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CLINICAL PHARMACY, INC.

5002 GIBSON BLVD. SE

ALBUQUERQUE, NEW MEXICO 87108

Mon.-Sat. 8:00 AM to 7:00 PM

Sun. 9:00 AM to 1:00 PM

NEAL K. JOHNSON
PRESIDENT

TELEPHONE (505) 262-1425

February 11, 1986

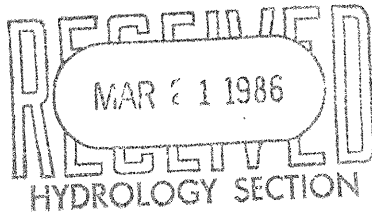
To Whom It May Concern:

As of December 27, 1985, I own the property and building at 5121 Gibson Blvd. S. E. , Albuquerque, New Mexico, 87108, Tracts lettered A-1 and A-2, Block 26, Virginia Place Addition.

The topography map indicates that water will run from Tract A-1 onto Tract A-2. This I understand and agree with. Tract A-2 is a vacant lot and no damage will be done.

Sincerely,


Neal K. Johnson



"Your Good Health Is Our Business"

Pre-Design Investigation
(Additions)

DATE 2-4-86

ADDRESS 5121 GIBSON ZONE ATLAS # LIB/D36

LEGAL DESCRIPTION _____

OWNER ROBERT PANTO 296-5511

ARCHITECT/ENGINEER _____

LOT SIZE _____

ZONING _____

PROPOSED DEVELOPMENT ADDITION

	YES	NO	NA	COMMENTS
FLOOD HAZARD AREA		C		
PART OF AN APPROVED REPORT				
CONSTRUCTION PLANS ON MICRO-FILM				
FIELD INSPECTION	✓			

COMMENTS:

RUN-OFF ~~IS~~ CURRENTLY TRAVELS
TO THE NORTH EAST CORNER OF LOT. (INTO MADIRA)
IT APPEARS THAT SOME RUN-OFF CROSSES THE
NORTH PROPERTY LINE INTO ADJACENT PROPERTY
DRAINAGE REQUIREMENTS:

1. Finish Floor elevation to M.S.L. for Existing & proposed Building.
2. New developed run-off must exit thru a driveway onto the
street.

talked to Bob Panto on 2/11/86 9:06 A.M. advised
him that I would need a letter and the finish Floor
elevations BM

CREATIVE CARPENTRY

P.O. BOX 40008
ALBUQUERQUE, NEW MEXICO 87196
505-243-4605

5-22-86

re: paving procedure
1212 San Pedro SE, Albuquerque, NM

As agent for owner of property described above,
Mr. Bruce R. Manuelito
VR Business Brokers
2625 Pennsylvania Ave NE
Suite 225
Albuquerque, NM 87110

Mr. Manuelito:

Please advise your client that before he proceeds with the paving of the gravelled area of the property mentioned above, he is required to obtain a permit from the city before doing same.

I mention this since it is my understanding than he intends to do so as part of his lease agreement with Mr. Willie Powdrell.

The reason I am making this writing is that, through the plan checking procedure involved with the rennovation of the structure, Mr. Rick Duran, Hydrology Inspector, City of Albuquerque, made me aware of this requirement. Pursuant to this, we've delted paving specifications from the rennovation plans mentioned above since certain engineering requirements will have to be satisfied before that portion of the plans could be approved.

I did not proceed with these engineering requirements since it is not encumbent upon me to do so since the owner, not I, is involved with the paving portion of the rennovation of the property.

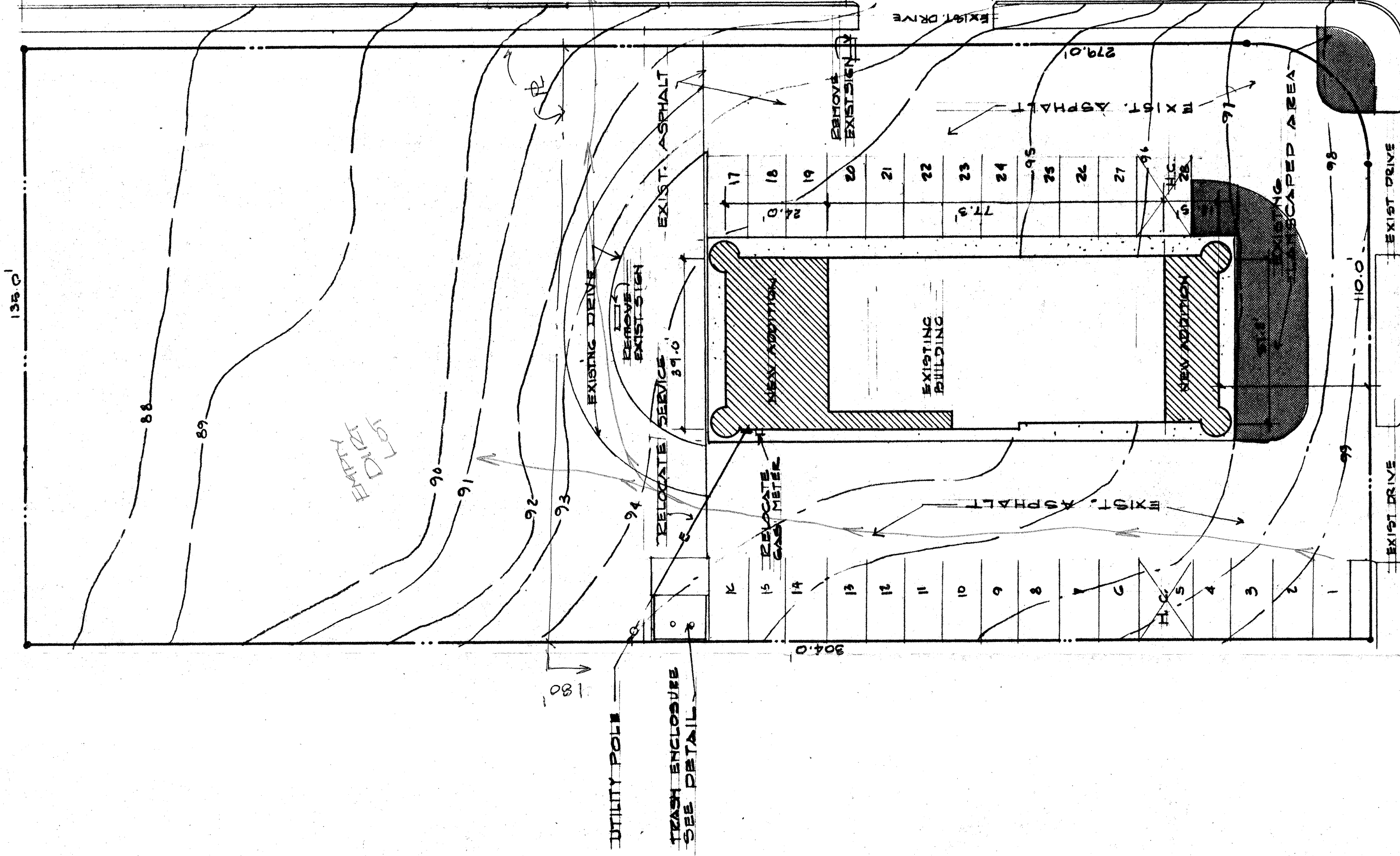
I would be able to furnish information as to how one should properly pursue this procedure, should the owner or his agent contact me about this.

A copy of this letter is being forwarded to

- 1) Mr. Wullie Powdrell
- 2) Mr. Rick Duran, City Hydrlogy

At your service,

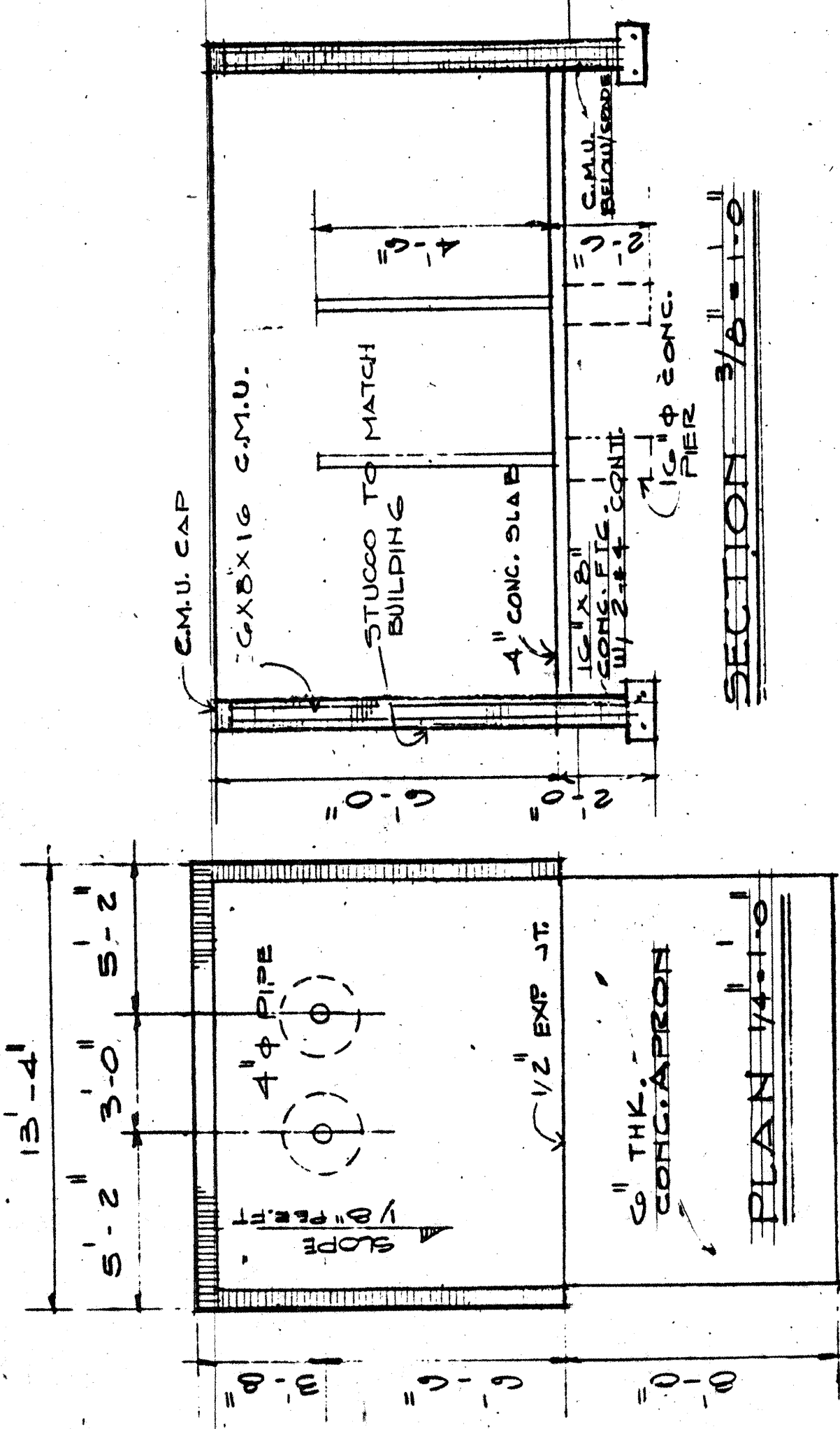
Eric Menter, Owner
Creative Carpentry



GIBSON BLVD. SE

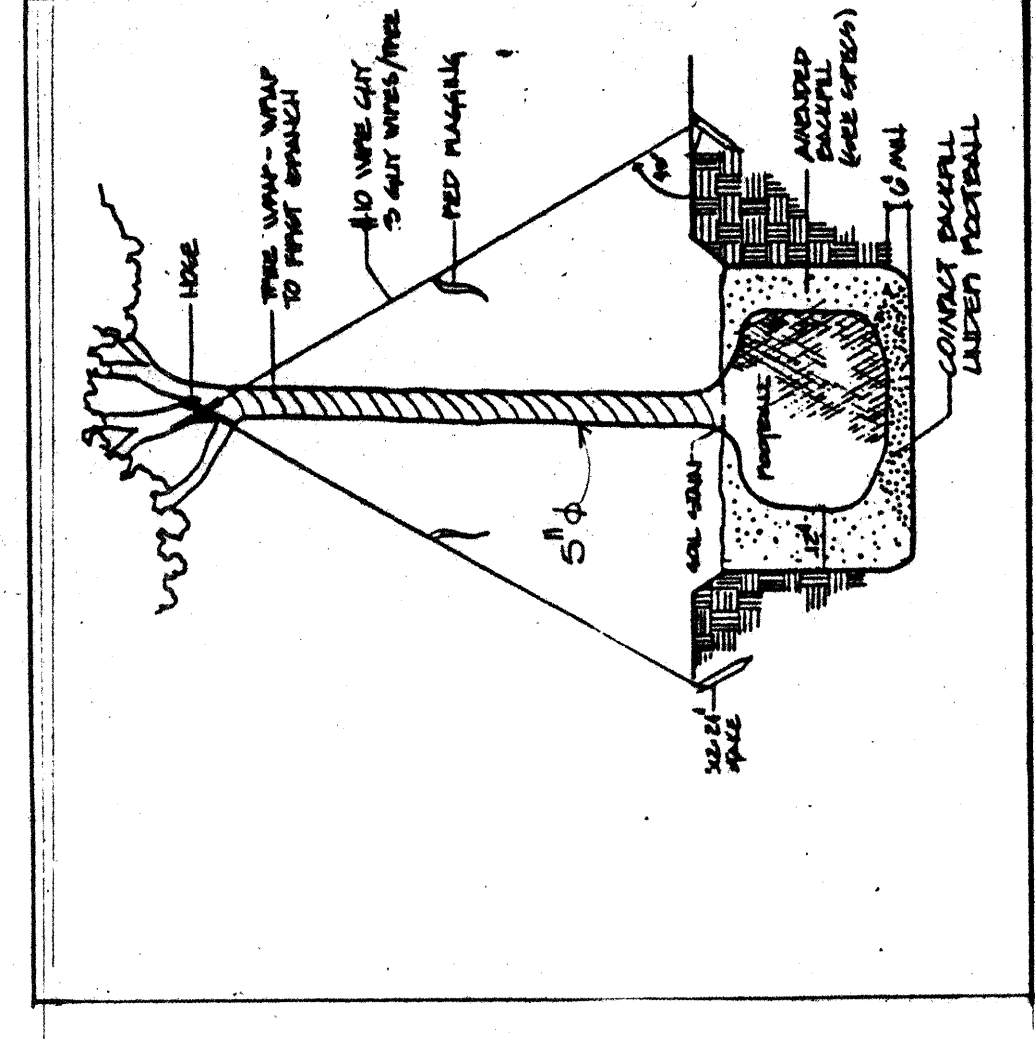
SITE PLAN 1"=200'

NORTH

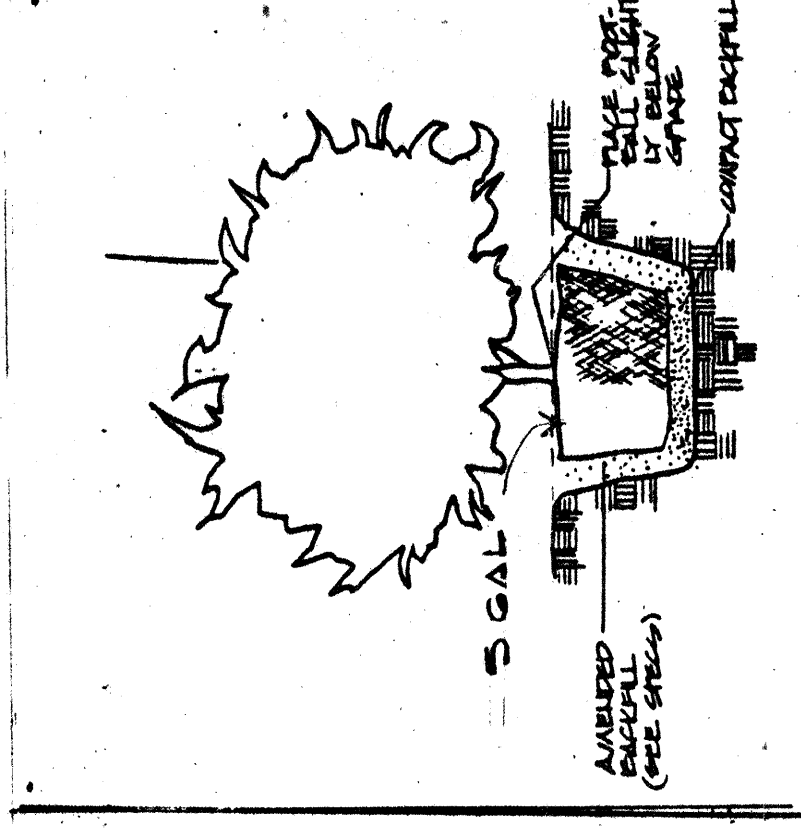


SECTION 3/8\"/>

TRASH ENCLOSURE



TREE PLANTING DETAIL



SHRUB PLANTING DETAIL

--- SITE WORK

CLEARING OF SITE: Completely remove all surface debris and other obstructions within area to be covered by new construction. Excavate to dimension shown for the building foundations and to depth required or to solid formation suitable for the foundations. Excavations shall be kept free from standing water at all times. Soil available from excavations shall be utilized for fill to bring existing grade up to the necessary grades for the building. Fill: Such additional soil as required to bring existing grades up to the necessary grades for the building shall be furnished, placed and compacted by the Contractor.

Soil Compaction: Compact each layer using proper equipment and moisture or aeriate the material as necessary to provide the moisture content that will facilitate obtaining the required compaction. Degree of Compaction: Not less than 92% under slabs; not less than 90% under sidewalks, drives and parking areas, all as determined by ASTM Method T-99 modified proctor.

SITE DETAILS 3/4\"/>

BUILDING TYPE	PHARMACY
OCCUPANCY	D-2
FIRE ZONE	2
SEISMIC ZONE	2
CONSTRUCTION TYPE	V-N
WIND LOAD	30 PSF
ROOF LOAD	20 PSF LIVE, 20 PSF DEAD
FLOOR AREA (EXIST.)	2690 ft ²
FLOOR AREA (NEW)	1430 ft ²
PARKING	28 SPACES

DESIGN DATA

TRACTS	A-1 & A-2
BLOCK	26
VIRGINIA PLACE ADDITION	
LEGAL DESCRIPTION	

NOTE: ADD 2 ADDITIONAL PINE TREES & 12 ADDITIONAL SHRUBS TO THE EXISTING LANDSCAPING

APPROVED FOR DRAINAGE

3/24/86
Rory Green