

CITY OF ALBUQUERQUE



August 10, 2017

Buffalo design, LLC
John Tansey
1113 Rhode Island NE
Albuquerque, NM 87110

Re: 1st Nations Community Health Source
5608 Zuni RD SE
Traffic Circulation Layout
Architect's Stamp 07-21-17 (L18-D047)

Dear Mr. Tansey,

The TCL submittal received 07-28-17 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Logan Patz
Senior Engineer, Planning Dept.
Development Review Services

mao via: email
C: , File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

First Nations

Project Title: Community Healthsource Building Permit #: _____ Hydrology File #: L18D047
DRB#: N/A EPC#: N/A Work Order#: _____
Legal Description: Lot A-1-A, Block 6 Hollingberry's Replat Baron Burg heights Addition
City Address: 5608 Zuni Road SE, Albuquerque, NM 87108

Applicant: Buffalo Design Architects Contact: Mike Salvador
Address: 1113 Rhode Island NE, Albuquerque, NM 87110
Phone#: 505-492-0405 Fax#: N/A E-mail: msalvador@bd-llc.com

Other Contact: N/A Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

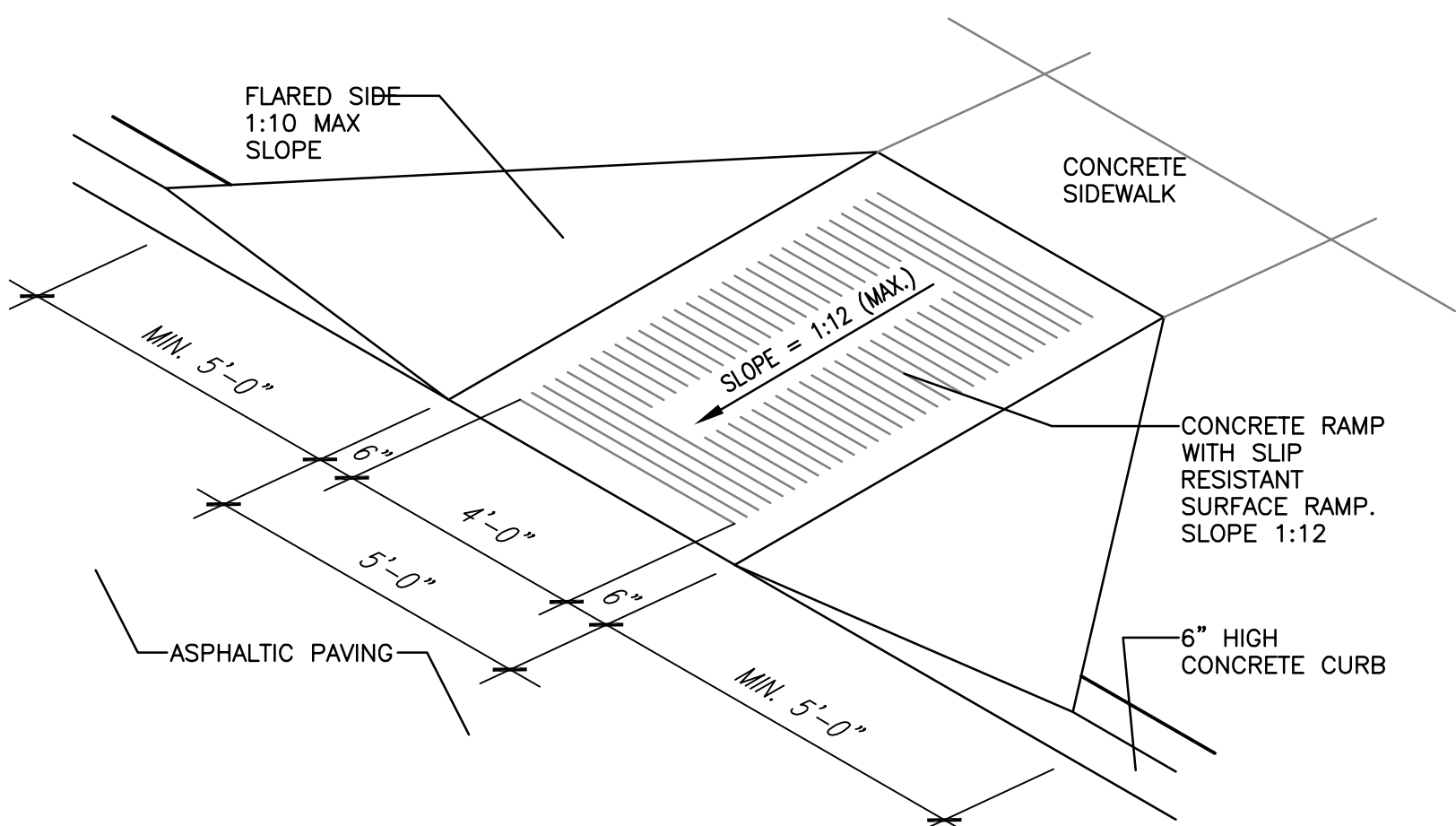
PRE-DESIGN MEETING?

☐ OTHER (SPECIFY) _____

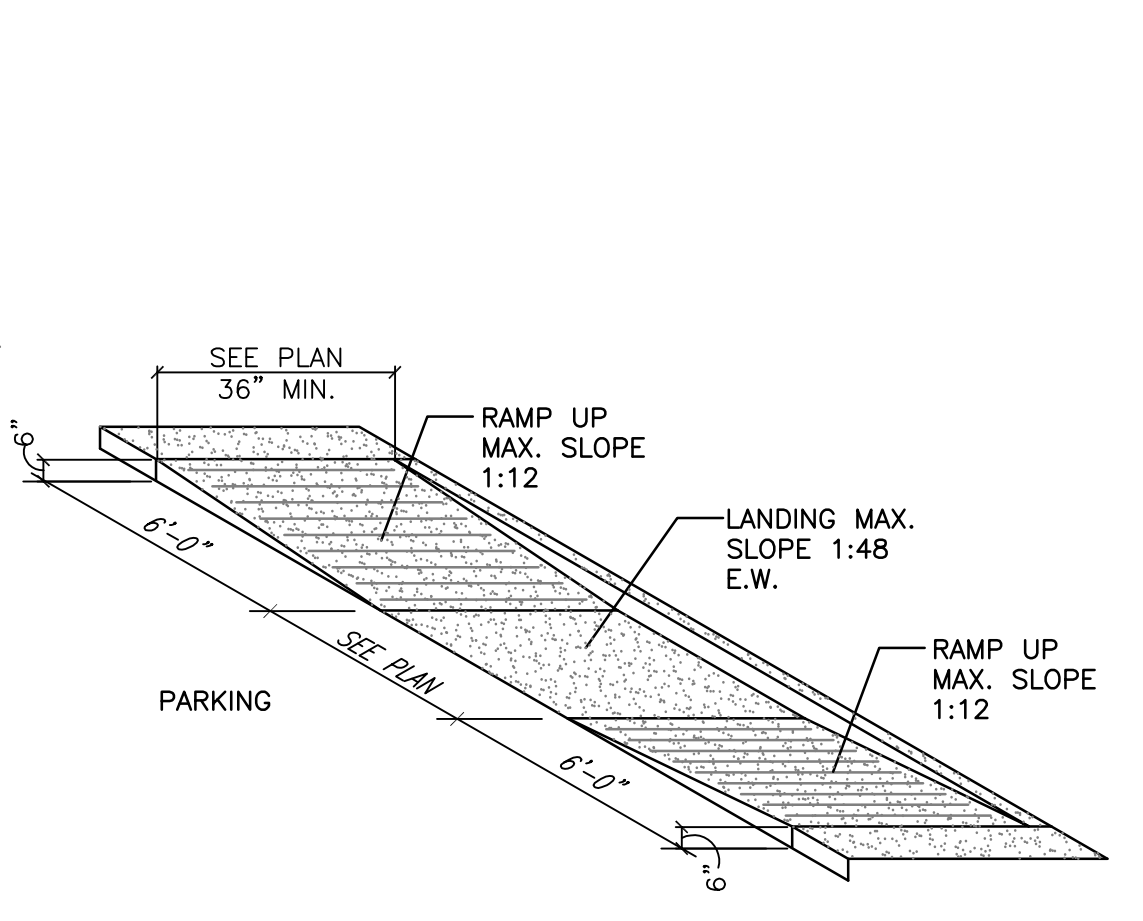
IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: July 28, 2017 By: Mike Salvador (Buffalo Design)

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



D1 H.C RAMP DETAIL-TYPE A
SCALE: ISOMETRIC-NOT TO SCALE



D2 H.C RAMP DETAIL-TYPE B
SCALE: ISOMETRIC-NOT TO SCALE

GENERAL NOTES

- A. PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- B. LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- C. ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
- D. SIGNAGE AND FENCE CONSTRUCTION ARE UNDER SEPARATE PERMIT.

SITE LIGHTING GENERAL NOTES:

- A. THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
- B. LIGHTING TO BE PROVIDED ON COMMERCIAL BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.
- C. SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED.

TRAFFIC CIRCULATION
LAYOUT APPROVED

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

KEYED NOTES

- 1. NEW CONCRETE CURB TO BE CONSTRUCTED TO COA STANDARDS (STD. DWG. 2415A).
- 2. NEW CONCRETE SIDEWALK TO BE CONSTRUCTED TO COA STANDARDS (STD. DWG. 2430).
- 3. NEW ASPHALT PAVING.
- 4. NEW LANDSCAPE AREA.
- 5. EXISTING CITY OF ALBUQUERQUE SIDEWALK WITH EXISTING HANDICAP RAMPS TO REMAIN.
- 6. RELOCATED TRANSFORMER.
- 7. EXISTING CURB CUT TO REMAIN AS IS.
- 8. EXISTING DUMPSTER LOCATION TO REMAIN.
- 9. BICYCLE RACK.
- 10. NOT USED.
- 11. EXISTING FIRE HYDRANT.
- 12. PAINTED HANDICAP ACCESS AISLE STRIPING WITH 12" HIGH PAINTED LETTERING "NO PARKING" PER 66-1-4.1.B NMSA 1978.
- 13. EXISTING DUMPSTER CONCRETE PAD TO REMAIN.
- 14. EXISTING EQUIPMENT TO REMAIN.
- 15. EXISTING SCREEN WALL TO REMAIN.
- 16. EXISTING CURB CUT TO BE CLOSED/REMOVED. REFER TO KEYED NOTES 1 AND 2.
- 17. NEW HANDICAP PAVEMENT SYMBOL TO BE PAINTED BLUE, INTERNATIONAL SYMBOL OF ACCESSIBILITY PER 66-1-4.1.E NMSA 1978.
- 18. EXISTING CONCRETE CURB TO REMAIN.
- 19. EXISTING 6" HIGH WALL TO REMAIN.
- 20. FILL IN CONCRETE FLAT WORK AS SHOWN TO MATCH EXISTING FINISH ELEVATION.
- 21. FILL IN EXISTING CONCRETE RAMP TO MATCH SURROUNDING CONCRETE FINISH ELEVATION.
- 22. NEW CONCRETE HC RAMP. REFER TO DETAILS D1 & D2/AS-101.
- 23. EXISTING CULVERT TO REMAIN.
- 24. NEW PARKING SPACE STRIPING.
- 25. EXISTING FENCING TO REMAIN.
- 26. EXISTING STAIRS TO REMAIN.
- 27. EXISTING CONCRETE FLATWORK TO REMAIN.
- 28. EXISTING CONCRETE SIDEWALK TO REMAIN.
- 29. INFILL AREA TO BRING UP LANDSCAPE ELEVATION TO MATCH ADJACENT AREA.
- 30. EXISTING LANDSCAPE AREA.
- 31. NEW POLE MOUNTED ACCESSIBLE PARKING SIGNAGE "VAN" WHERE NOTED. SIGN TO BE NOTED PER 66-7-352.4C NMSA 1978. "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING".
- 32. NEW EGRESS STAIR FOR NEW ADDITION. REFER TO ARCHITECTURAL.
- 33. 6' WIDE ADA ACCESSIBLE PATHWAY.

SITE DEVELOPMENT DATA

LEGAL DESCRIPTION:
LOT A-1-A, BLOCK 6
HOLLINGBERRY'S REPLAT OF BARON BURG HEIGHTS ADDITION
CITY OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO

EXISTING BUILDING ADDRESS:
5608 ZUNI ROAD, SE.
ALBUQUERQUE, NEW MEXICO 87108

LAND AREA:
1.0764 ACRES (46,888 SQ. FT.)

BUILDING AREAS:
EXISTING BUILDINGS 13,299 SF.
PROPOSED BUILDING ADDITIONS 5,935 SF.
TOTAL BUILDING BUILDING AREA 19,234 SF.

ZONE ATLAS PAGE:
L-18-Z

NEIGHBORHOOD ASSOCIATION: SOUTH SAN PEDRO

SECTOR PLANS: NONE

COMPREHENSIVE PLANS: NONE

AREA PLANS: NONE

METROPOLITAN REDEVELOPMENT PLAN: NEAR HEIGHTS

CURRENT ZONING:
CITY OF ALBUQUERQUE (COA) COMPREHENSIVE ZONING CODE: C-1
REQUIREMENTS (NEIGHBORHOOD COMMERCIAL ZONE)
14-16-2-16:
A. PERMISSIVE USES
3. OFFICE
10. SERVICES
K. MEDICAL/DENTAL

SIGNAGE:
ALL SIGNAGE SHALL COMPLY WITH THE C-1 COMMERCIAL ZONE
14-16-2-16

BUILDING HEIGHT: = 26' MAXIMUM BUILDING HEIGHT
STRUCTURE HEIGHT SHALL CONFORM TO THE COA COMPREHENSIVE
ZONING CODE: C-1 REQUIREMENTS (14-16-2-16 (C)).

MINIMUM BUILDING SETBACKS:
COA COMPREHENSIVE ZONING CODE: C-1 REQUIREMENTS
14-16-2-15 (E).

FRONT = 5' PER COA
SIDE = 5' PER COA
REAR = 5' PER COA

PARKING CALCULATIONS:
COA COMPREHENSIVE ZONING CODE: C-1 REQUIREMENTS
14-16-3-1:

A.18 MEDICAL OR DENTAL OFFICE, CLINIC: FIVE SPACES PER DOCTOR:
=35 SPACES
A.21 OFFICES: ONE SPACE PER 200 SF GROUND FLOOR:
=1,134 sf / 200 = 6 SPACES REQUIRED
A.21 OFFICES: ONE SPACE PER 300 SF ABOVE GROUND FLOOR:
=1,255 sf / 300 = 5 SPACES REQUIRED
TOTAL REQUIRED = 46 SPACES

PARKING REDUCTIONS:
THE PARKING REQUIREMENT OF A BUILDING OR USE SHALL BE REDUCED
10% (46-4=42) IF IT IS WITHIN 300' OF A REGULAR ALBUQUERQUE
TRANSIT SYSTEM ROUTE.

TOTAL REQUIRED = 42 SPACES
INCLUDING:
=2 MOTORCYCLE SPACES
=3 ADA SPACES
=3 BICYCLE SPACES

TOTAL PROVIDED = 45 OFF-STREET SPACES
INCLUDING:
=4 ADA SPACES
=3 BICYCLE SPACES
=5 MOTORCYCLE SPACES

LANDSCAPE BUFFERS:
COA COMPREHENSIVE ZONING CODE: C-1 REQUIREMENTS
14-16-3-10(E)

FRONT = 10' PER COA
SIDE = 6' PER COA

1113 rhode island ne suite c
albuquerque, nm 87110

SEAL

STATE OF NEW MEXICO
JOHN R. TANSEY
No. 1001
ALBUQUERQUE, NM
REGISTERED ARCHITECT

7/28/2017

PROJECT

**FIRST NATIONS
COMMUNITY HEALTH SOURCE**

MEDICAL OFFICE BUILDING, DENTAL AND OFFICE ADDITIONS

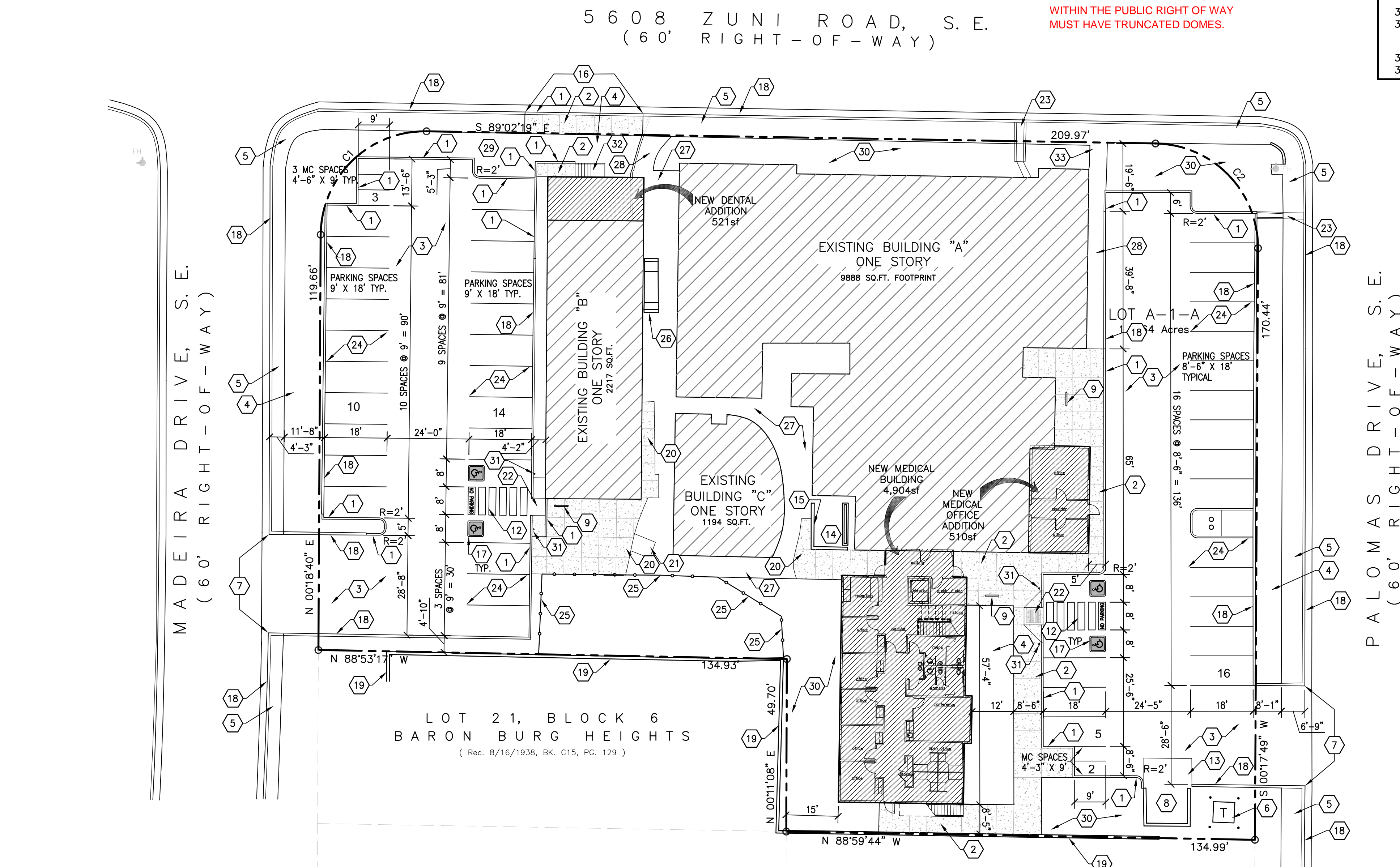
5608 ZUNI ROAD SE.
CITY OF ALBUQUERQUE, NEW MEXICO 87108

REVISIONS	DESCRIPTION	
	DATE	
1	0	

CLIENT PROJ #:
ARCHT PROJ #: A16.08
DRAWN BY: MAG/MSH
CHECKED BY: MAG
DATE July 21, 2017

SHEET TITLE
**ARCHITECTURAL
SITE PLAN FOR
TRAFFIC CIRCULATION
LAYOUT**

AS-TCL



A1 ARCHITECTURAL SITE PLAN

