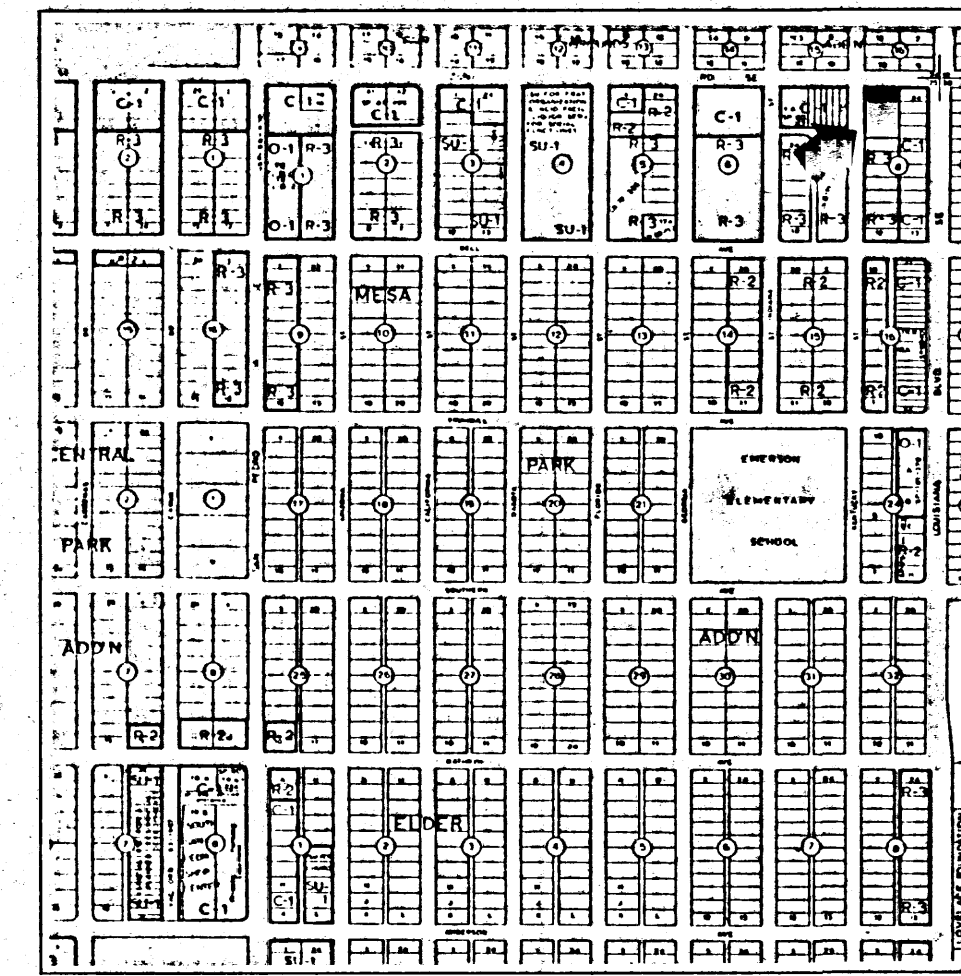
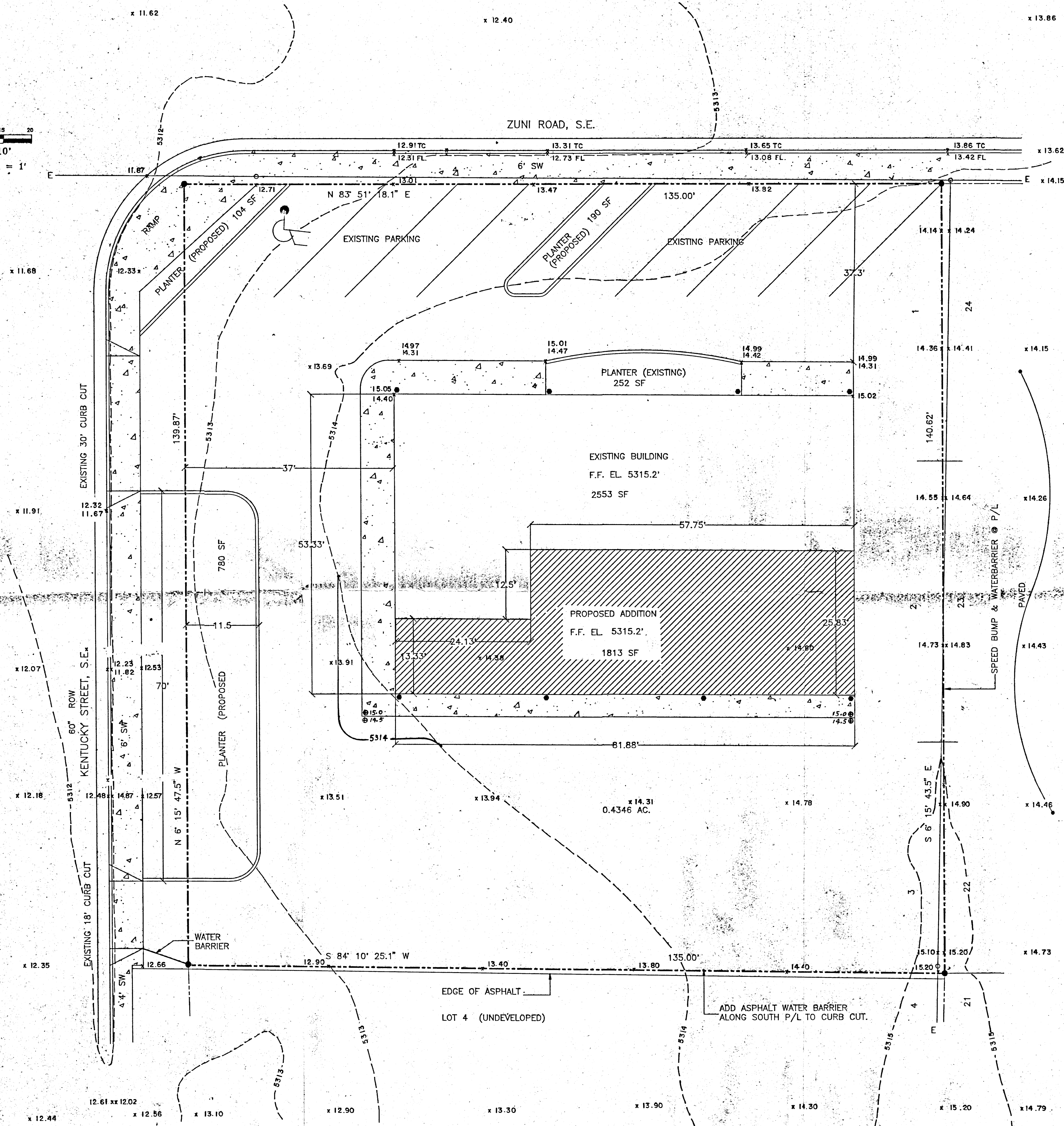
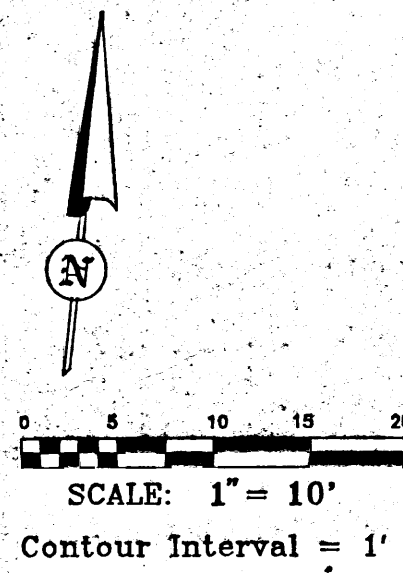




LOCATION MAP L-18-7
LEGAL DESCRIPTION: LOTS 1, 2, AND 3, BLOCK 8, MESA
PARK ADDITION
ADDRESS: 7000 AND 7008 ZUNI RD., S.E.



FLOOD BOUNDARY AND FLOODWAY MAP
PANEL NO. 350002 0036

DISCUSSION:

GENERAL:

THIS PROPOSED DEVELOPMENT IS AN 1813 SF ADDITION TO AN EXISTING 2553SF BUILDING ON A C-1 ZONED SITE LOCATED AT 7000 AND 7008 ZUNI RD., S.E. ON THE S.E. CORNER OF ZUNI RD., S.E. AND KENTUCKY ST., S.E. THE LEGAL DESCRIPTION OF THIS SITE IS LOTS 1, 2, AND 3, BLOCK 8, MESA PARK ADDITION. THE SITE CONTAINS 18,933.1 SF OR 0.4346 ACRES OF AREA.

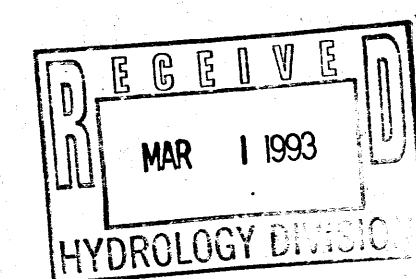
EXISTING CONDITIONS:

THIS TRACT IS CURRENTLY COMPLETELY COVERED BY ROOF AND ASPHALTIC CEMENT PAVING, EXCEPT FOR 252 SF OF LANDSCAPED AREA ON THE FRONT (NORTH) SIDE OF THE BUILDING. ZUNI RD., S.E. HAS A 100 YEAR FLOOD PLAIN FROM SIDEWALK TO SIDEWALK IN THIS REACH. USING A "C" VALUE OF 0.95 FOR THE PAVED AREA, 0.90 FOR THE ROOF AREA, AND 0.25 FOR THE LANDSCAPED AREA, THE EXISTING COMPOSITE "C" IS $[(0.95)(16,128) + (0.90)(2553) + (0.25)(252)] / 18933$, OR 0.93. THIS SITE IS IN A 4.7 IN/HR 100 YEAR RAINFALL AREA. THE EXISTING MAX Q IS (0.93) (4.7) (0.4346), OR 1.90 CFS.

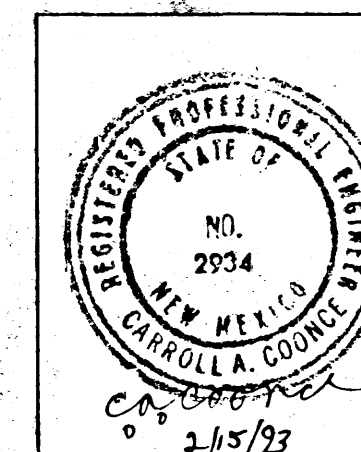
PROPOSED CONDITIONS:

THIS ADDITION WILL REQUIRE THE LOT TO BE BROUGHT UP TO CURRENT LANDSCAPING STANDARDS OF 7% OF THE LOT TO LANDSCAPED AREA. THE AREAS ARE SHOWN ON THE SITE PLAN. THE AREA REQUIRED IS 1325 SF. THE AREAS SHOWN ON THE LOT ITSELF ARE 1326 SF. THE COMPOSITE "C" AFTER RENOVATIONS IS $[(0.95)(13,241) + (0.9)(4366) + (0.25)(1326)] / 18,933$, OR 0.87. THE RESULTING MAX Q WILL BE 1.76 CFS.

AS A RESULT OF THIS PLANNED ADDITION, THE RUNOFF WILL BE LESSENED AND THE NEIGHBORHOOD WILL BE ENHANCED BECAUSE OF THE IMPROVED VISUAL ENVIRONMENT DUE TO THE ADDED LANDSCAPING. IN ADDITION, THE DECREASE IN RUNOFF DOES NOT ENDANGER ANY DOWNSTREAM PROPERTIES.



- LEGEND
- EXISTING SPOT ELEVATIONS
 - PROPOSED SPOT ELEVATIONS
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - CONCRETE
 - POWER POLE
 - DOWNSPOUT
- TOPO SURVEY BY MARQUEZ SURVEYING CO.



C.A. COONCE & ASSOC.

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TITLE SITE, DRAINAGE, AND GRADING PLAN

PROJECT 7000 ZUNI RD., S.E.

DATE	02/15/93	REVISED			
DRAWN	LSC	02/28/93			
CHECKED	CAC				

SHEET 1 OF 1