

# CITY OF ALBUQUERQUE



April 29, 2019

John Tansey, RA  
Buffalo Design Architects  
10899 Montgomery Blvd 87111  
Albuquerque, NM 87111

**Re: First Nations Community Healthsource, Building C, BP-2019-31804**  
**5608 Zuni Road SE, 87108**  
**30-Day Temporary Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's/Architect's Stamp dated 7-28-17 (L18D047)  
Certification dated 04-25-19

Dear Mr. Tansey,

Based upon the information provided in your submittal received 4-26-19, Transportation Development will issue a 30-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

Albuquerque

1. Please widen ADA walk path even with wheel stop.  
(See attached photo)  
Measurement taken at site measured @ 3 foot 6 inches.

NM 87103

If you have any questions, please contact me at (505) 924-3981.

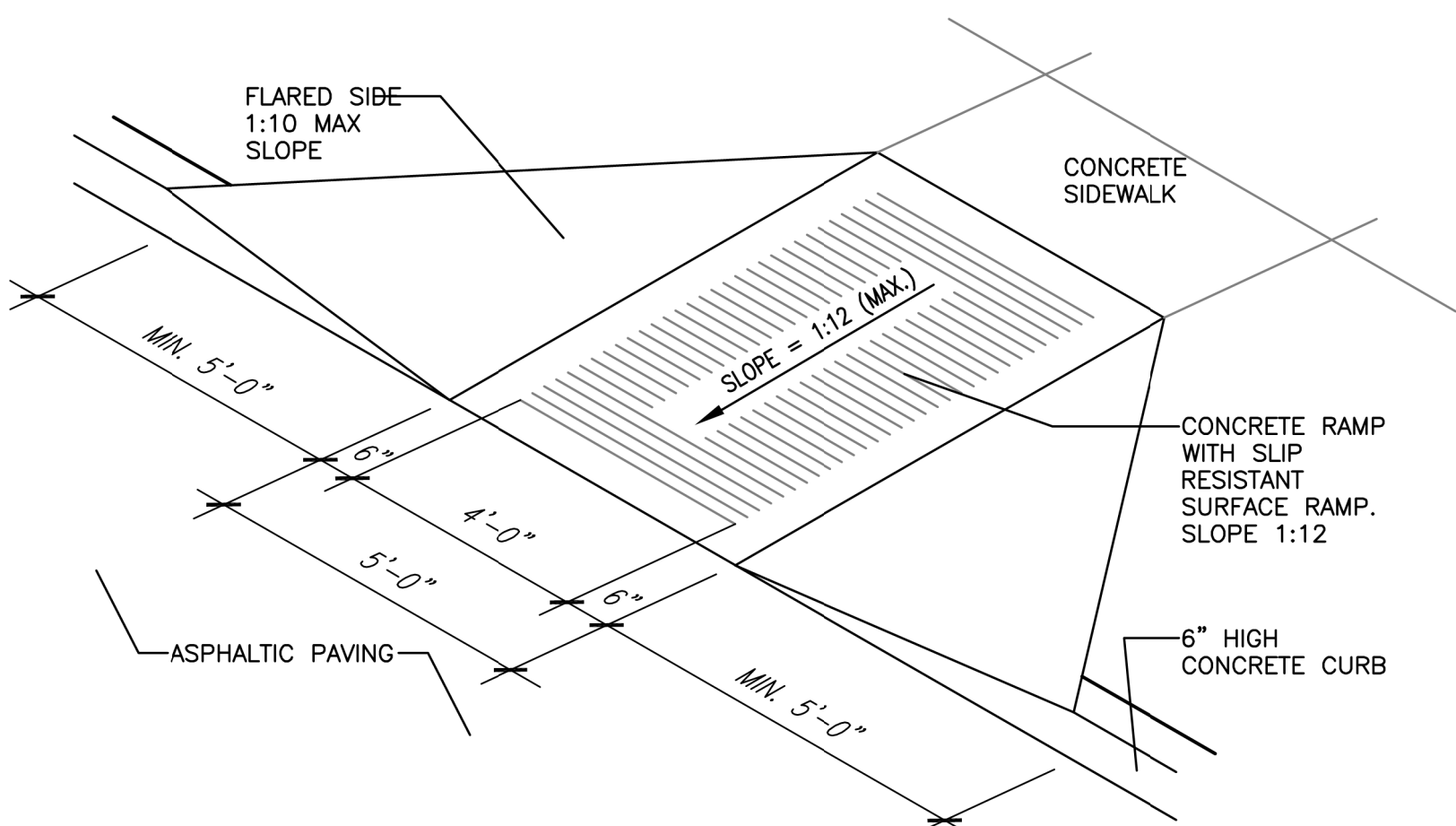
Sincerely,

www.cabq.gov

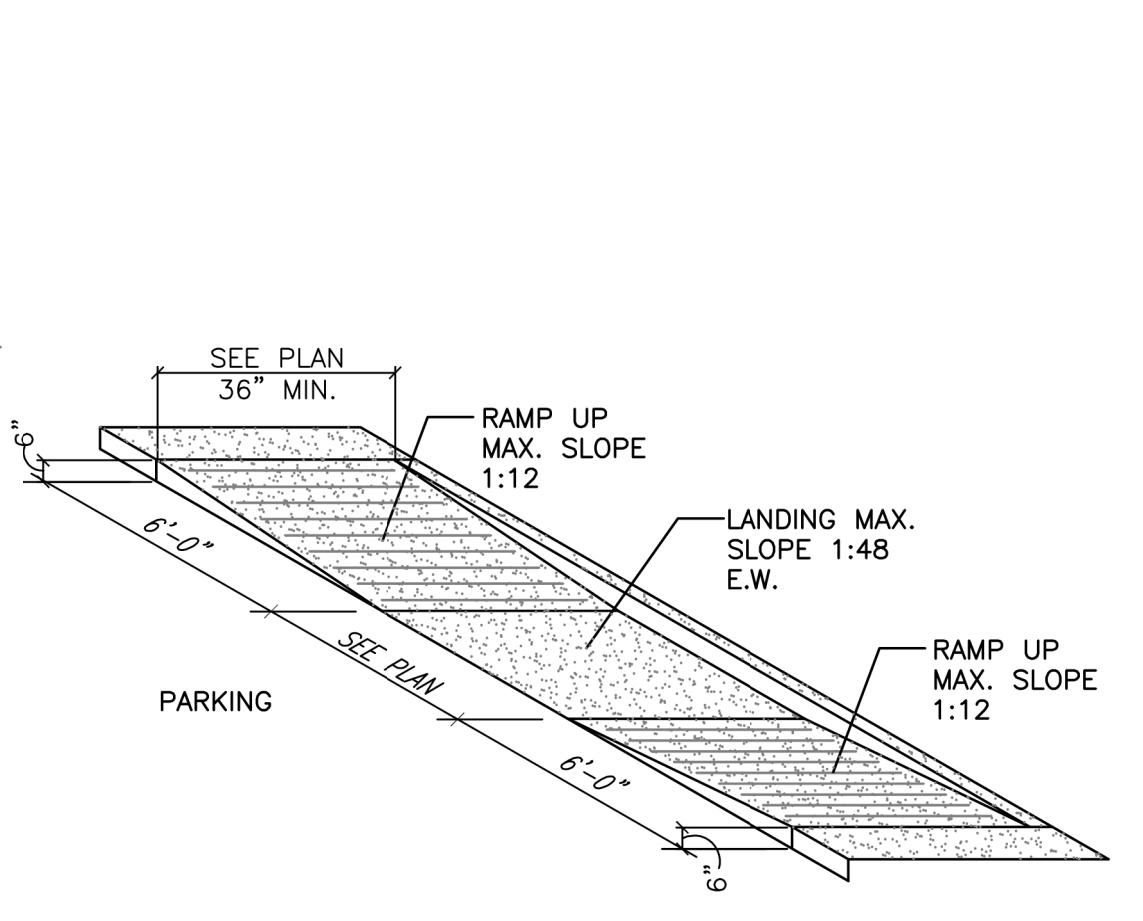
Ernie Gomez  
Plan Checker, Planning Dept.  
Development Review Services

EG via: email  
C: CO Clerk, File





D1 H.C RAMP DETAIL-TYPE A  
SCALE: ISOMETRIC-NOT TO SCALE



D2 H.C RAMP DETAIL-TYPE B  
SCALE: ISOMETRIC-NOT TO SCALE

GENERAL NOTES

- A. PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- B. LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- C. ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
- D. SIGNAGE AND FENCE CONSTRUCTION ARE UNDER SEPARATE PERMIT.

SITE LIGHTING GENERAL NOTES:

- A. THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
- B. LIGHTING TO BE PROVIDED ON COMMERCIAL BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.
- C. SITE LIGHTING SHALL BE FULLY SHIELDED AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED.

KEYED NOTES

- 1. NEW CONCRETE CURB TO BE CONSTRUCTED TO COA STANDARDS (STD. DWG. 2415A).
- 2. NEW CONCRETE SIDEWALK TO BE CONSTRUCTED TO COA STANDARDS (STD. DWG. 2430).
- 3. NEW ASPHALT PAVING.
- 4. NEW LANDSCAPE AREA.
- 5. EXISTING CITY OF ALBUQUERQUE SIDEWALK WITH EXISTING HANDICAP RAMPS TO REMAIN.
- 6. RELOCATED TRANSFORMER.
- 7. EXISTING CURB CUT TO REMAIN AS IS.
- 8. EXISTING DUMPSTER LOCATION TO REMAIN.
- 9. BICYCLE RACK.
- 10. NOT USED.
- 11. EXISTING FIRE HYDRANT.
- 12. PAINTED HANDICAP ACCESS AISLE STRIPING WITH 12" HIGH PAINTED LETTERING "NO PARKING" PER 66-1-4.1.B NMSA 1978.
- 13. EXISTING DUMPSTER CONCRETE PAD TO REMAIN.
- 14. EXISTING EQUIPMENT TO REMAIN.
- 15. EXISTING SCREEN WALL TO REMAIN.
- 16. EXISTING CURB CUT TO BE CLOSED/REMOVED. REFER TO KEYED NOTES 1 AND 2.
- 17. NEW HANDICAP PAVEMENT SYMBOL TO BE PAINTED BLUE. INTERNATIONAL SYMBOL OF ACCESSIBILITY PER 66-1-4.1.E NMSA 1978.
- 18. EXISTING CONCRETE CURB TO REMAIN.
- 19. EXISTING 6" HIGH WALL TO REMAIN.
- 20. FILL IN CONCRETE FLAT WORK AS SHOWN TO MATCH EXISTING FINISH ELEVATION.
- 21. FILL IN EXISTING CONCRETE RAMP TO MATCH SURROUNDING CONCRETE FINISH ELEVATION.
- 22. NEW CONCRETE HC RAMP. REFER TO DETAILS D1 & D2/AS-101.
- 23. EXISTING CULVERT TO REMAIN.
- 24. NEW PARKING SPACE STRIPING.
- 25. EXISTING FENCING TO REMAIN.
- 26. EXISTING STAIRS TO REMAIN.
- 27. EXISTING CONCRETE FLATWORK TO REMAIN.
- 28. EXISTING CONCRETE SIDEWALK TO REMAIN.
- 29. INFILL AREA TO BRING UP LANDSCAPE ELEVATION TO MATCH ADJACENT AREA.
- 30. EXISTING LANDSCAPE AREA.
- 31. NEW POLE MOUNTED ACCESSIBLE PARKING SIGNAGE "VAN" WHERE NOTED. SIGN TO BE NOTED PER 66-7-352.4C NMSA 1978. "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING".
- 32. NEW EGRESS STAIR FOR NEW ADDITION. REFER TO ARCHITECTURAL.
- 33. 6' WIDE ADA ACCESSIBLE PATHWAY.

SITE DEVELOPMENT DATA

**LEGAL DESCRIPTION:**  
LOT A-1-A, BLOCK 6  
HOLLINGBERRY'S REPLAT OF BARON BURG HEIGHTS ADDITION  
CITY OF ALBUQUERQUE,  
BERNALILLO COUNTY, NEW MEXICO

**EXISTING BUILDING ADDRESS:**  
5608 ZUNI ROAD, SE.  
ALBUQUERQUE, NEW MEXICO 87108

**LAND AREA:**  
1.0764 ACRES (46,888 SQ. FT.)

**BUILDING AREAS:**  
EXISTING BUILDINGS 13,299 SF.  
PROPOSED BUILDING ADDITIONS 5,935 SF.  
TOTAL BUILDING BUILDING AREA 19,234 SF.

**ZONE ATLAS PAGE:**  
L-18-Z

**NEIGHBORHOOD ASSOCIATION:** SOUTH SAN PEDRO

**SECTOR PLANS:** NONE

**COMPREHENSIVE PLANS:** NONE

**AREA PLANS:** NONE

**METROPOLITAN REDEVELOPMENT PLAN:** NEAR HEIGHTS

**CURRENT ZONING:**  
CITY OF ALBUQUERQUE (COA) COMPREHENSIVE ZONING CODE: C-1  
REQUIREMENTS (NEIGHBORHOOD COMMERCIAL ZONE)  
14-16-2-16:  
A. PERMISSIVE USES  
3. OFFICE  
10. SERVICES  
K. MEDICAL/DENTAL

**SIGNAGE:**  
ALL SIGNAGE SHALL COMPLY WITH THE C-1 COMMERCIAL ZONE  
14-16-2-16

**BUILDING HEIGHT:** = 26' MAXIMUM BUILDING HEIGHT  
STRUCTURE HEIGHT SHALL CONFORM TO THE COA COMPREHENSIVE  
ZONING CODE: C-1 REQUIREMENTS (14-16-2-16 (C)).

**MINIMUM BUILDING SETBACKS:**  
COA COMPREHENSIVE ZONING CODE: C-1 REQUIREMENTS  
14-16-2-15 (E).

FRONT	= 5' PER COA
SIDE	= 5' PER COA
REAR	= 5' PER COA

**PARKING CALCULATIONS:**  
COA COMPREHENSIVE ZONING CODE: C-1 REQUIREMENTS  
14-16-3-1:

A.18 MEDICAL OR DENTAL OFFICE, CLINIC: FIVE SPACES PER DOCTOR:  
7 DOCTORS MAXIMUM PER FIRST NATIONS:  
=35 SPACES

A.21 OFFICES: ONE SPACE PER 200 SF GROUND FLOOR:  
=1,134 sf / 200 = 6 SPACES REQUIRED

A.21 OFFICES: ONE SPACE PER 300 SF ABOVE GROUND FLOOR:  
=1,255 sf / 300 = 5 SPACES REQUIRED  
TOTAL REQUIRED = 46 SPACES

**PARKING REDUCTIONS:**  
THE PARKING REQUIREMENT OF A BUILDING OR USE SHALL BE REDUCED  
10% (46-4=42) IF IT IS WITHIN 300' OF A REGULAR ALBUQUERQUE  
TRANSIT SYSTEM ROUTE.

TOTAL REQUIRED	=42 SPACES
INCLUDING:	
=2 MOTORCYCLE SPACES	
=3 ADA SPACES	
=3 BICYCLE SPACES	

**TOTAL PROVIDED** = 45 OFF-STREET SPACES

INCLUDING:  
=4 ADA SPACES  
=3 BICYCLE SPACES  
=5 MOTORCYCLE SPACES

**LANDSCAPE BUFFERS:**  
COA COMPREHENSIVE ZONING CODE: C-1 REQUIREMENTS  
14-16-3-10(E)

FRONT	= 10' PER COA
SIDE	= 6' PER COA

TRAFFIC CIRCULATION  
LAYOUT APPROVED

Logan Patz

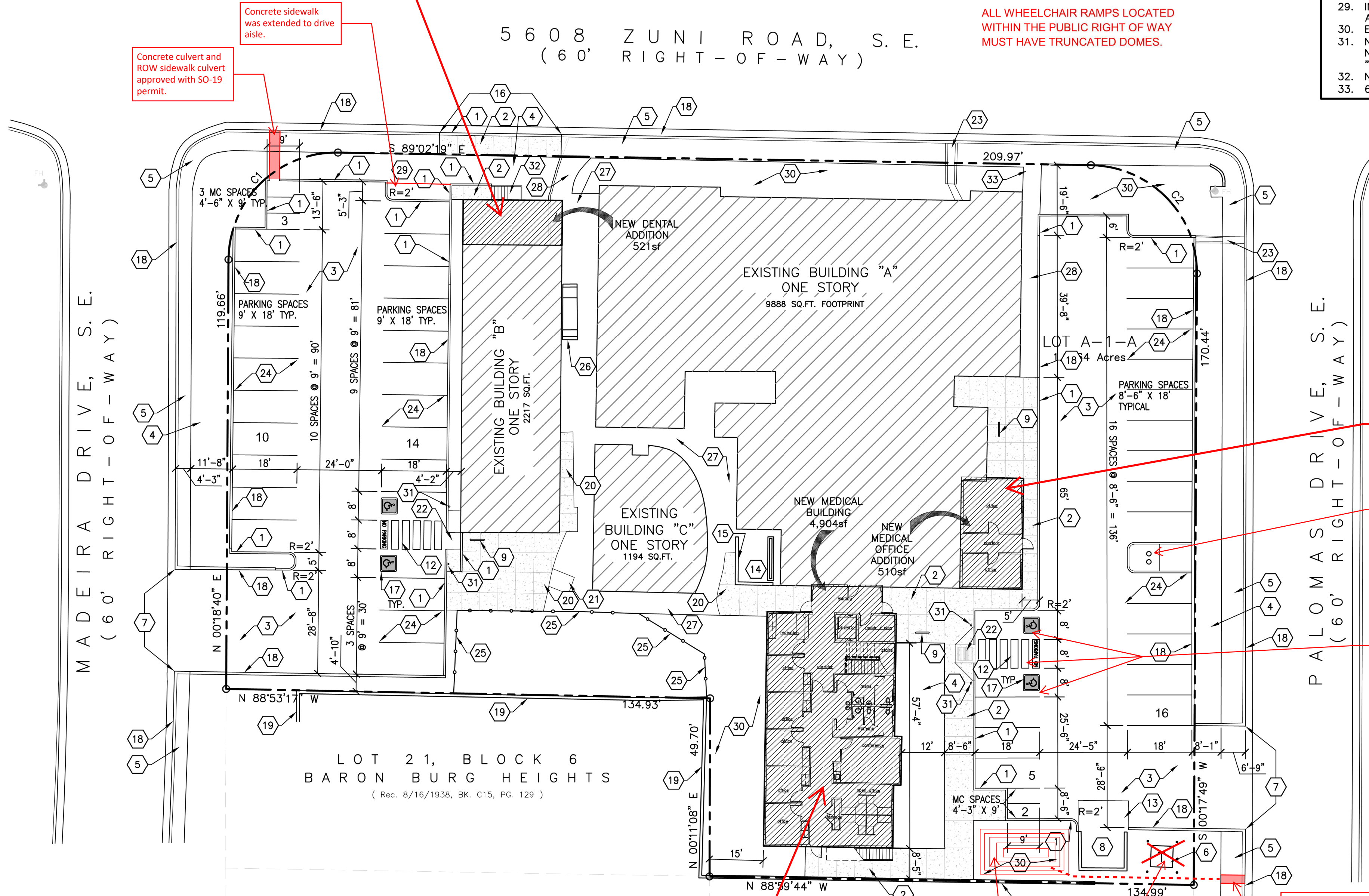
Signed \_\_\_\_\_ Date \_\_\_\_\_

ALL WHEELCHAIR RAMPS LOCATED  
WITHIN THE PUBLIC RIGHT OF WAY  
MUST HAVE TRUNCATED DOMES.

Building "C" Permit No: BP-2018-31804

Building "B" Permit No: BP-2017-44384

Building "A" Permit No: BP-2017-43088



Removed island as building did not  
need sprinklers/ FDC. Additional  
parking space was added.

HC parking spaces and aisle was  
moved one parking spaces south.  
See picture below.

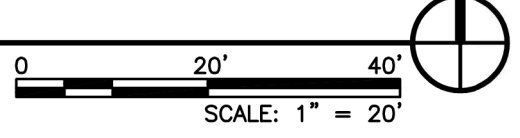


Electrical Transformer  
was not relocated.

Electrical Transformer  
was not relocated.

Below grade  
overflow drainage  
pipe and ROW  
sidewalk culvert  
approved with SO-19  
permit.

A1 ARCHITECTURAL SITE PLAN



VICINITY MAP:



LOCATION MAP:

1113 rhode island ne  
suite a  
albuquerque, nm 87110

SEAL

7/28/2017

PROJECT

**FIRST NATIONS  
COMMUNITY HEALTH SOURCE**

MEDICAL OFFICE BUILDING, DENTAL AND OFFICE ADDITIONS

5608 ZUNI ROAD SE.  
CITY OF ALBUQUERQUE, NEW MEXICO 87108

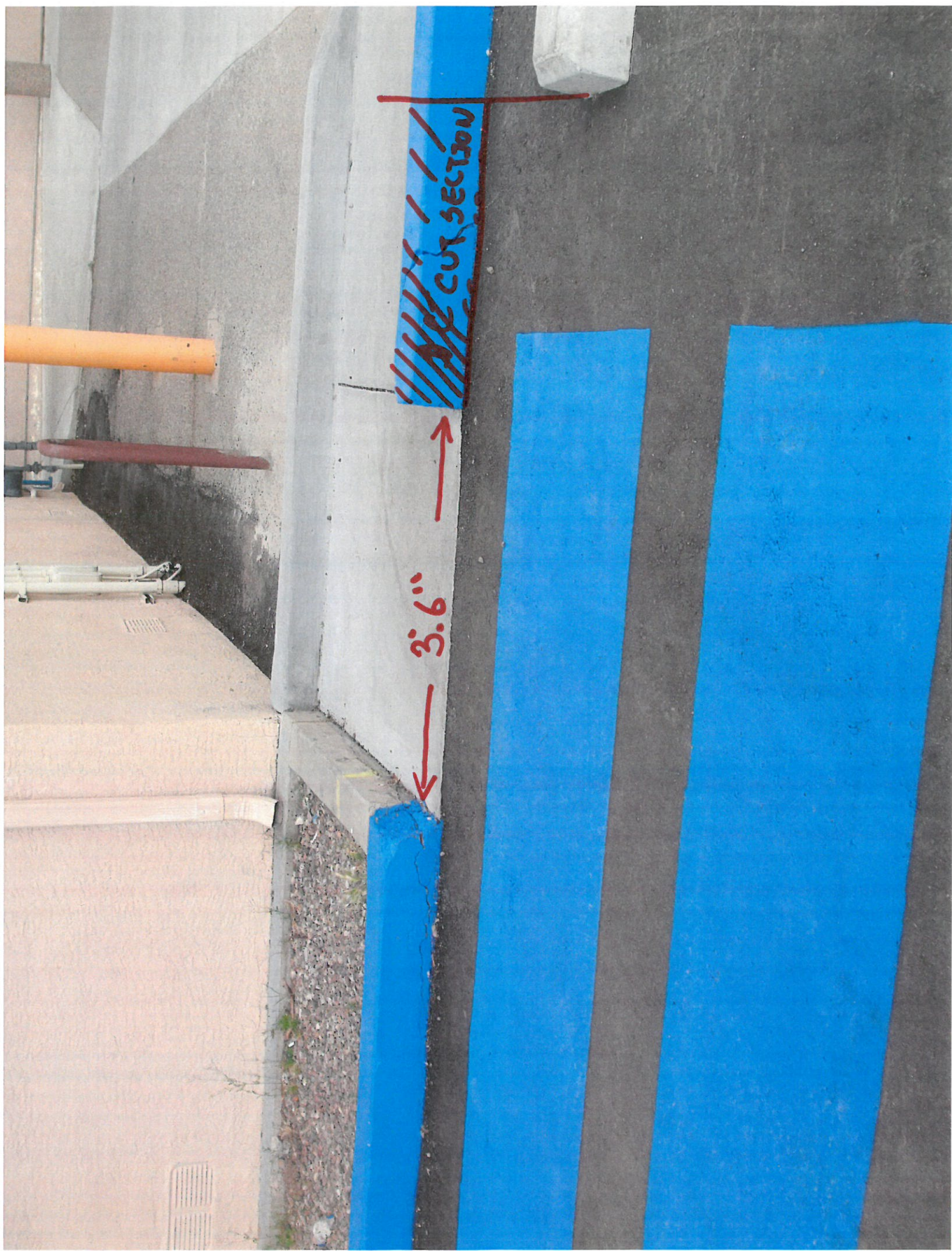
REVISIONS	DESCRIPTION	
	DATE	
1	0	

CLIENT PROJ #:  
ARCHT PROJ #: A16.08  
DRAWN BY: MAG/MSH  
CHECKED BY: MAG  
DATE July 21, 2017

SHEET TITLE  
**ARCHITECTURAL  
SITE PLAN FOR  
TRAFFIC CIRCULATION  
LAYOUT**

**AS-TCL**





3.6"

CUT SECTION



COMMUNITY HEALTHSOURCE  
**DENTAL** 5608 ZUNI S.E.

RESERVED  
PARKING  
VĂN  
ACCESSIBLE

CUT  
SECTION TO  
WIDEN  
NOT  
PATH





April 25, 2019

Transportation Development  
Planning Department  
Development and Building Services Division  
City of Albuquerque  
600 2nd Street NW.  
Albuquerque, NM 87102

Re: **Permanent Certificate of Occupancy for**  
**Dental Addition: Building "C" Permit No.: BP-2018-31804**  
**Address: 5608 Zuni Road, SE, Albuquerque, NM 87108**

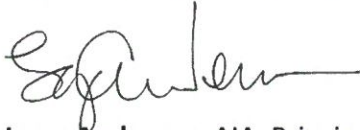
To whom it concerns:

I, Larry Anderson, NMRA of **buffalo design, llc.**, hereby certify that the following project at the address listed above: Dental Addition: **Building "C" Permit No.: BP-2018-31804** is in substantial compliance with and in accordance with the design intent of the Traffic Circulation Layout (TCL) Plan approved August 10, 2017. The attached approved TCL site plan also shows "redlined" the site revisions that were made in reference to the overall site as directed by the transportation department.

I further certify that I have personally visited the project site on April 17, 2019 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Engineer's Certification (TCL approved Site Plan) for Permanent Certificate of Occupancy.

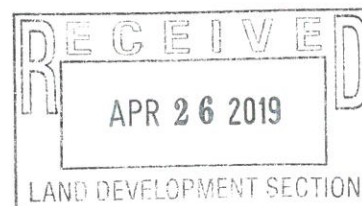
The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Please feel free to contact me if you have any questions.



**Larry Anderson, AIA, Principal**  
buffalo design, llc

Attachments: Approved TCL Site Plan





# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** First Nations Community Healthsource **Bldg "C":** BP-2018-31804 **Hydrology File #:** L18D047  
**DRB#:** N/A **EPC#:** N/A **Work Order#:** \_\_\_\_\_  
**Legal Description:** Lot A-1-A, Block 6 Hollingberry's Replat Baron Burg heights Addition  
**City Address:** 5608 Zuni Road SE, Albuquerque, NM 87108

**Applicant:** Buffalo Design Architects **Contact:** Mike Salvador  
**Address:** 10899 Montgomery Blvd., Albuquerque, NM 87111  
**Phone#:** 505-492-0405 **Fax#:** N/A **E-mail:** msalvador@bd-llc.com

**Other Contact:** N/A **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

**IS THIS A RESUBMITTAL?** \_\_\_\_\_ Yes ☒ No

**DEPARTMENT** ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

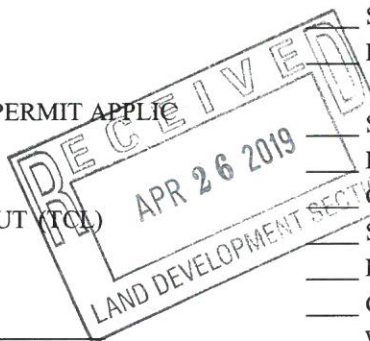
Check all that Apply:

### TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION  
\_\_\_\_ PAD CERTIFICATION  
\_\_\_\_ CONCEPTUAL G & D PLAN  
\_\_\_\_ GRADING PLAN  
\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLICATION  
\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_ STREET LIGHT LAYOUT  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_



**DATE SUBMITTED:** April 25, 2019 **By:** Mike Salvador (Buffalo Design)

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_