

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

April 17, 2020

Fred C. Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. N.E
Albuquerque, NM 87108

**RE: Wilson Pool & Park
1100 Cardenas Dr. SE
Grading and Drainage Plan
Engineer's Stamp Date: 04/16/20
Hydrology File: L18D050A**

Dear Mr. Arfman:

PO Box 1293

Based upon the information provided in your submittal received 04/16/2020, the Grading and Drainage Plan is approved for Building Permit and Grading Permit.

Albuquerque

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

NM 87103

www.cabq.gov

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

CITY PROJECT

Project Title: Wilson Pool & Park Building Permit #: _____ Hydrology File #: L18
DRB#: _____ EPC#: _____ Work Order#: 369090
Legal Description: 15 NWLY Portion of Wilson Park, Virginia Place Addition
City Address: 1100 Cardenas Drive SE - Albuquerque, NM 87108

Applicant: Isaacson & Arfman, Inc. Contact: Fred C. Arfman or
Bryan J. Bobrick
Address: 128 Monroe Street NE - Albuquerque, NM 87108
Phone#: (505) 268-8828 Fax#: _____ E-mail: freda@iacivil.com
bryanb@iacivil.com
Owner: City of Albuquerque Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL: _____ PLAT (____ # OF LOTS) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

_____ ENGINEER/ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
_____ DRAINAGE MASTER PLAN
_____ DRAINAGE REPORT
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
☒ OTHER (SPECIFY) Supplemental Information
_____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

DATE SUBMITTED: April 15, 2020 By: Fred C. Arfman

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

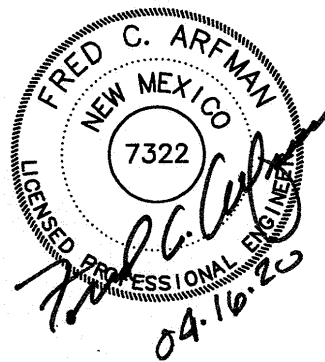
FEE PAID: _____

APRIL 17, 2020

Supplemental Information

for

Wilson Pool Drainage & Grading Plan



by

Isaacson & ^{EST. 1980} Arfman, Inc.
Civil Engineering Consultants



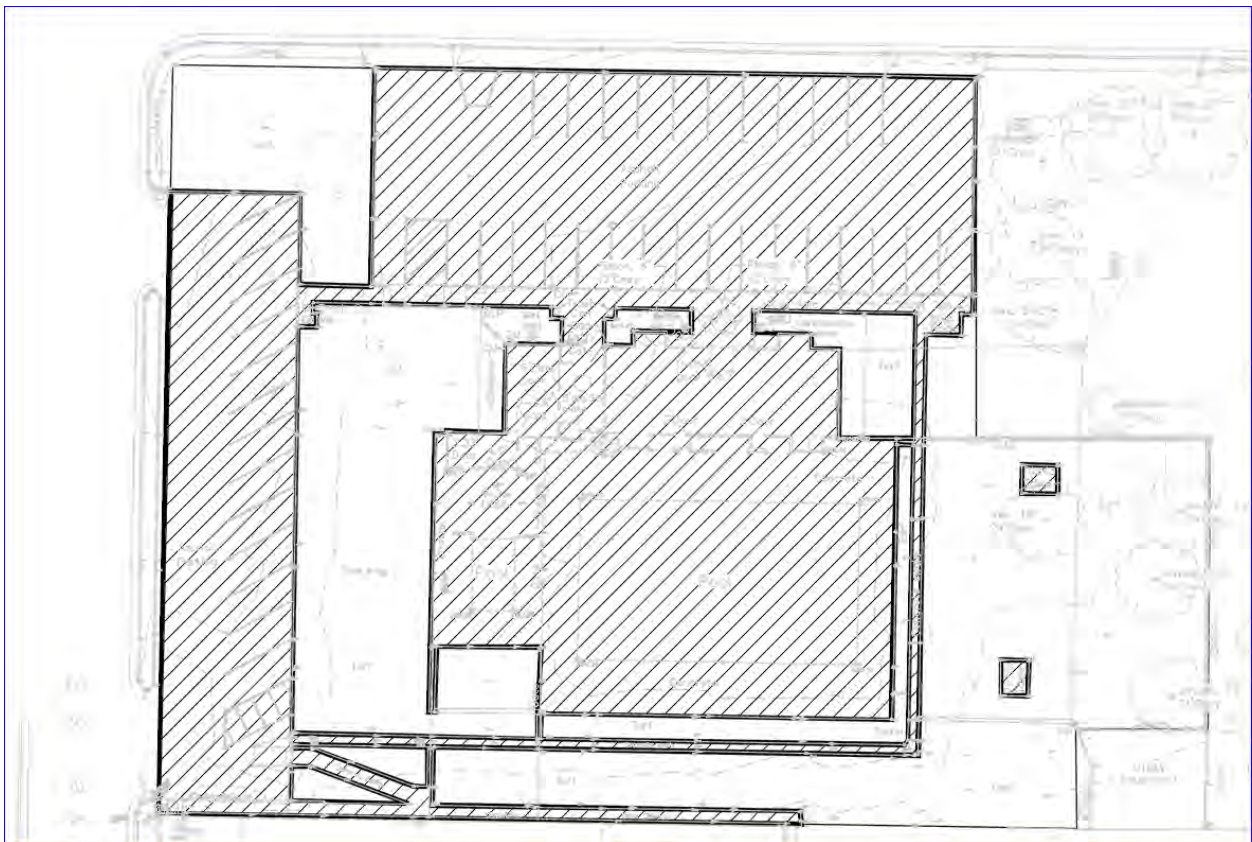
128 Monroe Street NE
Albuquerque, NM 87108
505-268-8828 | www.iacivil.com

INTRODUCTION

The proposed development includes the demolition of an existing kiddie pool and an asphalt paved parking lot. This will result in a net reduction of stormwater discharge. Historic flow patterns will remain with the site draining to Cardenas Dr. And Anderson Ave. SE.

The following exhibits provide clarification regarding the existing and proposed impervious areas as well as the stormwater quality calculations.

IMPERVIOUS AREA – EXISTING CONDITION

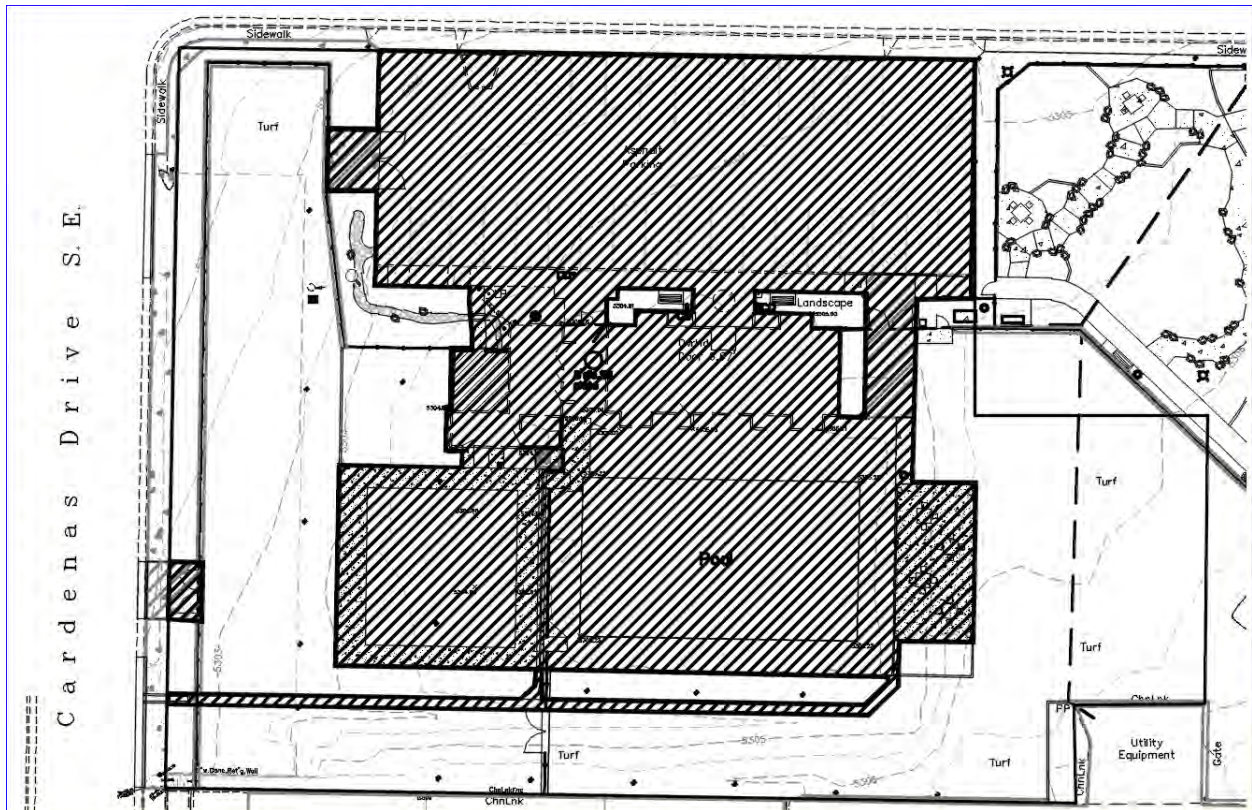


PROJECT LIMITS = 52,623 SF

EXISTING IMPERVIOUS AREA = 31,292 SF

60% IMPERVIOUS

IMPERVIOUS AREA – PROPOSED CONDITION

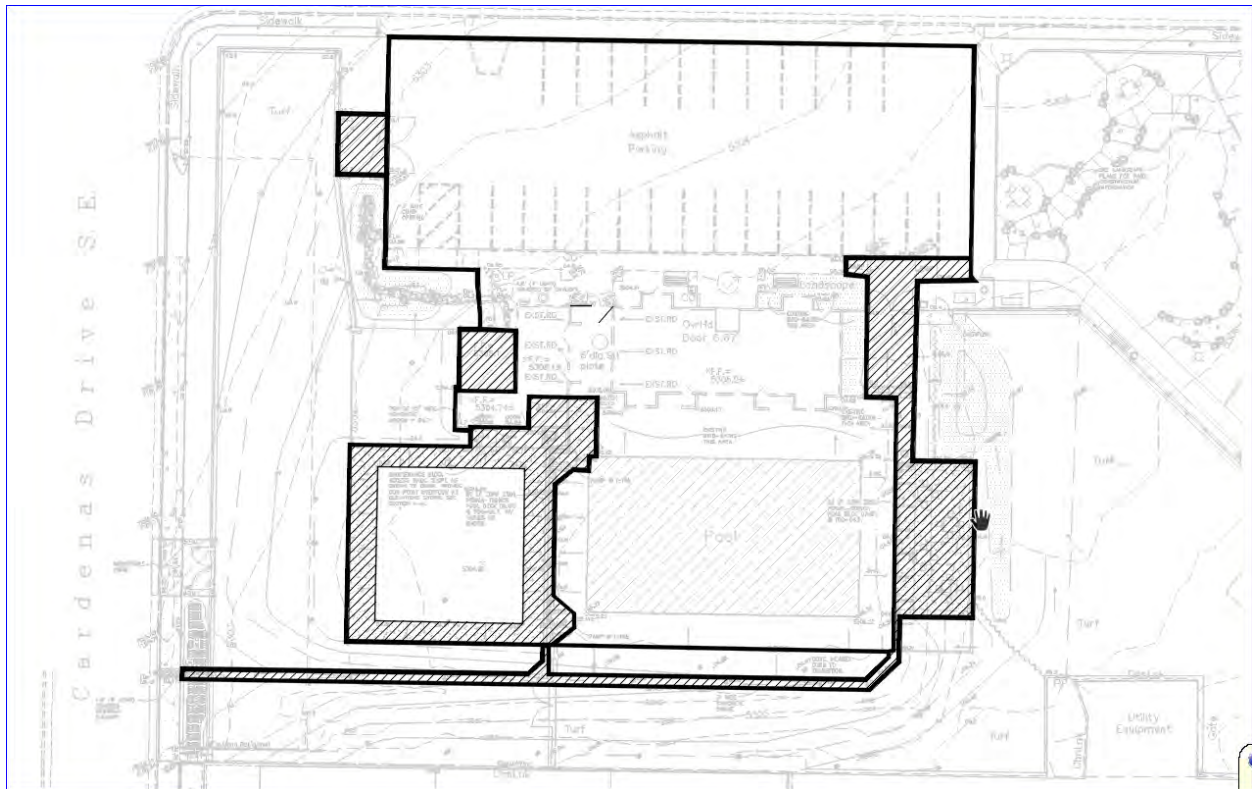


PROJECT LIMITS = 52,623 SF

PROPOSED IMPERVIOUS AREA = 27,715 SF

52.7% IMPERVIOUS

STORMWATER QUALITY REQUIREMENTS



STORMWATER QUALITY REQUIREMENTS

Stormwater quality control measures are required to provide management of 'first flush'. COA Hydrology currently has three categories relating to stormwater quality volume requirements:

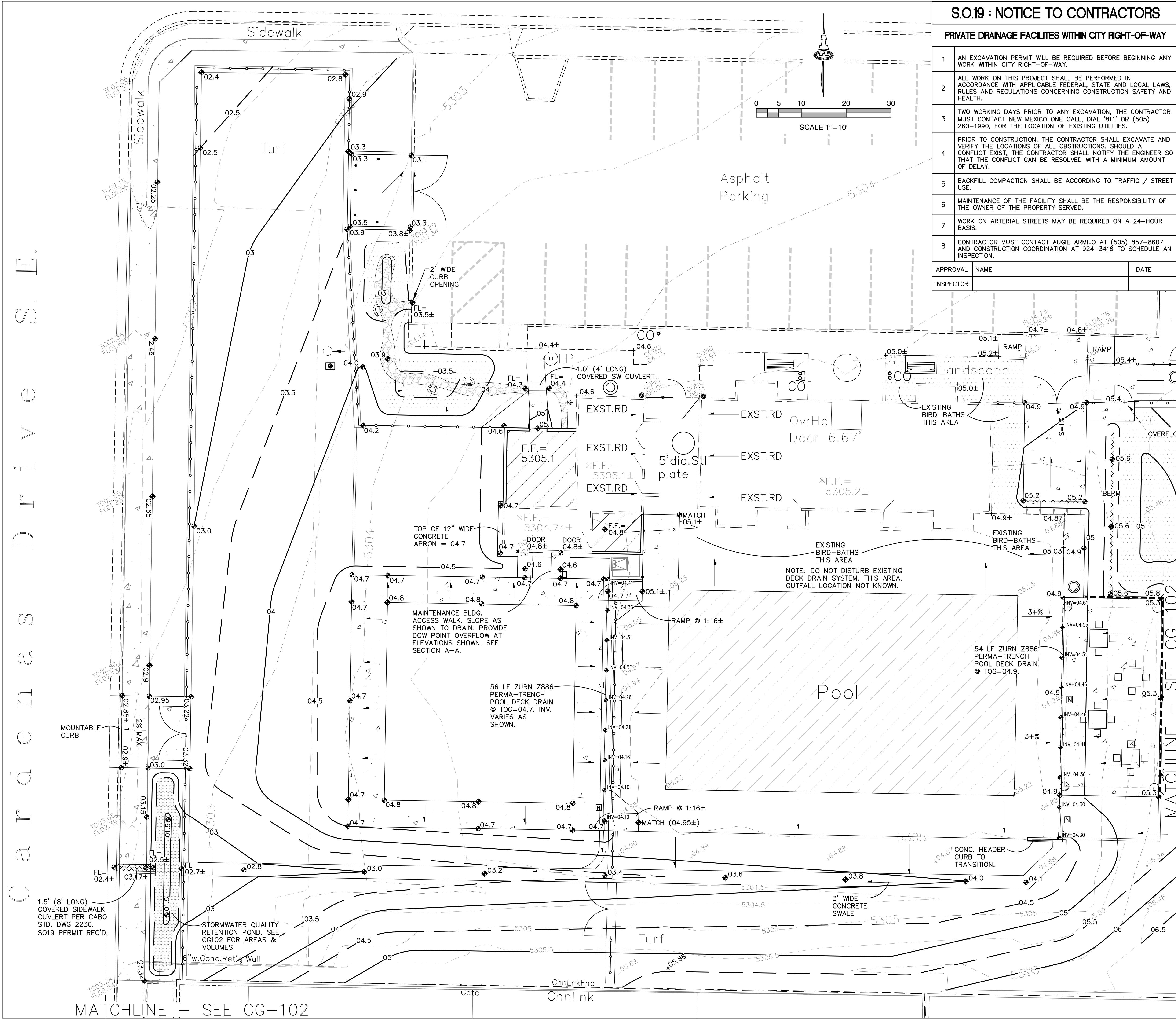
- New Construction: Stormwater quality volume based on the 90th percentile storm event or 0.34" [0.44" less 0.1" for initial abstraction] of stormwater which discharges directly to a public storm drainage system).
- Existing Construction: Existing impervious area to remain is exempt.
- Redevelopment: Existing impervious area that is being redeveloped (removed/replaced) is subject to a reduced rate of 0.26"/sf.

The impervious area for this proposed redeveloped property is = 27,715 sf.

Because this property was previously fully developed, only the redeveloped impervious will require stormwater quality retention. The required first flush retention volume = 0.26" * new type 'D' area: $0.26/12 * (4,927 \text{ sf}) = 107 \text{ cf}$.

A 12" deep stormwater retention pond will be constructed at the outfall of the proposed valley gutter.

Cardenas Drive S.E.



S.O.19 : NOTICE TO CONTRACTORS	
PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY	
1	AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2	ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3	TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL DIAL '811' OR (505) 260-1990, FOR THE LOCATION OF EXISTING UTILITIES.
4	PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5	BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.
6	MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7	WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
8	CONTRACTOR MUST CONTACT AUGIE ARMIJO AT (505) 857-8607 AND CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE AN INSPECTION.
APPROVAL	NAME
INSPECTOR	DATE

SECTION A-A

PROPERTY: THE SITE IS A FULLY DEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP L-18. THE SITE IS BOUND TO THE EAST BY SAN PEDRO DRIVE NE, TO THE WEST BY CARDENAS DR. NE, TO THE NORTH BY AN ANDERSON AVE. NE AND TO THE SOUTH BY WILSON MIDDLE SCHOOL.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE DEMOLITION OF THE WEST PARKING LOT TO BE REPLACED WITH LANDSCAPING, UPDATED POOL FACILITIES WITH ASSOCIATED STORAGE BUILDING, COVERED RECREATIONAL AREA AND LANDSCAPING. AN UPDATED STAIR / ADA COMPLIANT RAMP WILL BE INSTALLED TO ACCESS THE TENNIS COURTS TO THE SOUTH.

LEGAL: 15 NWLY PORTION OF WILSON PARK, VIRGINIA PLACE ADDITION.

ADDRESS: 1100 CARDENAS DR SE, 87108

BENCHMARK: STATION 'G-2', A BRASS DISK SET IN TOP OF A CONCRETE POST FLUSH WITH GROUND LOCATED AT THE INTERSECTION OF LOUISIANA BLVD. AND GIBSON BLVD S.E., IN THE CENTER MEDIAN. ELEVATION = 5337.43 (NAVD 1988).

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPOSED PROJECT.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #35001C0354H, EFFECTIVE DATE 08/16/2012, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

DRAINAGE PLAN CONCEPT: THE DEMOLITION OF THE EXISTING KIDDIE POOL AND WEST PARKING LOT WILL RESULT IN A NET REDUCTION OF STORMWATER DISCHARGE. HISTORIC FLOW PATTERNS WILL REMAIN WITH THE SITE DRAINING TO CARDENAS DR. AND ANDERSON AVE. SE.

SURVEYOR: RIO GRANDE SURVEYING CO., REX J. VOGLER (NMLPS 10466).

CONTRACTOR	DATE
INSPECTOR'S ACCEPTANCE BY	DATE
VERIFICATION BY	DATE
RECORDS BY	DATE

AS-BUILT INFORMATION

BENCH MARKS

SURVEY INFORMATION

FIELD NOTES

ENGINEER'S SEAL

REVISIONS

REMARKS

NO. DATE

DESIGNED BY: BBUB DATE 04/17/20

DRAWN BY: BBUB DATE 04/17/20

CHECKED BY: FCA DATE 04/17/20

VICINITY MAP L-18

SECTION A-A

LEGEND

- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED 1.0' CONTOUR
- PROPOSED 0.5' CONTOUR
- PROPOSED SPOT ELEVATION
- FLOW DIRECTION
- FINISH FLOOR ELEVATION
- NEUTRAL (NO SLOPE)
- TRENCH DRAIN SECTION

mrwmla.com 505 268 2266

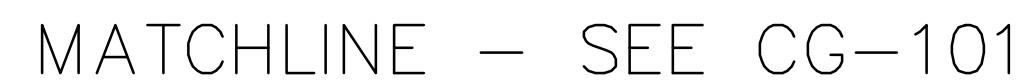
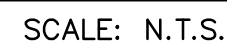
CITY OF ALBUQUERQUE
STRATEGIC PLANNING AND DESIGN
PARKS AND RECREATION DEPARTMENT

WILSON POOL & PARK

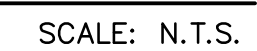
GRADING & DRAINAGE PLAN 1 OF 2

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No.	Zone Map No.	Sheet
369090	L-18	CG101



THE WEST WATER QUALITY POND WILL CAPTURE 120 CF OF STORMWATER BEFORE OVERFLOWING TO THE COVERED SIDEWALK CULVERT.



Hist. O_p	=	5.0	CFS	Dev. O_p	=	4.8	CFS
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DESIGNED BY: B. J.RECORD DRAWINGS
DATE: XX/XX/2020