

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 2, 2024

David A. Aube, PE
Cushing Terrell
306 Railroad St. Suite 104
Albuquerque, NM 87174

Re: APD Comm Safety
1138 San Mateo Blvd. SE
Request for Temporary Certificate of Occupancy
Engineer's Stamp 6/5/2023 (L18D045A)
Certification dated 5/1/2024

Dear Mr. Aube,

Based solely upon your certification dated 5/1/2024, Transportation Development has no objection to the issuance of a 30-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Transportation will schedule to perform the site inspection for the issuance of a permanent Certificate of Occupancy as soon as possible. If all the work is completed according to plan we will provide a Permanent Certificate of Occupancy.

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at earmijo@cabq.gov

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: APD Comm Safety Building Permit # _____ Hydrology File # _____

DRB# _____ EPC# _____

Legal Description: Lot 20-A, Virginia Place Add'n. City Address OR Parcel 1138 San Mateo BLVD SE

Applicant/Agent: Cushing Terrell Contact: Dave Aube

Address: 306 Railroad St, Suite 104 Phone: 406-540-3219

Email: daveaube@cushingterrell.com

Applicant/Owner: COA DMD Contact: Stacy Herrera

Address: Cushing Terrell Phone: 505-768-2768

Email: shererra@cabq.gov

TYPE OF DEVELOPMENT: ___ PLAT (#of lots) ___ RESIDENCE ___ DRB SITE ___ ADMIN SITE: X

RE-SUBMITTAL: ___ YES X NO

DEPARTMENT: ___ TRANSPORTATION X HYDROLOGY/DRAINAGE

Check all that apply:

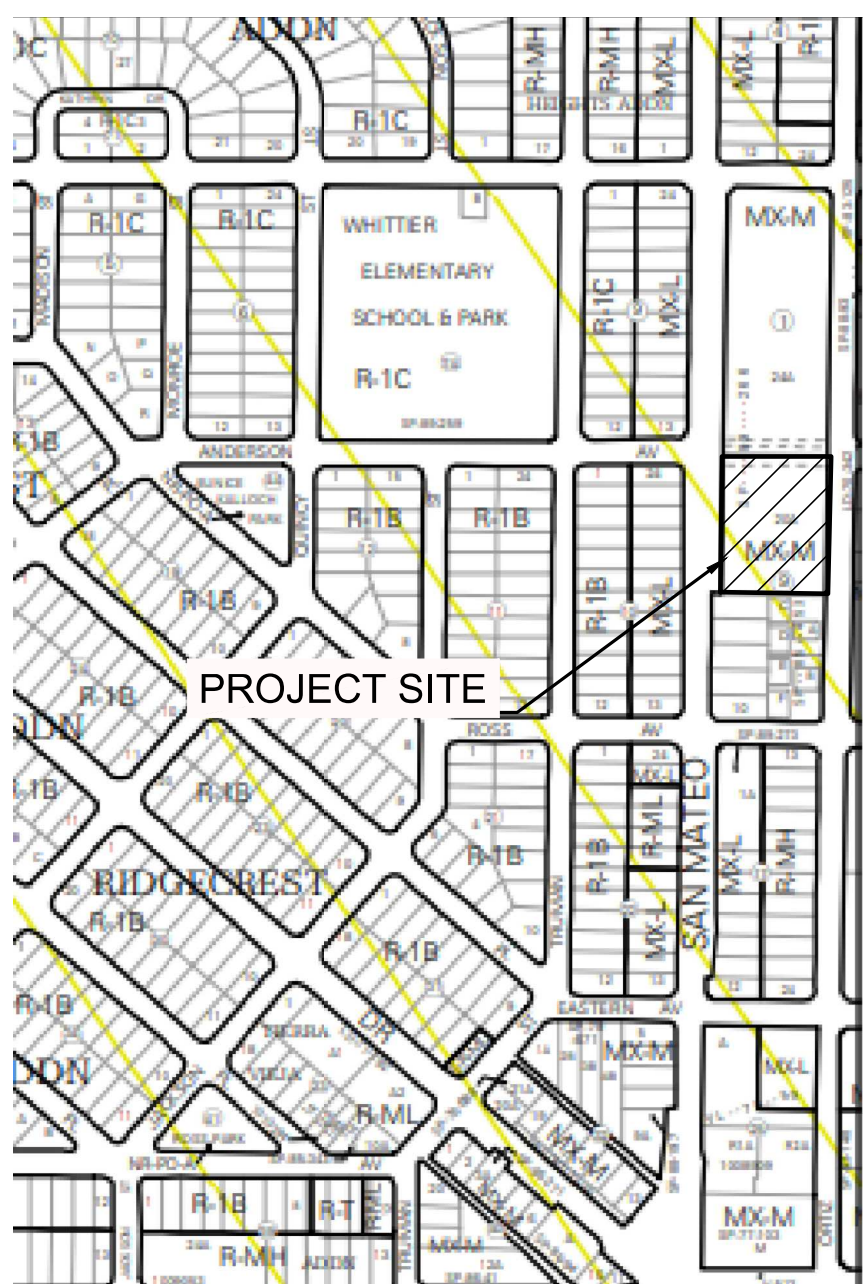
TYPE OF SUBMITTAL:

- X ENGINEER/ARCHITECT CERTIFICATION
- ___ PAD CERTIFICATION
- ___ CONCEPTUAL G&D PLAN
- ___ GRADING PLAN
- ___ DRAINAGE REPORT
- ___ DRAINAGE MASTER PLAN
- ___ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ___ ELEVATION CERTIFICATE
- ___ CLOMR/LOMR
- ___ TRAFFIC CIRCULATION LAYOUT (TCL)
- ___ ADMINISTRATIVE
- ___ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ___ TRAFFIC IMPACT STUDY (TIS)
- ___ STREET LIGHT LAYOUT
- ___ OTHER (SPECIFY)
- ___ PRE-DESIGN MEETING?

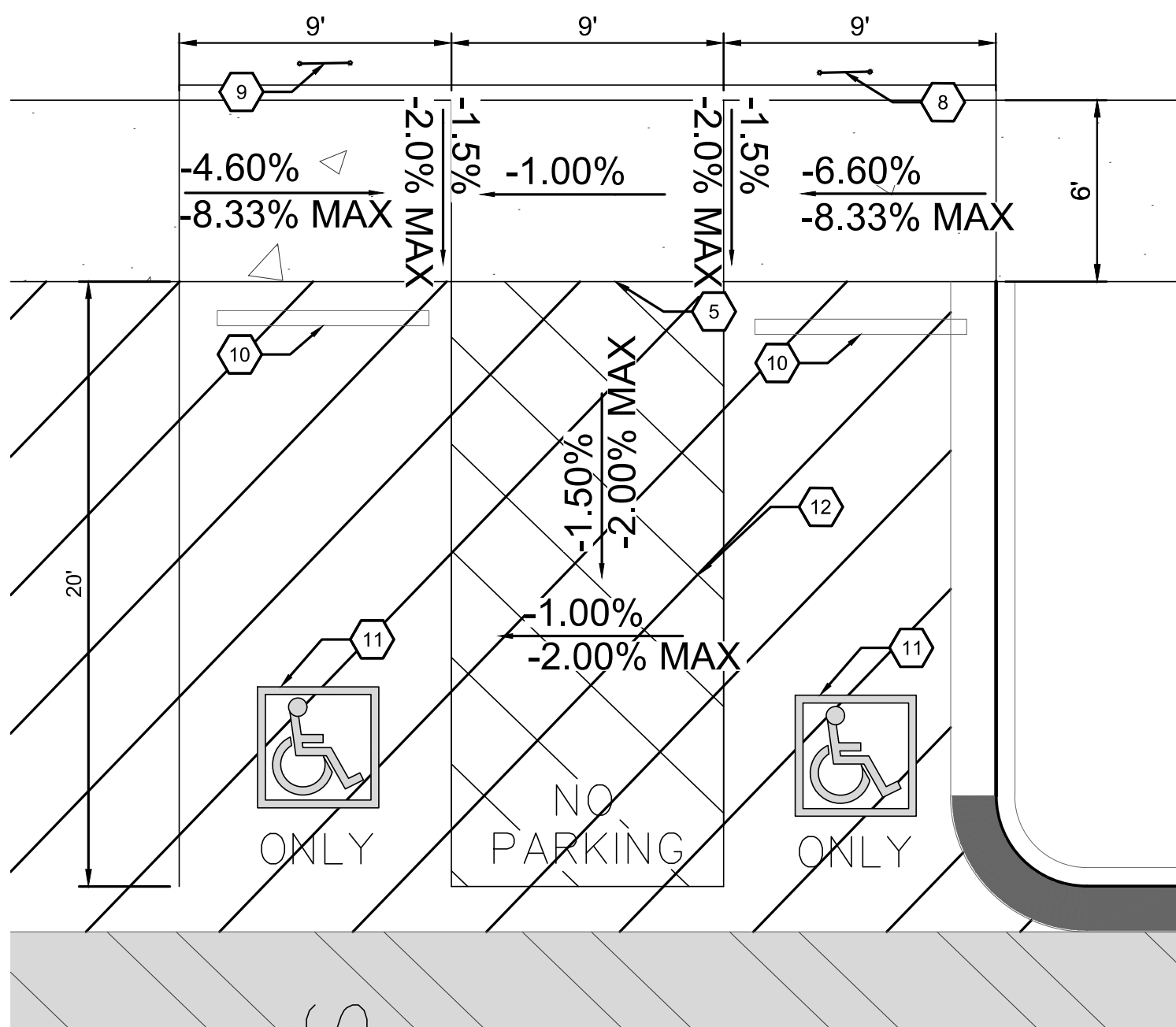
TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ___ BUILDING PERMIT APPROVAL
- X CERTIFICATE OF OCCUPANCY
- ___ CONCEPTUAL TCL DRB APPROVAL
- ___ PRELIMINARY PLAT APPROVAL
- ___ SITE PLAN FOR SUB'D APPROVAL
- ___ SITE PLAN FOR BLDG PERMIT APPROVAL
- ___ FINAL PLAT APPROVAL
- ___ SIA/RELEASE OF FINANCIAL GUARANTEE
- ___ FOUNDATION PERMIT APPROVAL
- ___ GRADING PERMIT APPROVAL
- ___ SO-19 APPROVAL
- ___ PAVING PERMIT APPROVAL
- ___ GRADING PAD CERTIFICATION
- ___ WORK ORDER APPROVAL
- ___ CLOMR/LOMR
- ___ FLOOD PLAN DEVELOPMENT PERMIT
- ___ OTHER (SPECIFY) _____

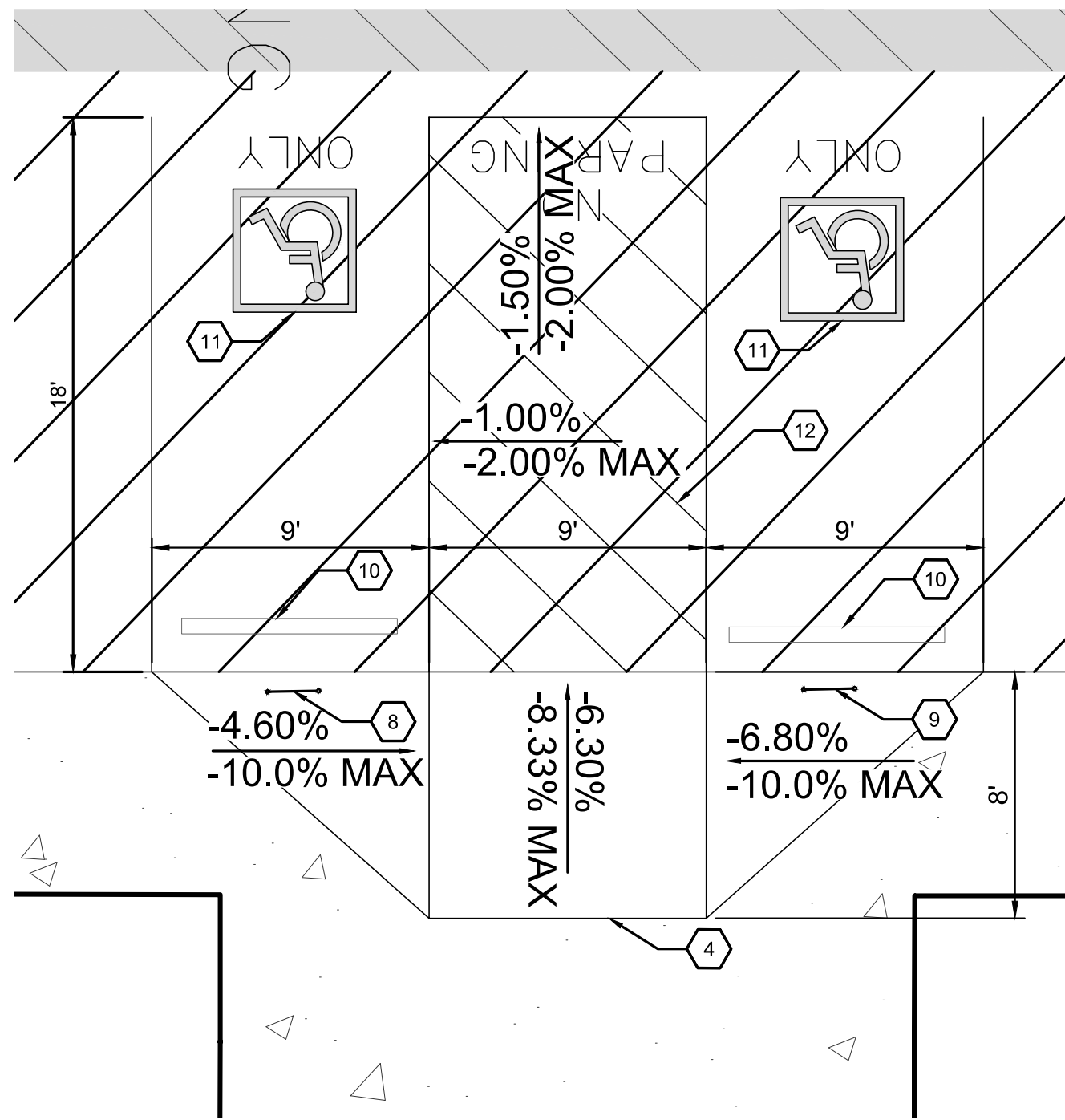
DATE SUBMITTED: 5-1-2024



C1 ZONE ATLAS PAGE L-17
NOT TO SCALE



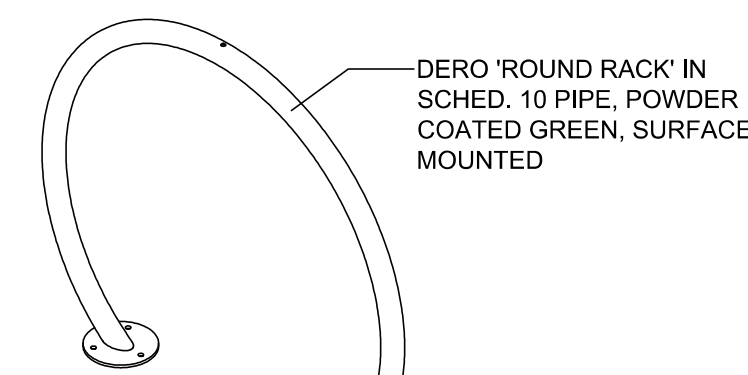
C2 ENLARGED ADA RAMP
1" = 5'-0"



C3 ENLARGED ADA RAMP
1" = 5'-0"

PAVING PLAN KEYED NOTES

- 11'X11' MINI CLEAR SIGHT TRIANGLE. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- 240' INTERSECTION SIGHT TRIANGLE DESIGNED FOR 2 LANE UNDIVIDED RIGHT TURN AND 25 MPH.
- 280' INTERSECTION SIGHT TRIANGLE DESIGNED FOR 2 LANE UNDIVIDED LEFT TURN AND 25 MPH.
- 390' INTERSECTION SIGHT TRIANGLE DESIGNED FOR 2 LANE DIVIDED W/ 12' MEDIAN RIGHT TURN AND 40 MPH.
- PERPENDICULAR CURB RAMP PER COA STD DWG 2442 WITH DETECTABLE WARNING SURFACE OMITTED.
- PARALLEL CURB RAMP PER COA STD DWG 2443 WITH DETECTABLE WARNING SURFACE OMITTED.
- 25' TURNING RADIUS TO BEYOND PARALLEL PARKING OR FIRST LANE.
- RESERVED PARKING SIGN PER A3/TCL-2.
- VAN ACCESSIBLE RESERVED PARKING SIGN PER DETAIL A3/TCL-2.
- PARKING BLOCK.
- RESERVED PARKING SYMBOL.
- ADA UNLOADING ZONE.



NOTE: BIKE CAN ATTACH ON BOTH SIDES OF RACK (2 BIKES PER RACK)

C5 BICYCLE RACK
NOT TO SCALE

Parking Description	Total Number Required (City of Albuquerque)	Total Number Supplied
Parking Stalls	29	57
Standard Accessible Parking Stalls	2	2
Van Accessible Parking Stalls	1	2
Motorcycle Parking Stalls	2	2
Bike Parking Stalls	3	4

*Albuquerque Integrated Development Ordinance		
GSF, Table 5-5-1(1) 10,428 GSF For proposed building and 4064 GSF For Motorcycle parking (2 req'd for 25-50 vehicle parking spaces req'd, Table 5-5-4)	14,492 GSF	29 spaces
Bicycle parking (3 spaces or 10% of required vehicle parking, Table 5-5-5)	29 Vehicle spaces req'd	2 spaces
	3> 2.9 spaces (10% of 29)	3 spaces

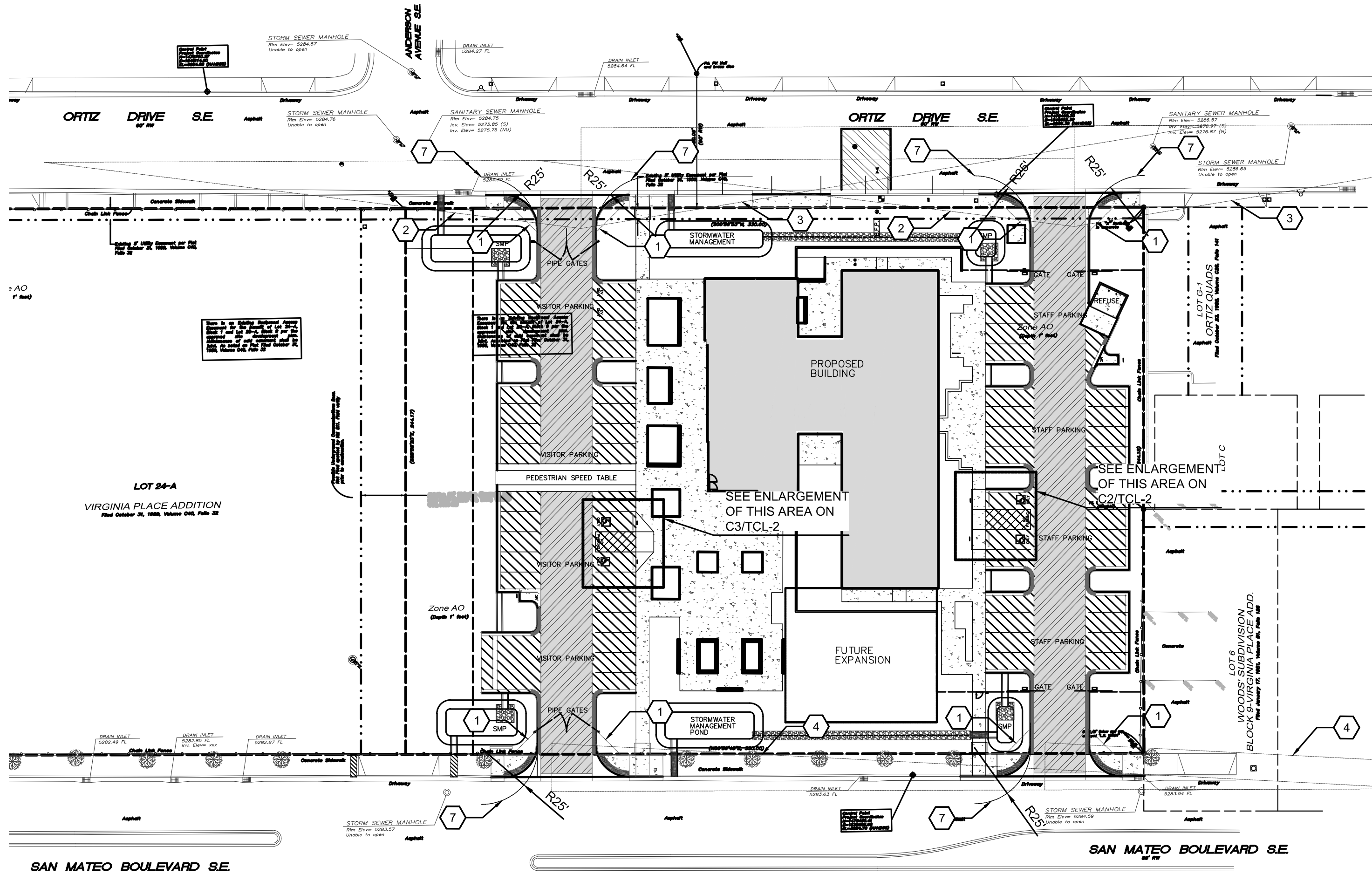
B5 SITE DATA TABLE
NOT TO SCALE

Cushing Terrell
THE HARTMAN + MAJEWSKI
DESIGN GROUP
Architects • Engineers • Interior Design
Planners • Urban Designers • LEED®
120 Vassar Dr SE Suite 100
Albuquerque New Mexico 87106
T 505 242 6880 • F 505 242 6881

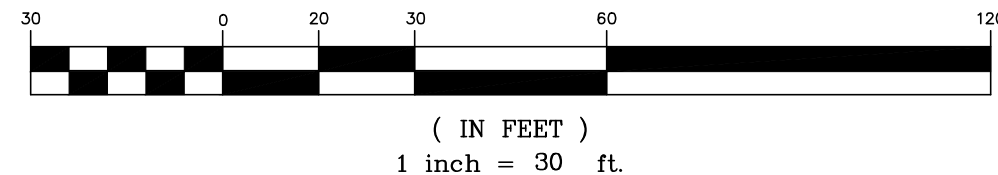
dg

DESIGN
REVISIONS
DESIGNED BY: DAVID A. AUBE, P.E.
DRAWN BY: BRIAN BEATTY
CHECKED BY: DAVID A. AUBE, P.E.
DATE: October 19, 2022
DATE: October 19, 2022
DATE: October 19, 2022

CITY OF ALBUQUERQUE CAPITAL IMPLEMENTATION PROGRAM			
PROJECT TITLE: ALBUQUERQUE COMMUNITY SAFETY DEPARTMENT FACILITY			
DRAWING TITLE: TRAFFIC CIRCULATION LAYOUT			
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
PERMIT DRAWINGS	City Project No. 7881.00	DG Project No. 6600.AS32	Zone Map No. L-17-Z
		DWG. TCL-2	Sheet



A1 TRAFFIC CIRCULATION LAYOUT
1" = 30'-0"



SIGN TYPE R7-8 (12"x18")
-sign field is white
-sign lettering and border are green
-International Symbol of Accessibility is white on a blue background

Required language per NMSA 197866-7-352.4C

SIGN TYPE R7-8a (6"x12")
-sign field is white
-sign lettering and border are green

Required language (Van Accessible Spaces) per ANSI 502.7

A3 RESERVED PARKING SIGNS
NOT TO SCALE

ADD ADDITIONAL SIGN BELOW RESERVED PARKING SIGN OR VAN ACCESSIBLE SIGN THAT READS "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING"

ACCESS AISLES AT ADA PARKING SPACES THAT BE LABELED WITH "NO PARKING"



1. 11'X11' MINI CLEAR SIGHT TRIANGLE. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
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7. 25' TURNING RADIUS TO BEYOND PARALLEL PARKING OR FIRST LANE.
8. RESERVED PARKING SIGN PER A3/TCL-2.
9. VAN ACCESSIBLE RESERVED PARKING SIGN PER DETAIL A3/TCL-2.
10. PARKING BLOCK
11. RESERVED PARKING SYMBOL
12. ADA UNLOADING ZONE.
13. EV PARKING SIGN PER D3/C-502.
14. INSTALL EVCS PER MANUFACTURER RECOMMENDATIONS LISTED HERE
[HTTPS://CHARGEPOINT.ENT.BOX.COM/V/CP6000-SDG-NA.](https://chargepoint.ent.box.com/v/CP6000-SDG-NA)
15. 6" BOLLARD PER DETAIL A2/C-501.

SURVEY INFORMATION			BENCH MARK		AS-BUILT INFORMATION	
FIELD NOTES						
NO.	BY	DATE				
			A.C.S. MONUMENT "14-L-17"		CONTRACTOR	
			NEW MEXICO STATE PLANE COORDINATES		WORK STARTED BY: DATE	
			CENTRAL ZONE (NAD 83)		ACCEPTED BY: DATE	
			N=1,480,200.281 US SURVEY FEET		FIELD VERIFICATION BY: DATE	
			E=1,534,391.165 US SURVEY FEET		CORRECTED BY: DATE	
			DELTA ALPHA = -00°12'12.90"		MICRO-FILM INFORMATION	
			GROUND TO GRID FACTOR: 0.999962355		RECORDED BY: DATE	
			ELEV=5310.339 (NAVD 88)			



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800.757.9522


THE HARTMAN + MAJEWSKI

DESIGN GROUP

Architects • Engineers • Interior Design
Planners • Urban Designers • LEED®

120 Vassar Dr SE Suite 100
Albuquerque New Mexico 87106
T 505 242 6880 • F 505 242 6881

The logo consists of the lowercase letters 'dg' in a white, elegant serif font, set against a solid red square background.

 <div style="text-align: center;"> <h1 style="margin: 0;">CITY OF ALBUQUERQUE</h1> <h2 style="margin: 0;">CAPITAL IMPLEMENTATION PROGRAM</h2> </div>					
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