLENN MURRAY

Address: PO BOX 2672 DURANGO CO 81302

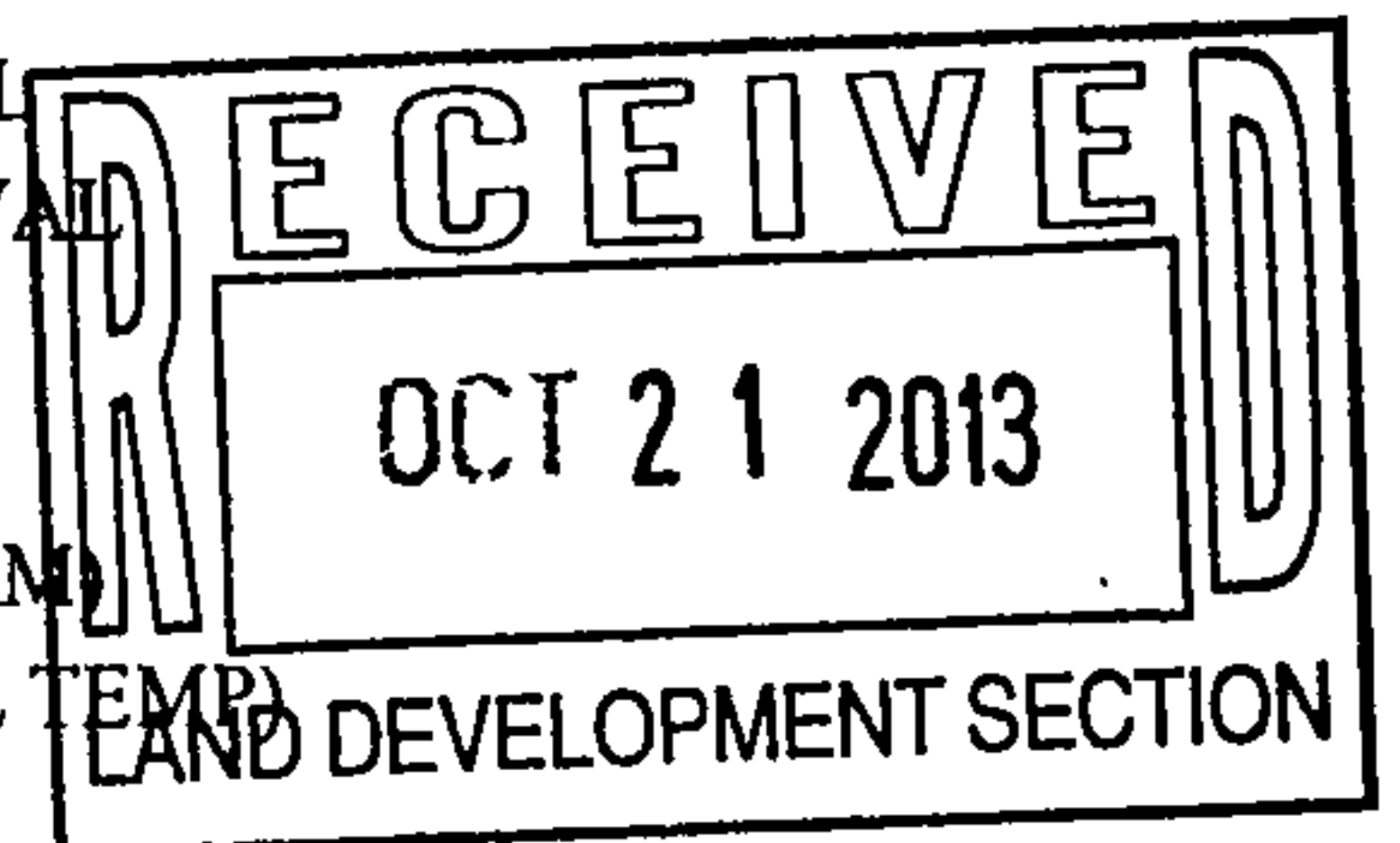
Phone#: 970-759-2407 Fax#: \_\_\_\_\_ E-mail: HGMC FRONTIER.NET

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) \_\_\_\_\_



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_

Yes ☒ No ☐ Copy Provided

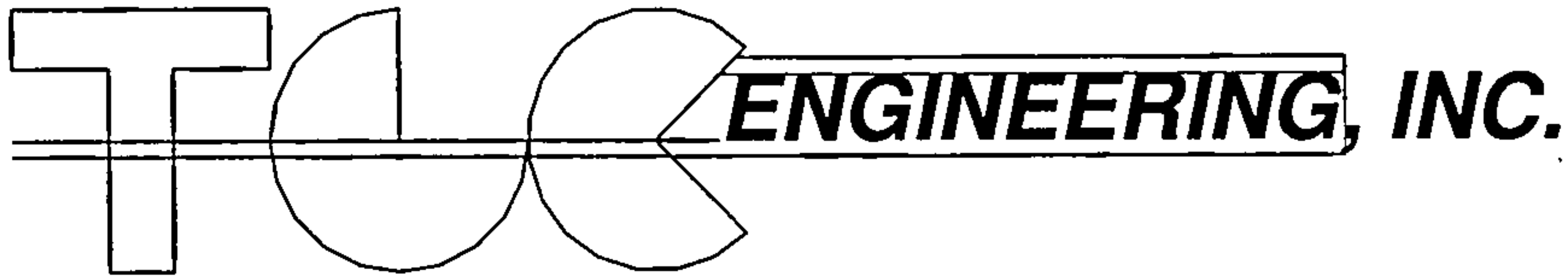
DATE SUBMITTED: 10-21-13

By: THOMAS JOHNSTON

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development





330 Louisiana Blvd., N.E.  
Albuquerque, NM 87108  
Phone: (505) 266-7256  
Fax: (505) 255-2887

October 21, 2013

Shahab Biazar, PE  
Senior Engineer, Planning Department  
City of Albuquerque  
Development and Building Services  
PO Box 1293  
Albuquerque, NM 87103

RE: Final As-built, Grading and Drainage Plan, Paragon Electric (L-18/D030)

Dear Mr. Shahab:

We have completed the as-built for Final Certificate of Occupancy for Paragon Electric, 1409 Ortiz Drive, SE. Per our conversation previously, the site plan had changed mid-construction, and a decision was made to remove and replace the existing asphalt. This provided the opportunity to regrade the site to incorporate a swale, which allows the entire site to drain through the driveway apron, and into the landscaping. This allowed us to eliminate the SO-19 sidewalk culvert.

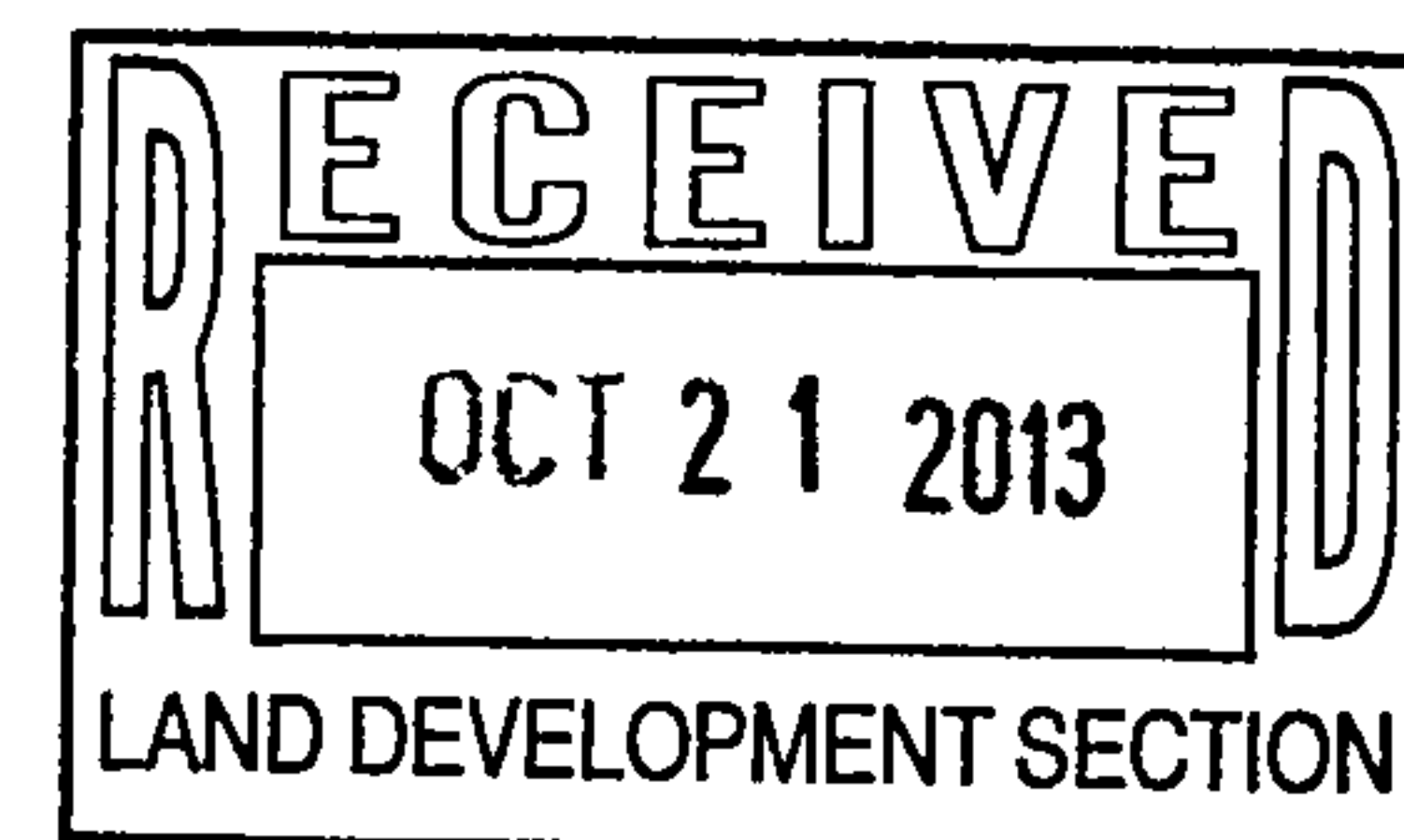
I have included two as-built sheets. The first one is the marked-up approved grading and drainage plan. The second is a redrafted final site location, showing the current location of curbing and the swale. Please let me know if you require any additional information regarding this submittal.

If you have any questions regarding this grading and drainage plan, feel free to contact me at 266-7256.

Sincerely,

A handwritten signature in black ink, appearing to read 'T. Johnston', written over a horizontal line.

Thomas D. Johnston, PS, PE  
TGC Engineering, Inc.



# CITY OF ALBUQUERQUE



September 14, 2012

William Troy Borron, R.A.  
AUDAZ Design  
PO Box 30274  
Albuquerque, NM 87190

Re: Paragon Electric Office & Shop, 1409 Ortiz Drive SE, Traffic Circulation Layout  
Architect's Stamp dated 09-13-12 (L18-D030)

Dear Mr. Borron,

The TCL submittal received 09-14-12 is **approved for Building Permit with the following condition: the on-street parking credit request must be approved.** The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

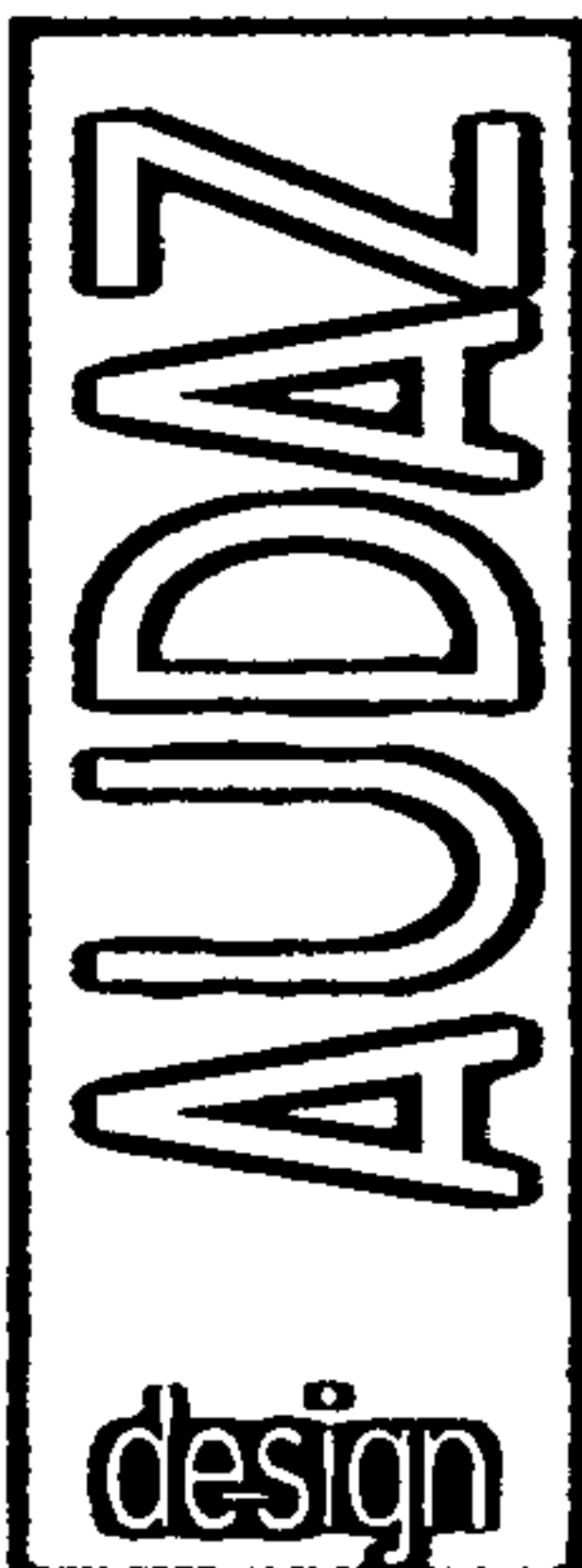
When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Richard Dourte, P.E.  
City Engineer, Planning Dept.  
Development and Building Services

C: File



**Date:** 13 September 2012

**Project:** Paragon Electric, Inc. Office & Shop  
1409 Ortiz Dr. SE  
Albuquerque, NM 87108

**Re:** Alternative Asphalt Edge Justification / On-street Parking

**To:** Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services  
City of Albuquerque

Dear Kristal -

In the above referenced project we propose to re-use concrete wheelstops from the existing site in lieu of a concrete curb at the edge of the asphalt parking and landscaping for a portion of the parking area. The wheelstops would be used in conjunction with an aluminum asphalt restraining edge to maintain the edge between the asphalt and landscaping.

The wheelstops would be installed along the western and northern edges of the asphalt parking area. As part of current Hydrology requirements, the site needs to 'detain' runoff water. The site slopes at approximately 3% from the south end down to the north end. Our design strategy is to detain runoff water within the landscaping area along the north property line by allowing runoff to flow under the raised portion of the wheelstops and through gaps between the wheelstops. The landscaped area will be graded to capture and contain runoff for a period of time.

The wheelstops along the western edge are primarily a cost savings over a new concrete curb and gutter as well as a means to recycle an existing element.

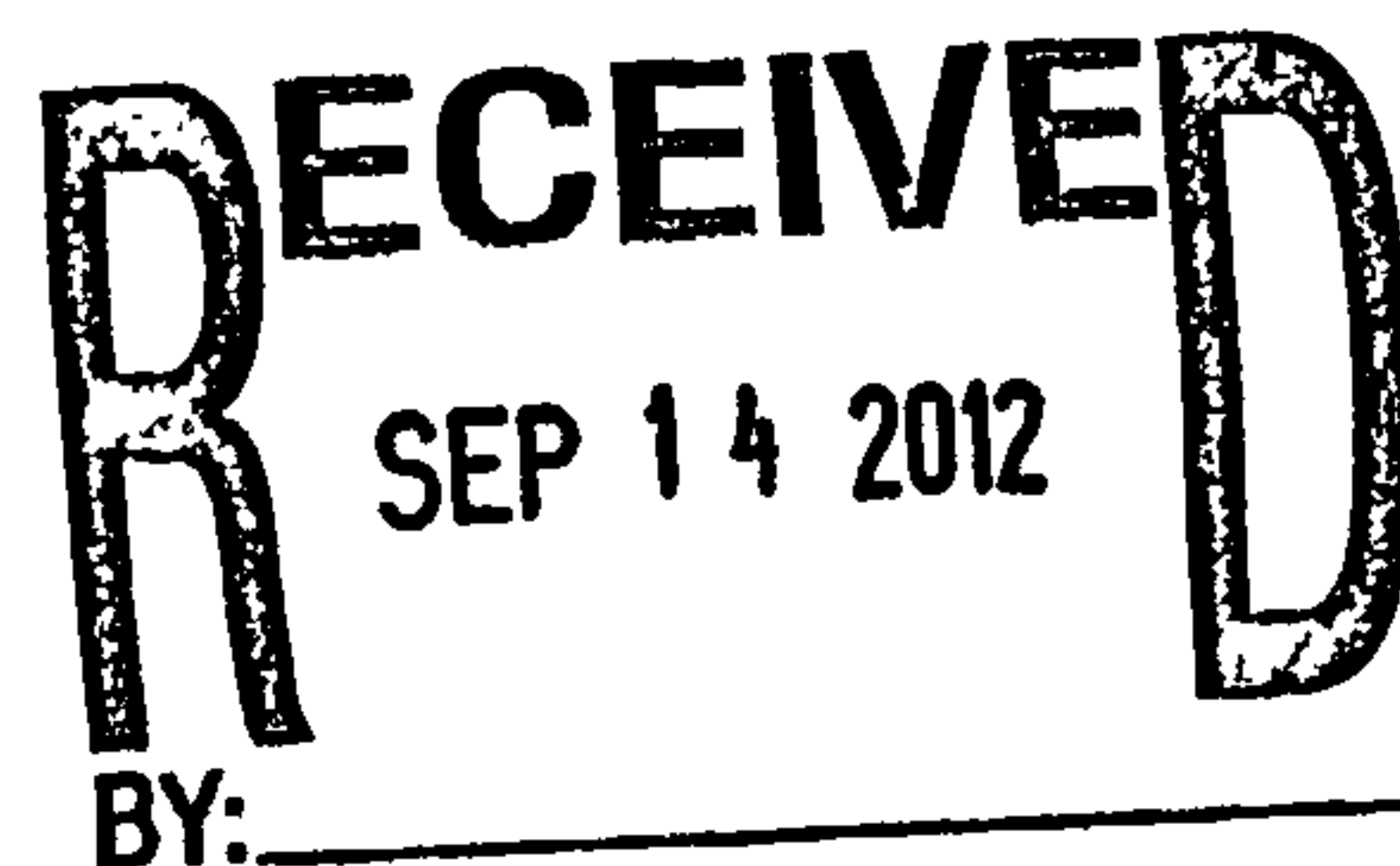
For this project we have also applied for the on-street parking credit. We are asking for at least two on-street parking spaces.

Thank you for your consideration of our project.

Sincerely,

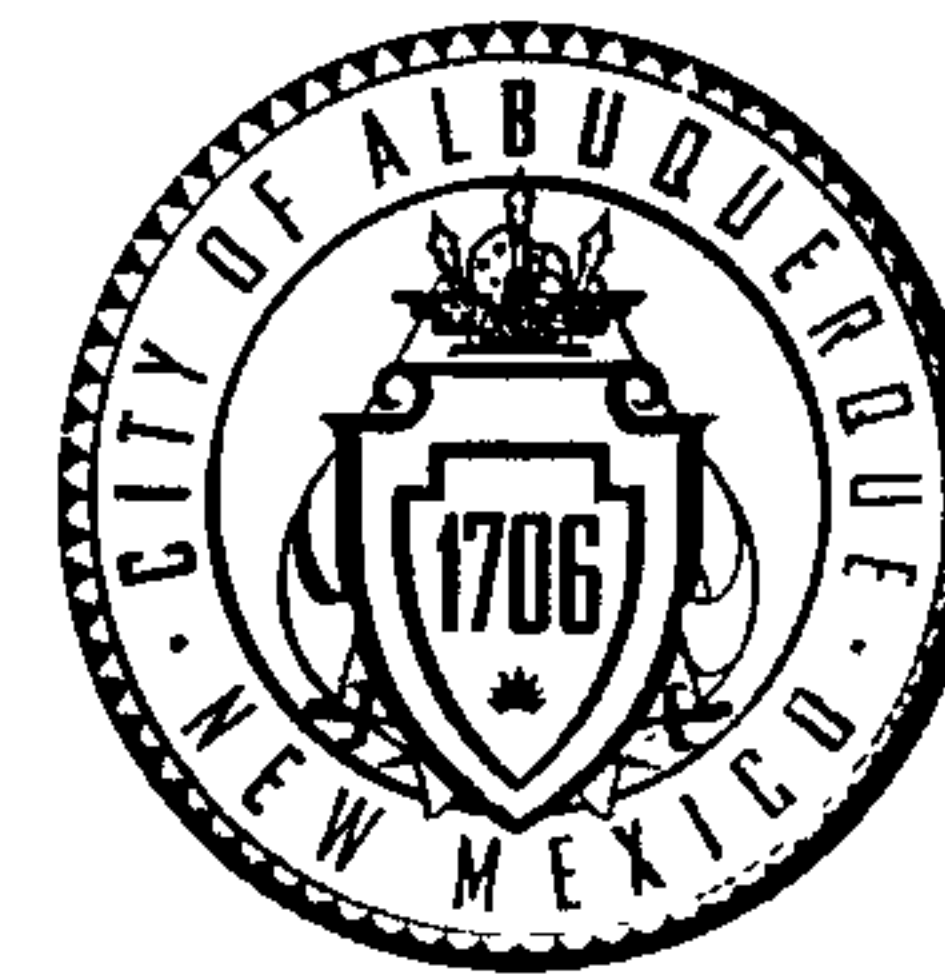
A handwritten signature in black ink, appearing to read "Wm. Troy Borron", followed by a horizontal line.

Wm. Troy Borron, Architect





# CITY OF ALBUQUERQUE



July 26, 2012

Thomas Johnston, P.E.  
TGC Engineering, Inc.  
330 Louisiana Blvd. NE  
Albuquerque, NM 87108

**Re: Paragon Electric Grading and Drainage Plan, Engineer's Stamp Dated  
06-04-2012 (L-18/D030)**

Dear Mr. Johnston,

Based upon the information provided in your submittal received 06-18-2012, the above referenced grading plan is not approved for Building Permit until the following comments are addressed:

- Please clearly delineate all basin boundaries on the plan.
- The calculation tables indicate that both basins are decreasing the percentage of Treatment Type D while increasing Treatment Type B from existing to proposed; how is this being accomplished when additional asphalt is being proposed?
- A note must be placed on the plan indicating that the sidewalk culvert will be constructed to City Standard Drawing No. 2236. The bolts in the plate should be tack welded and the plate should extend from face-of-curb to two feet west of the property line.
- Provide capacity calculations for the pipe penetration using the orifice equation.
- New concrete curbing should provide curb openings to allow flows to enter landscaped areas.
- Section A-A (drainage swale) is not labeled on the plan set.
- Include bottom-of-wall elevations for the proposed retaining wall.
- Please depress any landscape areas for water harvesting.
- Site discharge must not exceed existing conditions.

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: email

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(Rev. 01/06)

PROJECT TITLE: PARAGON ELECTRIC  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_

ZONE MAP/DRG. FILE # 6-18/2030  
WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: TRACT R-2-A, BLOCK 25, VIRGINIA PLACE ADDITION  
CITY ADDRESS: ORTIZ DRIVE, SE

ENGINEERING FIRM: TGC ENGINEERING INC.  
ADDRESS: 330 LOUISIANA BLVD NE  
CITY, STATE: ALBUQUERQUE NM

CONTACT: THOMAS JOHNSTON  
PHONE: 266-7256  
ZIP CODE: 87108

OWNER: PARAGON ELECTRIC (AL PARKER)  
ADDRESS: PO BOX 8269  
CITY, STATE: ALBUQUERQUE NM

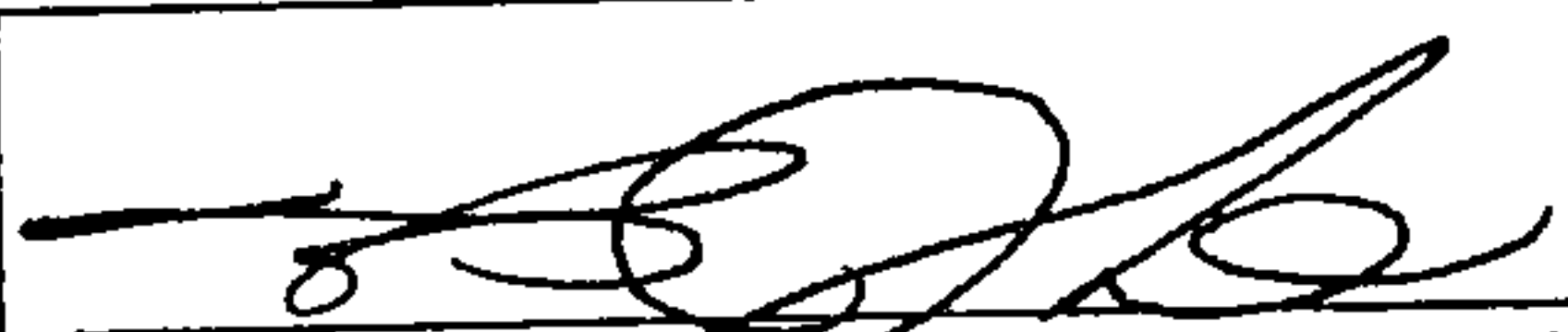
CONTACT: AL PARKER  
PHONE: 261-6000  
ZIP CODE: 87198

ARCHITECT: AUDAZ DESIGN  
ADDRESS: PO BOX 30274  
CITY, STATE: ALBUQUERQUE NM

CONTACT: TROY BORRAN  
PHONE: 350-8569  
ZIP CODE: 87190

SURVEYOR: WAYJOHN SURVEYING INC.  
ADDRESS: 330 LOUISIANA BLVD NE  
CITY, STATE: ALBUQUERQUE NM

CONTACT: THOMAS JOHNSTON  
PHONE: 255-2052  
ZIP CODE: 87108

	<u>NMPS 14269</u>	_____
PROFESSIONAL LICENSED SURVEYOR SIGNATURE	LICENSE NO.	DATE

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

**TYPE OF SUBMITTAL:**

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER/ARCHITECT CERT (TCL)
- ☐ ENGINEER/ARCHITECT (DRB SITE PLAN)
- ☐ OTHER

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL 2012
- ☒ OTHER (SPECIFY) SD-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

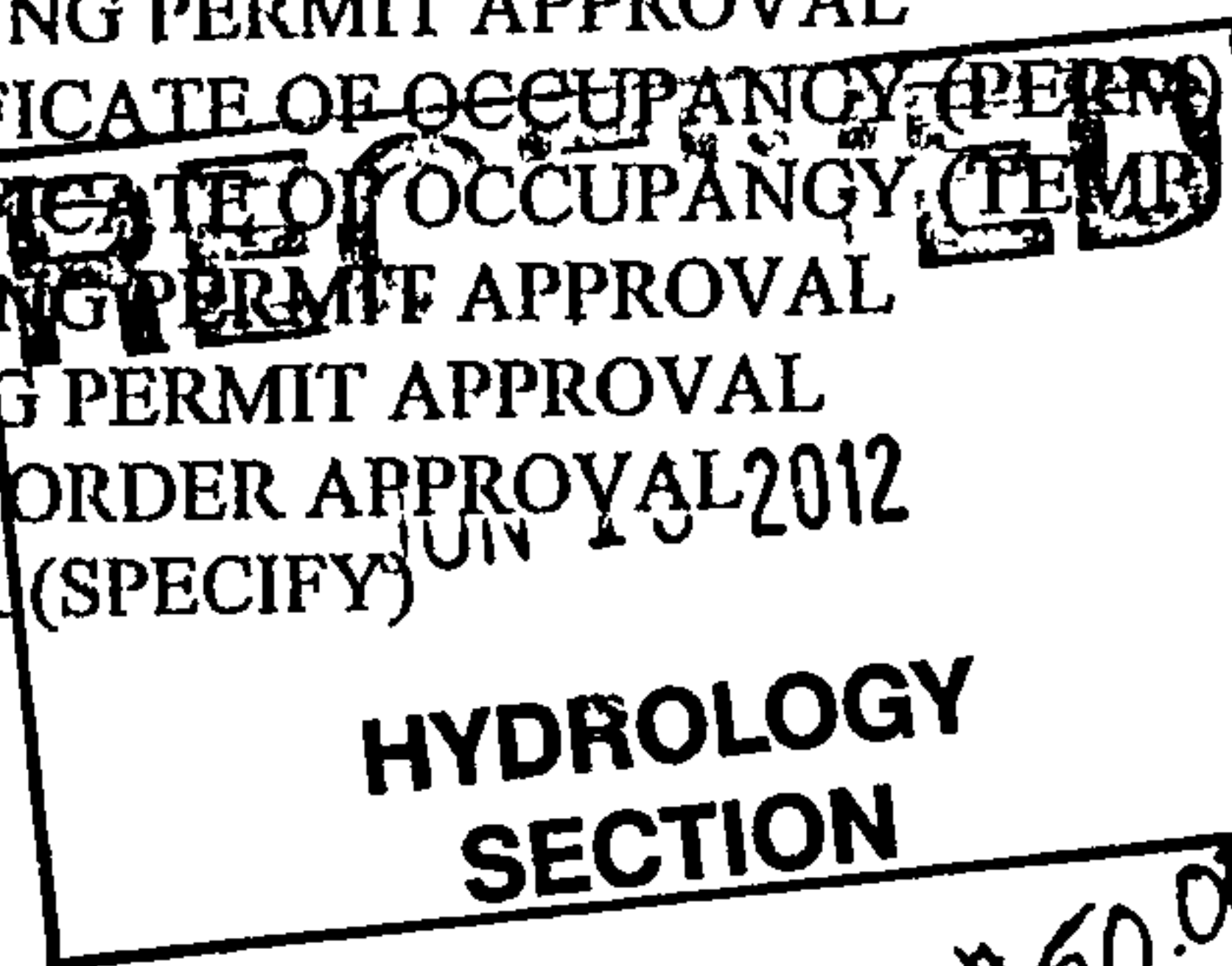
SUBMITTED BY: \_\_\_\_\_

DATE: 6/18/12

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres at Sector Plans.
- Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

tgcengineering@ad.com





# CITY OF ALBUQUERQUE



January 13, 2012

William Troy Borron, R.A.

[troy@audazdesign.com](mailto:troy@audazdesign.com)

Audaz Design

P.O. Box 30274

Albuquerque, NM 87190

Re: Paragon Electric Office & Shop, 1409 Ortiz Dr. SE,

Traffic Circulation Layout

Architect's Stamp dated 01-02-12 (L18-D030)

Dear Mr. Borron,

Based upon the information provided in your submittal received 01-04-12, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The handicapped spaces must include an 8-foot wide van access aisle; all other aisles should be 5 feet in width.
2. Please include two copies of the traffic circulation layout at the next submittal.
3. A 6-foot wide, ADA accessible pedestrian pathway is required from the public sidewalk to the building and from the ADA parking stalls to the building. Provide details for the proposed ramp shown adjacent to the building. Note that the rise for any ramp run shall be 30 inches maximum, ramps shall have landings at the top and bottom of each ramp run, and handrails are required on ramp runs with a rise greater than 6 inches (Sections 405.6, 405.7, and 505.1, *Americans with Disabilities Act and Architectural Barriers Act Accessibility Guidelines*, United States Access Board, July 23, 2004).
4. Define width of the existing sidewalk.
5. Please refer to all applicable city standards.
6. All internal sidewalk must be a minimum of 6 feet in width.
7. Clarify how the internal sidewalk will be separated from the vehicular way. A curb is recommended.
8. All ramps located within City right of way must have truncated domes.
9. Identify all ramp slopes or provide a detail clarifying the max slope of 12:1.
10. Include a copy of Solid Waste approval with the next submittal.
11. It appears the "stairway," located on the northwest corner of the building, conflicts with the loading area/dock. Please clarify what will take place in this area.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.

Traffic Engineer, Planning Dept.

Development and Building Services

C: File



## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

6-18/0030

PROJECT TITLE: PARAGON ELECTRIC, INC. - OFFICE & SHOP ZONE MAP: 6-17-2  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: TRACT R-2-A, BLOCK 25, VIRGINIA PLACO ADDN  
 CITY ADDRESS: 1409 ORTIZ DR. SE

ENGINEERING FIRM: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

OWNER: PARKWELL ENTERPRISES, INC. CONTACT: AL PARKER  
 ADDRESS: P.O. Box 8269 PHONE: 505.265.5823  
 CITY, STATE: ALBU, NM ZIP CODE: 87198

ARCHITECT: AUDAZ DESIGN CONTACT: Trey BURTON  
 ADDRESS: PO Box 30274 PHONE: 505.350.0569  
 CITY, STATE: ALBU, NM ZIP CODE: 87120

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER (SPECIFY) \_\_\_\_\_

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SLA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAYMENT PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_

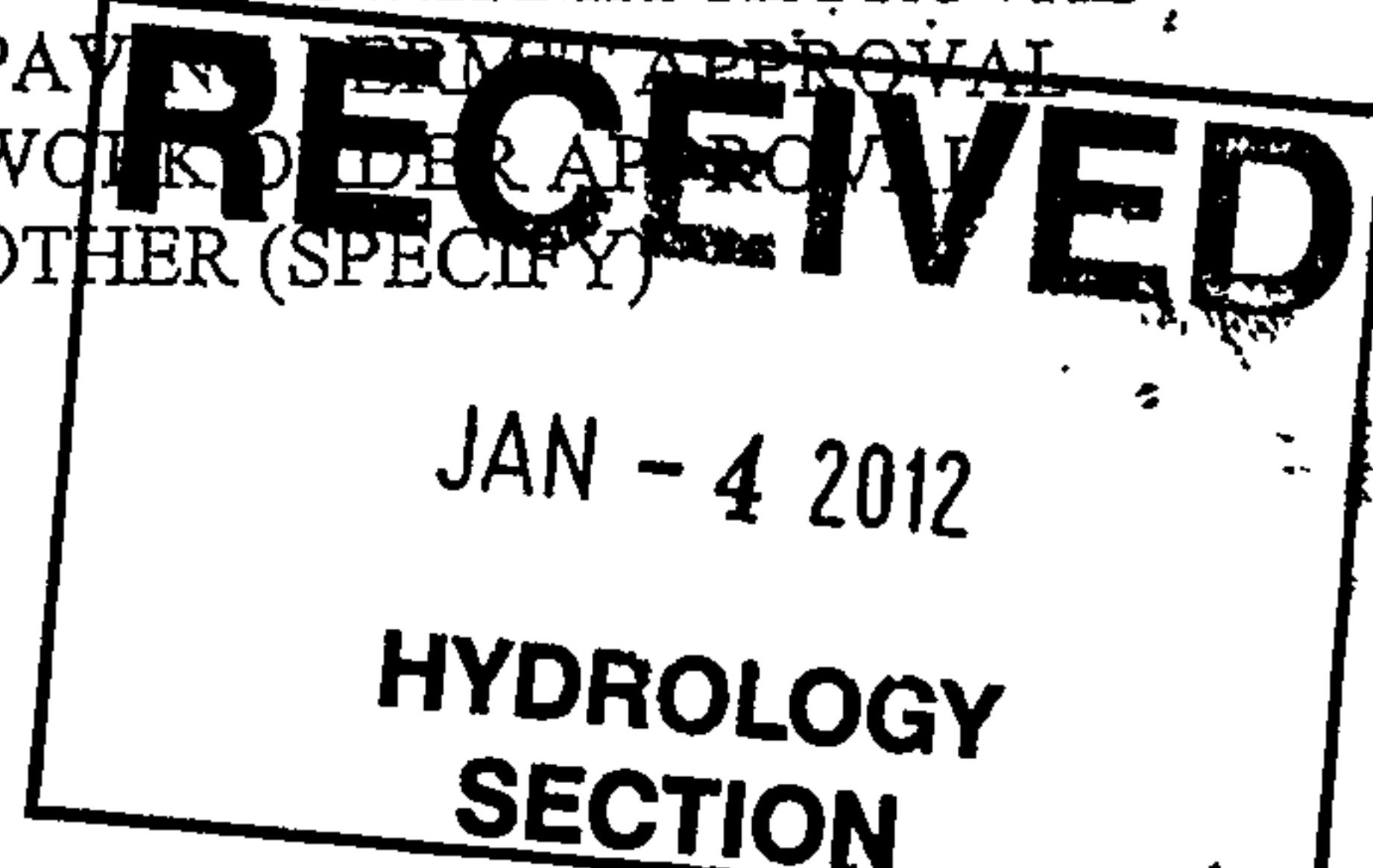
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☒ NO  
☐ COPY PROVIDED

DATE SUBMITTED: 4 JAN. 2012 BY: Trey BURTON

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





COA ~~standard~~ spec

1- 6' wide pedestrian connection to R.O.W

2- the ADA access side will need to be 8' in width

\*- Curb returns - ? why not curb cut - if curb

provide slopes on all ramps or ~~as~~ include a detail for all ramps

provide solid waste approval

it appears the stair way & balcony conflict w/ the loading dock.  
please clarify.



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

---

January 4, 1995

Jeff Mortensen, P.E.  
Jeff Mortensen & Assoc.  
6010-B Midway Park NE  
Albuquerque, N.M. 87109

**RE: GRADING & DRAINAGE PLAN FOR LOVELACE PARKING LOT (L-18/D30)  
RECEIVED DECEMBER 15, 1994 FOR GRADING/PAVING PERMIT APPROVAL  
ENGINEER'S STAMP DATED 12-14-94**

Dear Mr. Mortensen:

Based on the information included in the submittal referenced above, City Hydrology approves a Grading/Paving Permit for this project.

A separate permit is required for construction of private drainage facilities within the City Right of Way. A copy of this letter must be on hand when applying for the excavation permit.

Engineer's Certification of grading & drainage, per DPM checklist is required for this project.

If you have any questions about this project, You may contact me at 768-2727.

Sincerely,

John P. Curtin, P.E.  
Civil Engineer/Hydrology

c: Andrew Garcia  
Arlene Portillo



# DRAINAGE INFORMATION SHEET

941021

PROJECT TITLE: LOVELACE - SAN MATEO PARKING LOT ZONE ATLAS/DRNG. FILE #: L18/030  
 DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_  
 LEGAL DESCRIPTION: TRACTS R2 & X1, BLOCK 25,  
 CITY ADDRESS: VIRGINIA PLACE ADDITION  
 ENGINEERING FIRM: JEFF MORTENSEN & ASSOC. CONTACT: JEFF MORTENSEN  
 ADDRESS: 6010-B MIDWAY PARK BLVD NE PHONE: 345-4250  
 OWNER: LOVELACE CONTACT: WES BRITTENHAM  
 ADDRESS: 5400 GIBSON SE PHONE: 242-7121  
 ARCHITECT: N/A CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 SURVEYOR: JEFF MORTENSEN & ASSOC CONTACT: JEFF MORTENSEN  
 ADDRESS: 6010-B MIDWAY PARK BLVD NE PHONE: 345-4250  
 CONTRACTOR: NOT SELECTED CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

☒ DRAINAGE REPORT  
☒ DRAINAGE PLAN  
☒ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION  
☐ OTHER

## PRE-DESIGN MEETING:

☒ YES  
☒ NO  
☐ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY APPROVAL  
☒ GRADING PERMIT APPROVAL  
☒ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☒ OTHER SD #19 (SPECIFY)

DATE SUBMITTED: 12/14/94

BY: JEFFREY G. MORTENSEN

DEC 15 1994

DRNOLOGY ENGINEERING



# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

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**DESIGN HYDROLOGY SECTION**  
123 Central NW, Albuquerque, NM 87102  
(505) 766-7644

May 29, 1985

Mr. John Esquibel  
A & E Engineering Inc.  
1330 San Pedro NE, Suite 208  
Albuquerque, N.M. 87110

REF: DRAINAGE PLAN FOR TEMPORARY PARKING (L18/D30) RECEIVED MAY  
6, 1985

Dear Mr. Esquibel:

The referenced plan dated May 6, 1985 is approved for grading permit.  
The plan was reviewed as a temporary parking and construction yard  
situation.

If you should have any questions, please contact this office at 766-  
7644.

Sincerely,

Carlos A. Montoya  
City/County Flood Plain Admin.

CAM/cl

**MUNICIPAL DEVELOPMENT DEPARTMENT**

**C. Dwayne Sheppard, P.E., City Engineer**

**ENGINEERING DIVISION**

**Telephone (505) 766-7467**

**AN EQUAL OPPORTUNITY EMPLOYER**

CITY OF ALBUQUERQUE  
MUNICIPAL DEVELOPMENT DEPARTMENT  
ENGINEERING DIVISION/DESIGN HYDROLOGY SECTION

PRE-DESIGN CONFERENCE RECAP

HYDROLOGY SECTION PROJECT NO.: L-18 DATE: 4/22/85

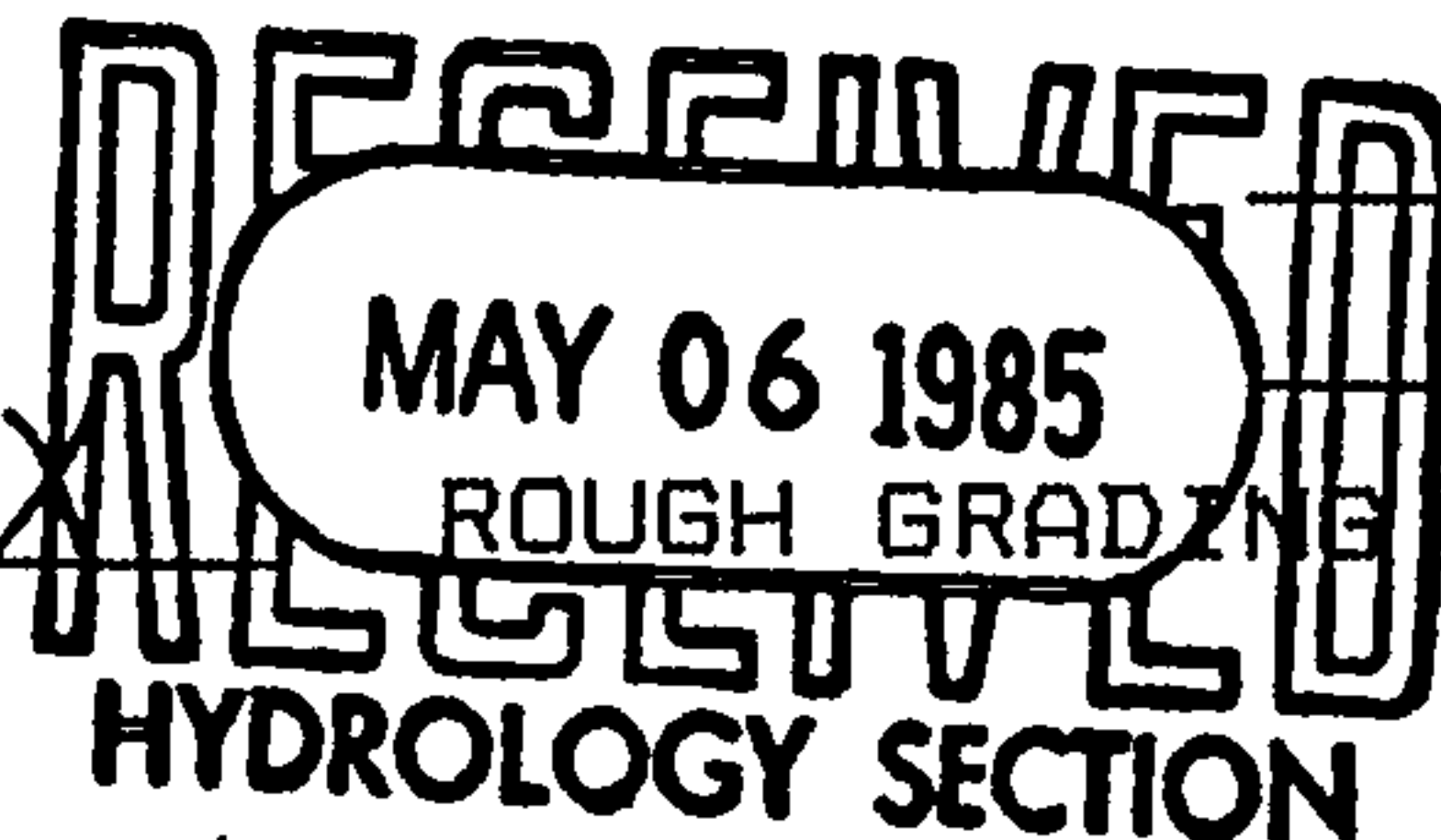
PLANNING DIVISION NOS. EPC: \_\_\_\_\_ DRB: \_\_\_\_\_

SUBJECT: Lovelace Clinic - Temp. parking & construction ya

LEGAL DESCRIP.: Tracts X-2, X-1, R-1 & 2 & 300' of NW ~~1/4~~ Half, Blk 26  
Blk 25 Virginia Place Addn.

APPROVAL REQUESTED

\_\_\_\_ PRELIMINARY PLAT  
\_\_\_\_ SITE DEVELOPMENT PLAN



\_\_\_\_ FINAL PLAT  
\_\_\_\_ BUILDING PERMIT

WHO: \_\_\_\_\_ REPRESENTING: \_\_\_\_\_

ATTENDANCE: John Esquivel  
Billy Goolsby  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_ Conceptual Drainage Plan/Report required for Preliminary Plat and/or Site Development Plan sign-off.

X Approved Drainage Plan/~~Report~~ required for ~~Final Plat~~ and/or Grading ~~ing~~ Permit sign-off.

\_\_\_\_ Subdivision Improvements Agreement or Financial Security required.

FINDINGS: ① Grading Plan for proposed temporary use addressing off-site flows. ② Erosion Control Plan to accommodate the temporary usage.

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: Billy Goolsby  
TITLE: CE/Design Hydrology  
DATE: 4/22/85

SIGNED: John Esquivel  
TITLE: Manager  
DATE: 4/22/85

: \*\*NOTE\*\* PLEASE PROVIDE A COPY OF THIS RECAP WITH THE DRAINAGE SUBMITTAL



INFORMATION SHEET

Grading & Paving permit

PROJECT TITLE VIRGINIA PLACE ADD. TYPE OF SUBMITTAL Grading & Paving permit

ZONE ATLAS PAGE NO. L-18-<sup>D30</sup> CITY ADDRESS Jan. Mateo SE

LEGAL DESCRIPTION Tract x-1, x-2, R-1, R-2, Block 25, Virginia Place Addition

ENGINEERING FIRM A & E Engineering Inc. CONTACT John F. Esquivel

ADDRESS 1330 San Pedro NE Suite 208 PHONE 266-8792

OWNER Rogers Construction Co CONTACT Steve Meeks

ADDRESS P.O. Box 8406 Albuquerque 87198-8406 PHONE 265-1601

ARCHITECT N/A CONTACT

ADDRESS  PHONE

SURVEYOR A & E Engineering Inc. CONTACT John F. Esquivel

ADDRESS 1330 San Pedro NE Suite 208 PHONE 266-8792

CONTRACTOR L.R. Hale Construct. Co CONTACT

ADDRESS 505 Carmony Rd NE PHONE 345-6628

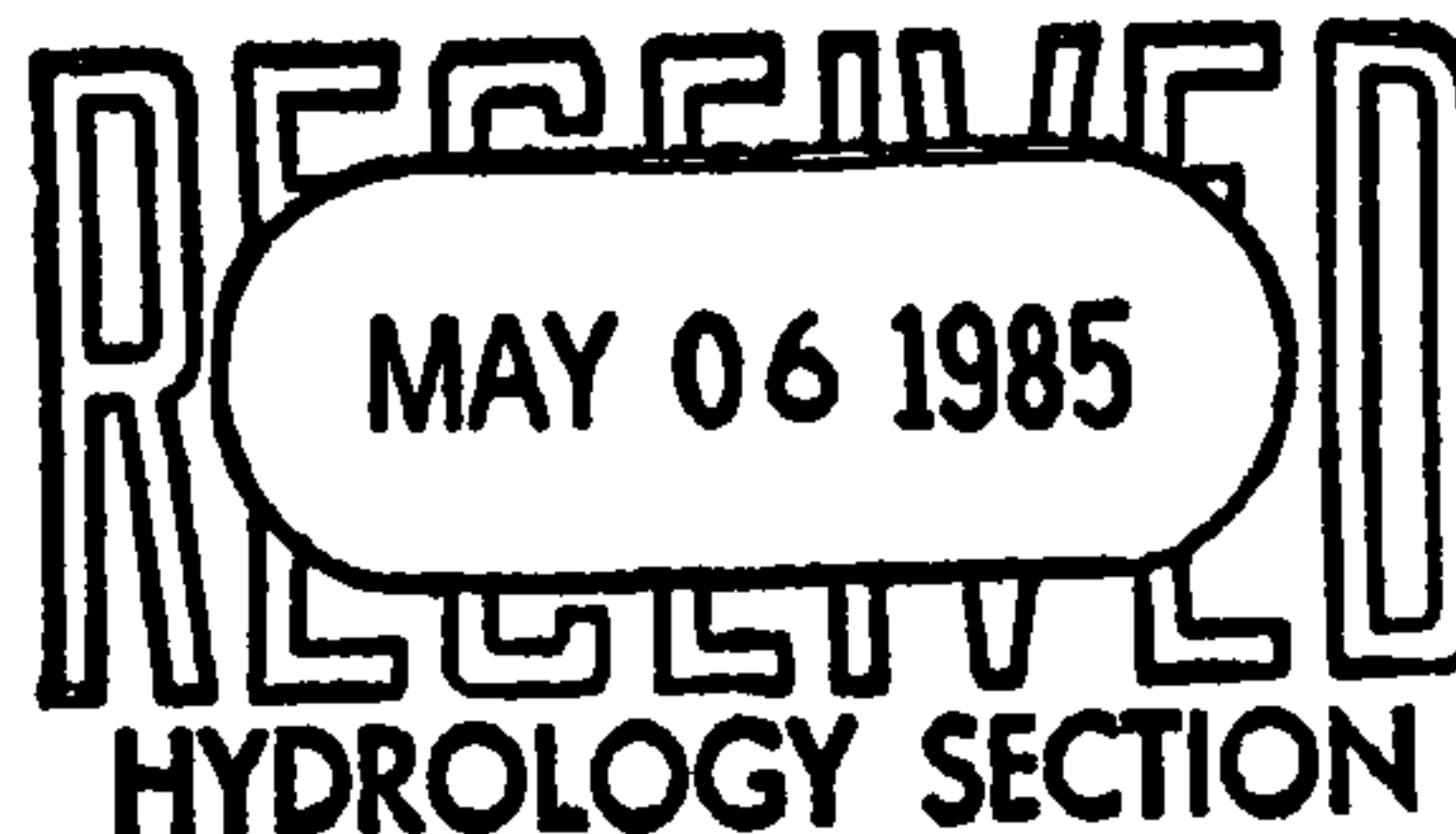
PRE-DESIGN MEETING:

☒ YES  
☐ NO

☒ COPY OF CONFERENCE RECAP SHEET PROVIDED

PLEASE CHECK TYPE OF APPROVAL EXPECTED WITH THIS SUBMITTAL:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE DEVELOPMENT PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ ROUGH GRADING PERMIT APPROVAL
- ☒ GRADING/PAVING PERMIT APPROVAL
- ☐ OTHER  (SPECIFY)



DATE SUBMITTED: 5/6/85

BY: [Signature]