

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

April 30, 2019

Robert Quintana
QA Engineering
4700 Lincoln Rd.
Albuquerque, NM 87109

**RE: 1st Nations Community Healthsource (Bldgs A &B)
5608 Zuni SE
Request for Certificate of Occupancy – Permanent
Hydrology Inspection - Approved
Revised Grading Plan Stamp Date: 3/8/19
Certification Dated: 4/25/19
Drainage File: L18D047**

Dear Mr. Quintana:

Based on the submittal received on 4/26/19, this certification is approved in support of Permanent Certificate of Occupancy by Hydrology for Bldg A (2017-43088) and Bldg B (2017-44384).

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

C: Email Fox, Debi; Tena, Victoria; Sandoval, Darlene; Costilla, Michelle



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: First Nations Community Healthsource **Bldg "A":** BP-2017-43088 **Bldg "B":** BP-2017-44384 **Hydrology File #:** L18D047
DRB#: N/A **EPC#:** N/A **Work Order#:** _____
Legal Description: Lot A-1-A, Block 6 Hollingberry's Replat Baron Burg heights Addition
City Address: 5608 Zuni Road SE, Albuquerque, NM 87108

Applicant: QA Engineering **Contact:** Robert Quintana
Address: 4700 Lincoln Road, Albuquerque, NM 87109
Phone#: 505-338-7092 **Fax#:** N/A **E-mail:** robert@qaengineering.com

Other Contact: N/A **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes _____ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE REPORT
____ DRAINAGE MASTER PLAN
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ STREET LIGHT LAYOUT
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: April 26, 2019 **By:** Not a staff

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

1

2

3

4

5

First Nations Dental Clinic Addition			
Clinic First Flush Calculations: With Eastside Parking Lot Paved and As-built Retention Pond			
V=A*FF		V = Pond Volume (Ft ³)	
Submission	Area (Ft ²)	First Flush (In)	Pond Size (Ft ³)
Original Pond Requirement	2534	0.26	55
Revised Pond Requirement	8350	0.26	181
Acutal As-built Pond Size			362

DRAINAGE CERTIFICATION

I, ROBERT A. QUINTANA II, NMPE 16647 OF THE FIRM QA ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 1/17/18. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ANDREW MEDINA, NMPS 12649, OF THE FIRM SANDIA LAND SURVEYING LLC. I FURTHER CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 4/10/19 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. IT SHOULD BE NOTED THAT THE ENTIRE EAST PARKING LOT HAS BEEN REPAVED IN ADDITION TO THE APPROVED GRADING PLAN SUBMITTED. INCLUDED IN THIS CERTIFICATION IS THE ADDITIONAL CALCULATION SHOWING ADIQUEATE VOLUME OF THE RETENTION POND TO ACCOMDATED ADDITIONAL FIRST FLSUH REQUIREMENTS. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY (PERMANENT C.O.).

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



5608 ZUNI ROAD S.E.
(60' RIGHT-OF-WAY)

Private Drainage Facilities within City Right-of-Way
Notice to Contractor
(Special Order 19 ~ "SO-19")

1. An excavation permit will be required before beginning any work within City Right-Of-Way.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact **New Mexico One Call, dial "811"** [of (505) 260-1990] for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
7. Work on arterial streets may be required on a 24-hour basis. Contractor must contact David S. Harrison at 857-8053 or dsharrison@cabq.gov and Construction Coordination at 924-3416 to schedule an inspection.

LEGEND

- UE --- EXISTING UNDERGROUND ELECTRIC
- ⊗ POINT OF CONNECTION
- TBC TOP BACK OF CURB
- FL FLOW LINE
- TC TOP OF CONCRETE
- TA TOP OF ASPHALT
- TG TOP OF GRATE
- FF FINISH FLOOR
- WM EXISTING WATER METER
- WV WATER VALVE

GENERAL NOTES

- A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND PROVIDING ALL WORK INDICATED ON THE DRAWINGS, THIS CONSISTS OF FURNISHING ALL LABOR, EQUIPMENT, SUPPLIES, AND MATERIALS IN ADDITION TO PERFORMING ALL OPERATIONS.
- B. PERFORM ALL WORK IN A NEAT AND WORKMANLIKE MANNER IN FULL COMPLIANCE WITH ALL APPLICABLE CODES. ALL LOCAL AND STATE REQUIREMENTS SHALL BE OBSERVED DURING THE PERFORMANCE OF THIS WORK.
- C. CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER OF ANY AND ALL DISCREPANCIES FOUND BETWEEN CONTRACT DOCUMENTS AND/OR LEGAL OR SAFETY REQUIREMENTS.
- D. CONTRACTOR SHALL FOLLOW ALL MANUFACTURER RECOMMENDED INSTALLATION GUIDELINES.
- E. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- F. CONTRACTOR SHALL FIELD VERIFY UTILITY LOCATIONS AND DEPTHS PRIOR TO CONSTRUCTION.

KEYED NOTES

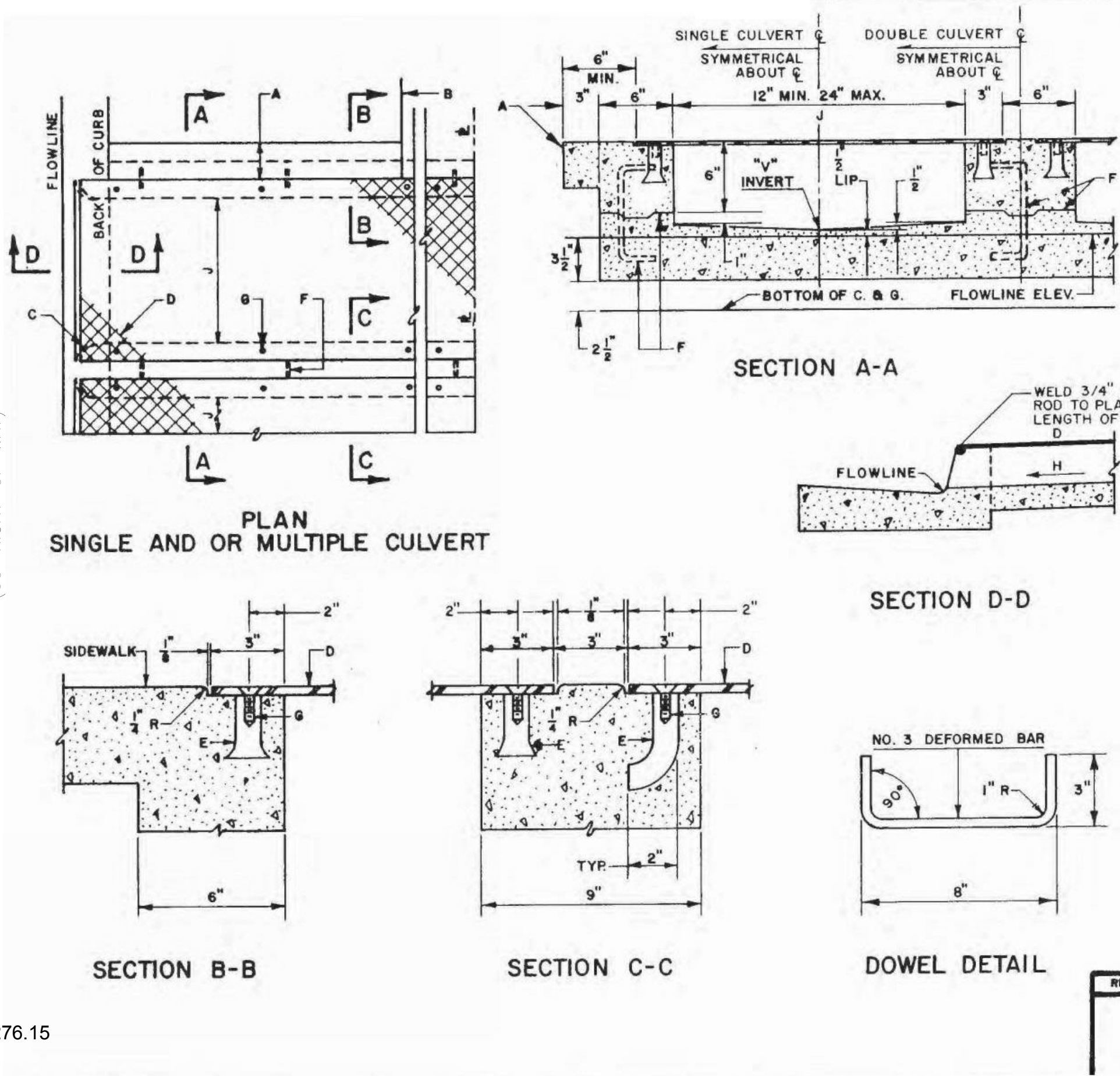
1. EXISTING 150kVA, 208Y/120V TRANSFORMER AND METER. ROUTE NEW UNDERGROUND.
2. EXISTING STORM DRAIN INLET WITH FRENCH DRAIN. SEE DETAIL 1 ON THIS SHEET, C-100.
3. NEW 4" SANITARY SEWER.
4. NEW GRADE CLEANOUT.
5. POINT OF CONNECTION. NEW TO EXISTING SANITARY SEWER. COORDINATE INVERT DEPTH AND TIE-IN ELEVATION PRIOR TO INSTALLING SANITARY SEWER LINE.
6. CURB CUT AND CONCRETE APPRON.
7. NEW 2-1/2" WATER LINE AND ROUTE AS SHOWN.
8. NOT USED.
9. NEW STORM DRAIN INLET WITH FRENCH DRAIN. SEE DETAIL 1 ON THIS SHEET, C-100. SLOPE FINISHED LANDSCAPE AROUND INLET TO DRAIN INTO INLET.
10. NOT USED.
11. NEW 80R³ DRAINAGE POND. MATERIAL TO MATCH SURROUNDING LANDSCAPE.
12. EXISTING 1-1/4" GAS FEED TO MAIN BUILDING FROM EXISTING GAS METER AND REGULATOR ASSEMBLY.
13. TIE INTO EXISTING GAS LINE AT MANIFOLD WITH A 1-1/4" TEE AND PLUG VALVE. ROUTE 1-1/4" SCH. 40 BLACK STEEL TO NEW 2-STORY ADDITION ROOF. SEE ME-201.
14. TIE INTO EXISTING WATER LINE ENTERING EXISTING ONE STORY BUILDING.
15. NEW 6" DIA. SDR-35 DRAIN LINE. PROVIDE 1/8" PER FT. MINIMUM SLOPE. DISCHARGE INTO NEW CONCRETE CULVERT. CONTRACTOR TO PULL SO-19 PERMIT. SEE NOTE THIS SHEET.
16. PROVIDE NEW CONCRETE CULVERT PER COA STANDARDS. SEE DETAILS THIS SHEET.

GENERAL NOTES:

1. PLACING OF DRAIN THRU EXIST. SIDEWALK AND CURB & GUTTER REQUIRES THAT ENTIRE SIDEWALK AND C & G STONES BE REMOVED AND REPLACED AS DETAILED HEREIN.
2. BOTTOM SLAB OF CULVERT SHALL BE POURED MONOLITHICALLY WITH NEW GUTTER.
3. THE INVERT SHALL BE TROWELED TO PRODUCE A HARD POLISHED SURFACE OF MAX DENSITY AND SMOOTHNESS. INVERT SHALL BE V-SHAPED TO WITHIN 3" OF OUTLET, THEN WARPED TO PARALLEL FLOWLINE AT OUTLET, UNLESS OTHERWISE SHOWN.
4. ALL EXPOSED CONC. SURFACE SHALL MATCH GRADE, COLOR, FINISH AND SCORING OF ADJACENT CURB AND SIDEWALK.
5. SIDEWALK REPLACED DURING CONSTRUCTION SHALL BE POURED MONOLITHICALLY WITH CULVERT WALLS.
6. IF ROD ANCHORS ARE USED, DRILL & TAP FOR F.H. MACHINE SCREW. ATTACH ANCHORS TO PLATE AND SECURE PLATE IN PLACE PRIOR TO POURING OF WALLS.
7. LENGTH OF EACH PLATE SHALL BE SUCH THAT THE WEIGHT WILL NOT EXCEED 300 LBS. AND SHALL BE STRESS RELIEVED AFTER FABRICATION. CLEAN SURFACE OF PLATE AND FRAMING MEMBERS AND PAINT W/ ONE SHOP COAT RED OXIDE AND TWO FINISH COATS ALUMINUM PAINT (AASHTO M 69).
8. THE CITY WILL NOT ASSUME RESPONSIBILITY FOR MAINTENANCE OF ANY SIDEWALK CULVERT INSTALLED BY OR FOR PRIVATE PROPERTY OWNERS.

CONSTRUCTION NOTES:

- A. MATCH NEAREST CONTROL JOINT, INSTALL 1/2" EXPANSION JOINT.
- B. EDGE OF SIDEWALK OR SETBACK (VARIABLE).
- C. 3" RADIUS (TYPICAL).
- D. 3/8" CHECKERED STEEL PLATE (PAINT PER NOTE 7, ABOVE).
- E. FOR SECURING PLATE USE 1"x 5" S.S. ROD ANCHOR, *RED HEAD MULTI-SET II SRN-38 ANCHOR* OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S INSTRUCTIONS AT MAX. 24" O.C., A MINIMUM OF 2 PER SIDE AND ONE WITHIN 6" OF EACH END.
- F. CONSTRUCTION JOINT IS OPTIONAL. IF USED, SPACE DOWELS AT 18" O.C. MAX., 1 1/2" MINIMUM FROM FACE OF CONCRETE.
- G. 3/8" - 16 x 1 1/4" COUNTERSUNK, F.N., STAINLESS STEEL, MACHINE SCREW.
- H. SLOPE 1/4" PER FT. MIN.
- I. DRAIN WIDTH PER PLAN (12" MIN., 24" MAX.).



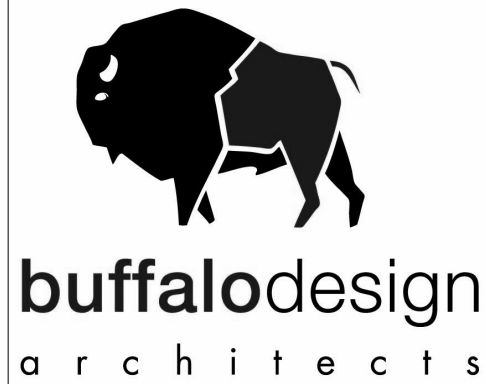
REVISIONS	
NO.	DESCRIPTION
1	DRAINAGE SIDEWALK CULVERT WITH STEEL PLATE TOP DWG. 2236
2	REVISED FOR SO-19 PLAN

B

A

MODIFIED DRAINAGE PLAN

1" = 20'-0"



1113 rhode island st ne
albuquerque, nm 87110

SEAL



PROJECT

FIRST NATIONS COMMUNITY HEALTHSOURCE
HEALTH INFRASTRUCTURE
IMPROVEMENT PROJECT

5608 ZUNI SE, ALBUQUERQUE, NM 87108

REVISIONS	DATE	DESCRIPTION	POND & REVIEW COMMENTS
1	1/17/18		
2	3/12/18	CORRECTION TO WATER LINE	
3	5/09/18	CIVIL CHANGES	
4	6/20/18	SUPPLY AIR MAIN CHANGES	
5	8/22/18	ONELINE CHANGES	
7	11/14/18	AS-BUILT CIVIL CHANGES	

CLIENT PROJ #:
ARCHT PROJ #:
DRAWN BY:
CHECKED BY:
DATE: 04/25/2019

SHEET TITLE
REVISED FOR SO-19
PLAN

C-100A