

# CITY OF ALBUQUERQUE

Planning Department  
David Campbell, Director



Mayor Timothy M. Keller

March 7, 2019

Robert Quintana  
QA Engineering  
4700 Lincoln Rd.  
Albuquerque, NM 87109

RE: **1<sup>st</sup> Nations Community Healthsource (Bldgs A &B)**  
**5608 Zuni SE**  
**Request for Certificate of Occupancy – Temporary**  
**Hydrology Inspection - Approved**  
**Grading and Drainage Plan Stamp Date: 1/17/18**  
**Certification Dated: 3/5/19**  
**Drainage File: L18D047**

Dear Mr. Quintana:

Based on the submittal received on 3/6/19, this certification is approved in support of Temporary Certificate of Occupancy by Hydrology for Bldg A (2017-43088) and Bldg B (2017-44384). A separate Engineer's Certification will be required for Bldg C (2018-23549).

Prior to Permanent Certificate of Occupancy:

1. Provide an outfall to the ROW for the storm water pond to keep it from backing up and ponding in the south portion of the parking lot. Hydrology recommends a drain line or channel behind the dumpster pad with drain line through the curb to Palomas (Std Dwg 2225- requires an SO-19 Permit) or an asphalt cut with new valley gutter across the parking lot and out the drive entrance.
2. A new Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required once the corrective measure is taken.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

C: Email Fox, Debi; Tena, Victoria; Sandoval, Darlene; Costilla, Michelle



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** First Nations Community Healthsource **Bldg "A":** BP-2017-43088 **Bldg "B":** BP-2017-44384 **Hydrology File #:** L18D047  
**DRB#:** N/A **EPC#:** N/A **Work Order#:** \_\_\_\_\_  
**Legal Description:** Lot A-1-A, Block 6 Hollingberry's Replat Baron Burg heights Addition  
**City Address:** 5608 Zuni Road SE, Albuquerque, NM 87108

**Applicant:** QA Engineering **Contact:** Robert Quintana  
**Address:** 4700 Lincoln Road, Albuquerque, NM 87109  
**Phone#:** 505-338-7092 **Fax#:** N/A **E-mail:** robert@qaengineering.com

**Other Contact:** N/A **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

**DEPARTMENT** \_\_\_\_\_ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION  
\_\_\_\_ PAD CERTIFICATION  
\_\_\_\_ CONCEPTUAL G & D PLAN  
\_\_\_\_ GRADING PLAN  
\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_ STREET LIGHT LAYOUT  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** March 5, 2019 **By:** Not a staff

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



First Nations Dental Clinic Addition			
First Flush Calculations:			
V=A*FF			
Area (Ft <sup>2</sup> )	First Flush (In)	Pond Size (Ft <sup>3</sup> )	
2534	0.26	55	
Permiable Areas:			
Existing Area (Ft <sup>2</sup> ):		2297	
New Area(Ft <sup>2</sup> ):		3040	
Permiable Area Added (Ft <sup>2</sup> ):		734	
Impervious Areas:			
Existing Area (Ft <sup>2</sup> ):		27662	
New Area(Ft <sup>2</sup> ):		27251	
Impervious Area Reduced (Ft <sup>2</sup> ):		411	

V = Pond Volume (Ft<sup>3</sup>)

A = Impervious Area of First Flush (Ft<sup>2</sup>)

FF = First Flush (In)

First Nations Dental Clinic Addition			
French Drain Volume Calculations			
V=(H*L*W)*0.30			
Volume (Ft <sup>3</sup> )	Height (Ft)	Length (Ft)	Width (Ft)
26.25	3.5	5	5
26.25	3.5	5	5
26.25	3.5	5	5
78.75	Total Volume		

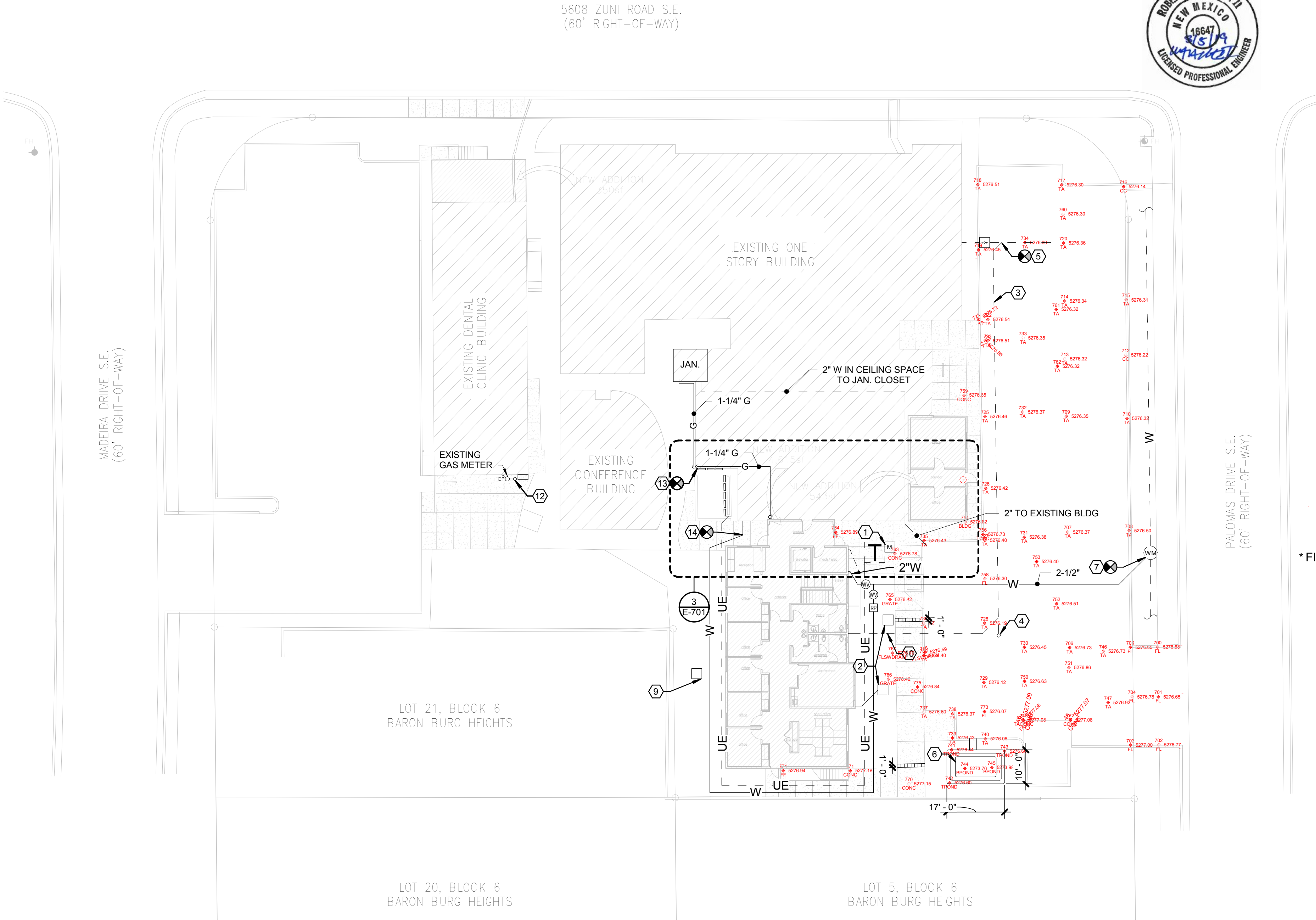
DRAINAGE CERTIFICATION

I, ROBERT A. QUINTANA II, NMPE 16647 OF THE FIRM QA ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 1/17/18. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ANDREW MEDINA, NMPS 12649, OF THE FIRM SANDIA LAND SURVEYING LLC. I FURTHER CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 2/28/19 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. IT SHOULD BE NOTED THAT THE ENTIRE EAST PARKING LOT HAS BEEN REPAVED IN ADDITION TO THE APPROVED GRADING PLAN SUBMITTED. INCLUDED IN THIS CERTIFICATION IS THE ADDITIONAL CACLULATION SHOWING ADIQUEATE VOLUME OF THE RETENTION POND TO ACCOMDATED ADDITIONAL FIRST FLSUH REQUIREMENTS. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANC (PERMANENT C.O.).

THE RECORD INFORMATION PRESENTED HERON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



First Nations Dental Clinic Addition				
Clinic First Flush Calculations: With Eastside Parking Lot Paved and As-built Retention Pond			V = Pond Volume (Ft <sup>3</sup> )	
V=A*FF			A = Impervious Area of Fist Flush (Ft <sup>2</sup> )	
FF = First Flush (In)				
Submission	Area (Ft <sup>2</sup> )	First Flush (In)	Pond Size (Ft <sup>3</sup> )	
Original Pond Requirement	2534	0.26	55	
Revised Pond Requirement	8350	0.26	181	
Acutal As-built Pond Size			362	



LEGEND

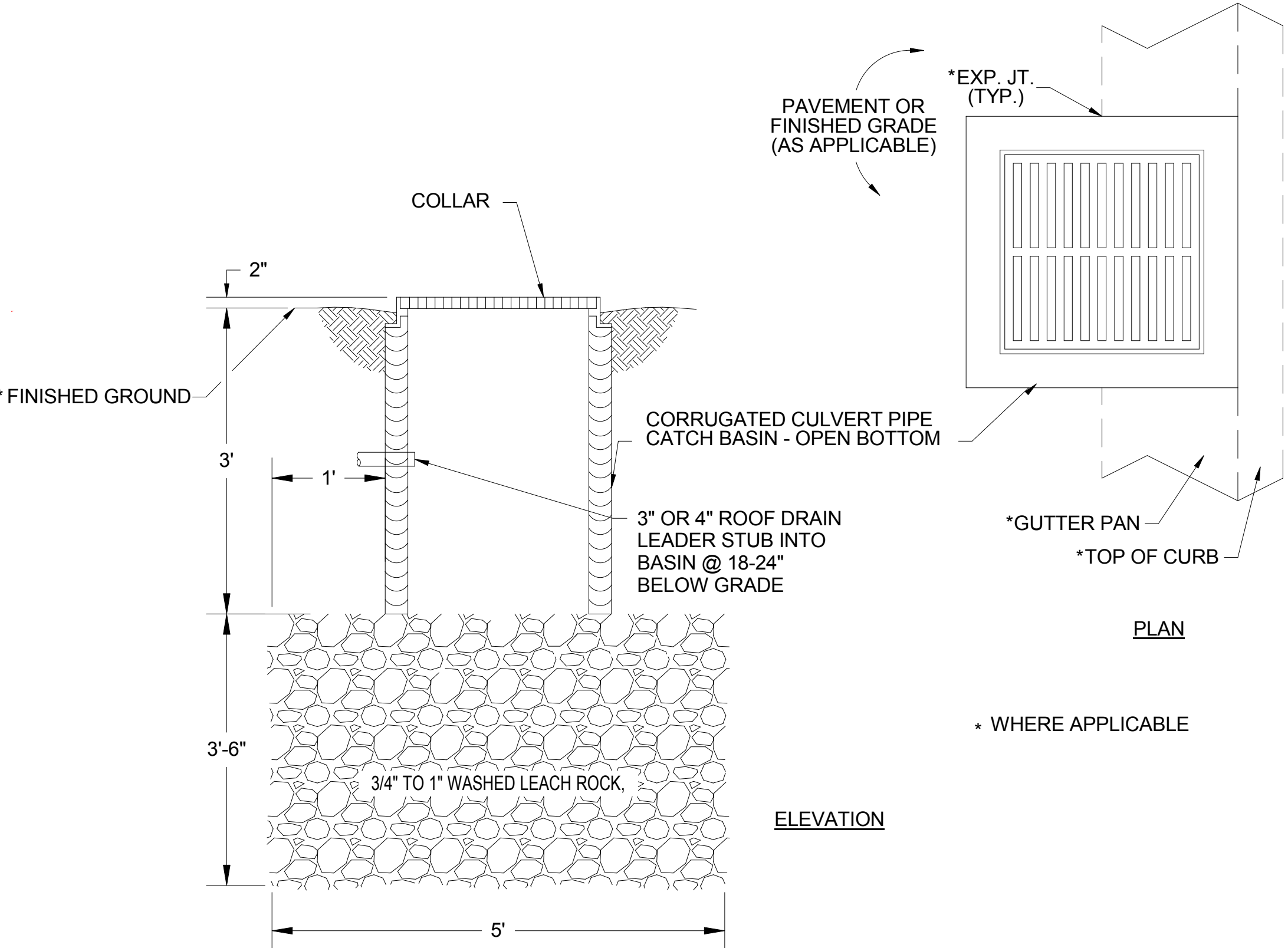
- UE --- EXISTING UNDERGROUND ELECTRIC
- ⊗ POINT OF CONNECTION
- TBC TOP BACK OF CURB
- FL FLOW LINE
- TC TOP OF CONCRETE
- TA TOP OF ASPHALT
- TG TOP OF GRATE
- FF FINISH FLOOR
- WM EXISTING WATER METER
- WV WATER VALVE

GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND PROVIDING ALL WORK INDICATED ON THE DRAWINGS, THIS CONSISTS OF FURNISHING ALL LABOR, EQUIPMENT, SUPPLIES, AND MATERIALS IN ADDITION TO PERFORMING ALL OPERATIONS.
- PERFORM ALL WORK IN A NEAT AND WORKMANLIKE MANNER IN FULL COMPLIANCE WITH ALL APPLICABLE CODES. ALL LOCAL AND STATE REQUIREMENTS SHALL BE OBSERVED DURING THE PERFORMANCE OF THIS WORK.
- CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER OF ANY AND ALL DISCREPANCIES FOUND BETWEEN CONTRACT DOCUMENTS AND/OR LEGAL OR SAFETY REQUIREMENTS.
- CONTRACTOR SHALL FOLLOW ALL MANUFACTURER RECOMMENDED INSTALLATION GUIDELINES.
- CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR SHALL FIELD VERIFY UTILITY LOCATIONS AND DEPTHS PRIOR TO CONSTRUCTION.

KEYED NOTES

- EXISTING 150kVA, 208Y/120V TRANSFORMER AND METER. ROUTE NEW UNDERGROUND.
- EXISTING STORM DRAIN INLET WITH FRENCH DRAIN. SEE DETAIL 1 ON THIS SHEET, C-100.
- NEW 4" SANITARY SEWER.
- NEW GRADE CLEANOUT.
- POINT OF CONNECTION. NEW TO EXISTING SANITARY SEWER. COORDINATE INVERT DEPTH AND TIE-IN ELEVATION PRIOR TO INSTALLING SANITARY SEWER LINE.
- CURB CUT AND CONCRETE APPRON.
- NEW 2-1/2" WATER LINE AND ROUTE AS SHOWN.
- NOT USED.
- NEW STORM DRAIN INLET WITH FRENCH DRAIN. SEE DETAIL 1 ON THIS SHEET, C-100. SLOPE FINISHED LANDSCAPE AROUND INLET TO DRAIN INTO INLET.
- NOT USED.
- NEW 80R<sup>3</sup> DRAINAGE POND. MATERIAL TO MATCH SURROUNDING LANDSCAPE.
- EXISTING 1-1/4" GAS FEED TO MAIN BUILDING FROM EXISTING GAS METER AND REGULATOR ASSEMBLY.
- TIE INTO EXISTING GAS LINE AT MANIFOLD WITH A 1-1/4" TEE AND PLUG VALVE. ROUTE 1-1/4" SCH. 40 BLACK STEEL TO NEW 2-STORY ADDITION ROOF. SEE ME-201.
- TIE INTO EXISTING WATER LINE ENTERING EXISTING ONE STORY BUILDING.



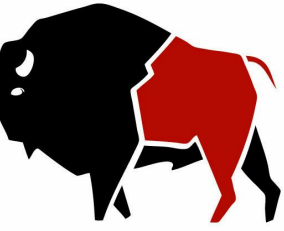
SITE UTILITIES PLAN

1" = 20'-0"

1 BUBBLER BASIN

C-100

N.T.S.



1113 rhode island st ne  
albuquerque, nm 87110

SEAL



PROJECT

FIRST NATIONS COMMUNITY HEALTHSOURCE  
HEALTH INFRASTRUCTURE  
IMPROVEMENT PROJECT

5608 ZUNI SE, ALBUQUERQUE, NM 87108

REVISIONS		DESCRIPTION
M/K	DATE	POND & REVIEW COMMENTS
1	1/17/18	
2	3/12/18	CORRECTION TO WATER LINE
3	5/09/18	CIVIL CHANGES
4	6/20/18	SUPPLY AIR MAIN CHANGES
5	8/22/18	ONELINE CHANGES
7	11/14/18	AS-BUILT CIVIL CHANGES

CLIENT PROJ #:	
ARCHT PROJ #:	
DRAWN BY:	
CHECKED BY:	
DATE	03/05/2019
SHEET TITLE	SITE UTILITIES PLAN

C-100