

Federal Emergency Management Agency

Washington, D.C. 20472

DEC 30 1993

Mr. Gilbert Aldaz, P.E., P.S.
City/County Floodplain Administrator
P.O. Box 1293
Albuquerque, New Mexico 87103

IN REPLY REFER TO:
Case No.: 93-06-333A
Community: City of Albuquerque,
New Mexico
Community No.: 350002
Map Panel Affected: 0036 C

T-218-70-RS

Dear Mr. Aldaz:

This is in response to your letter dated August 30, 1993, regarding our October 27, 1992, Letter of Map Amendment (LOMA) for the property described below. You requested that the Federal Emergency Management Agency reconsider whether the following property is located in a Special Flood Hazard Area (SFHA), an area that would be inundated by the 100-year (1-percent annual chance) flood.

Property Description: The South 1/2 of the East 1/2, Lot 2, Block 1, Central Park, as shown on Plat Map recorded as Volume B, Folio 33, in the Office of the County Clerk, Bernalillo County, New Mexico

Street Address: 713 San Pedro Drive, SE.

Community: City of Albuquerque

State: New Mexico

After evaluating the additional information that you provided and comparing this information to the National Flood Insurance Program (NFIP) map for the referenced community, we determined that although portions of the property described above would be inundated by a 100-year flood, the existing structure on the property would not be inundated. Therefore, this letter amends the map for the City of Albuquerque, New Mexico (NFIP Map Number 350002, Panel 0036 C, dated October 14, 1983), to remove the structure from the SFHA. The structure is now located in Zone C, an area of minimal flooding outside the 500-year floodplain. Because portions of the property are in the SFHA, any future construction or substantial improvement on the property remains subject to Federal, State, and local regulations for floodplain management.

You should note that this property could be inundated by a flood greater than a 100-year flood or by local flooding conditions not shown on the NFIP map. Also, although we have based our determination on the flood information presently available, flood conditions may change or new information may be generated that would supersede this determination.

Please be advised that the NFIP offers a policy designed for one-family to four-family homes in areas that are not designated as SFHAs, but where flood exposure still presents a significant risk. The policy is the Preferred Risk Policy. It is a comprehensive policy that is available to property owners in B, C, and X zones only. Information about the Preferred Risk Policy and how one can qualify is enclosed.

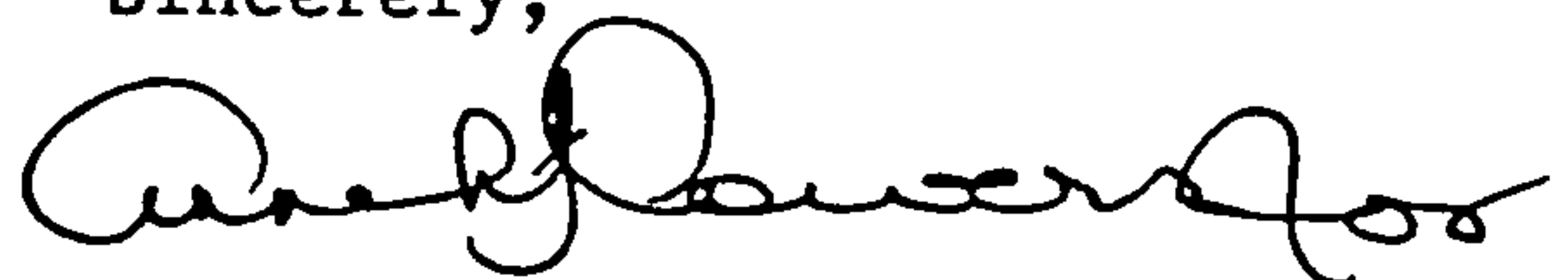
If this structure is covered by a flood insurance policy, and if the mortgage company or lending institution agrees to waive the flood insurance requirement, then the NFIP will refund the premium paid for the current policy year, providing that no claim is pending or has been paid on the policy during the current policy year. To receive a refund, a written waiver or certificate must be obtained from the mortgage company or lending institution. This written waiver or certificate must then be sent to the insurance agent, who will process the premium refund.

A copy of this LOMA is being sent to your community's official NFIP map repository where, in accordance with regulations adopted by the community when it made application to join the NFIP, it will be attached to the community's official record copy of the NFIP map, which is available for public inspection.

This response to your request is based on the minimum criteria established by the NFIP. State and community officials, based on knowledge of local conditions and in the interest of public safety, may set higher standards for construction in the floodplain. If the State of New Mexico or your community has adopted more restrictive and comprehensive floodplain management criteria, those criteria take precedence over the minimum Federal criteria.

If you have any questions regarding this matter, please contact Ms. Agnes de Coca of our staff in Washington, DC, at (202) 646-2746, or by facsimile at (202) 646-3445.

Sincerely,



Michael K. Buckley, P.E., Chief
Hazard Identification Branch
Mitigation Directorate

Enclosure

cc: Community Map Repository



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

218/152

August 30, 1993

Bob Hendrix, Branch Chief
Region VI, Federal Center
800 North Loop 288
Denton, Texas 76201-3698

RE: APPEAL OF LETTER OF MAP AMENDMENT DETERMINATION FOR THE SOUTH
ONE-HALF OF THE EAST ONE-HALF OF LOT 2, BLOCK 1, OF CENTRAL PARK
ADDITION, CASE NO. RVI-218-70-N

Dear Mr. Hendrix:

The purpose of this letter is to request an appeal and reevaluation of your decision for the above referenced case. We have attached the following additional information:

1. A portion of the Albuquerque Master Drainage Study, dated January 1981, the floodplains shown on this study are the same as shown on the Flood Insurance Rate Map. This study is identified as reference 1 in the original FIS study.
2. A Summary of Hydrology and Hydraulic Analysis shows an analysis point number 206 which is approximately at this location of the LOMA request. A 100-year flow depth of 0.83 feet is specified at this location in the street.
3. Attached is a cross section of the street with a width of 48 feet. The cross section shows that the street consists of a rigid pavement with a concrete curb, meaning the street has the structural stability to act as a conveyance channel.

Based on the street depth analysis provided, I would estimate that the water surface elevation is as follows:

$$69.55 \text{ (curb flowline)} + 0.83 \text{ (street depth)} = 70.38 \text{ (base flood elevation)}$$

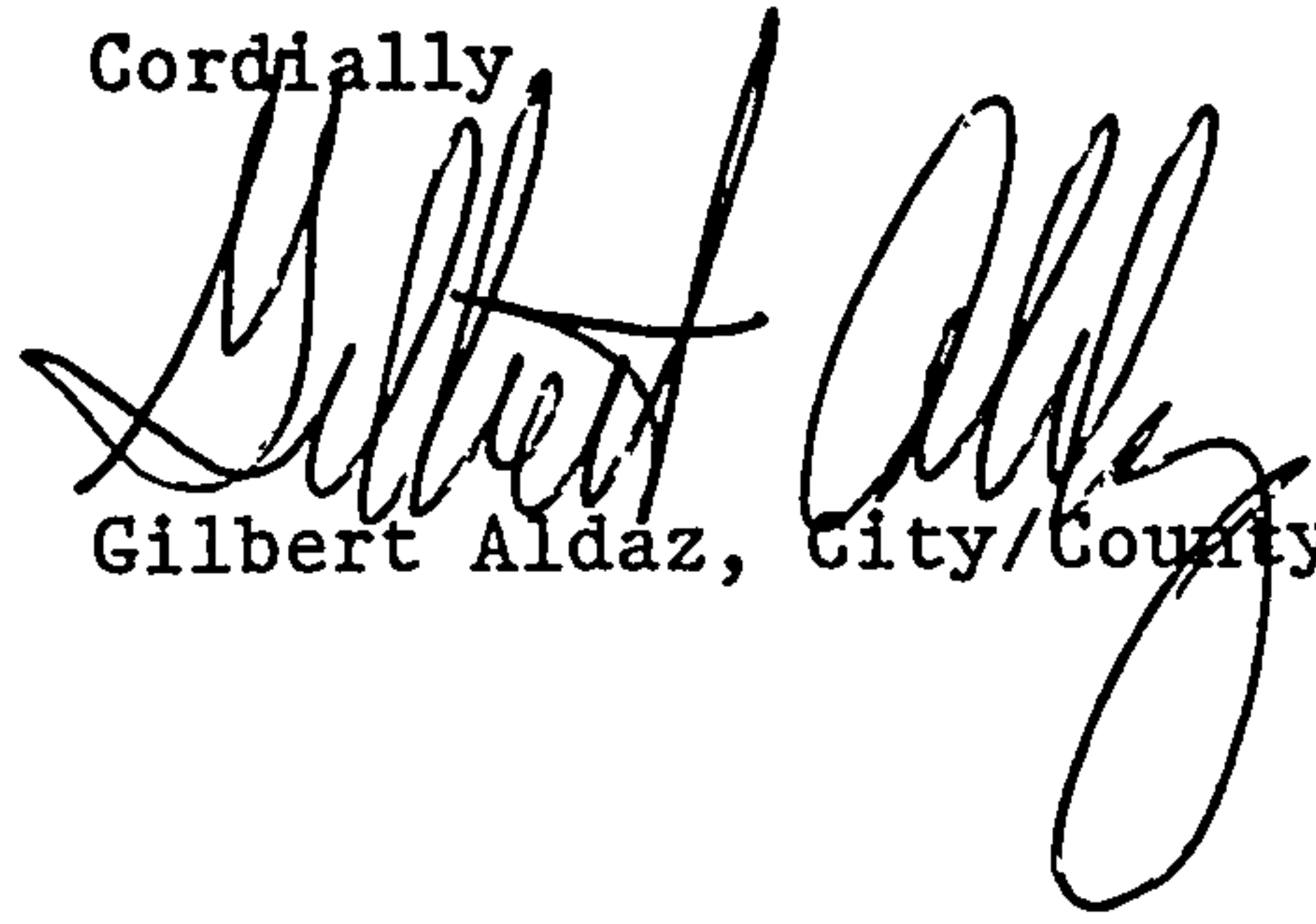
Since the elevation of the lowest adjacent grade to the structure, 5370.5, is higher than the base flood elevation, 5370.38, the structure is not within the SFHA. Please keep in mind that the flowline used is on the upstream side of the street and is not located immediately adjacent to the lowest adjacent grade of the pad. This should add some safety factor, also there is 0.12 feet difference between the adjacent grade and BFE.

PUBLIC WORKS DEPARTMENT

Bob Hendrix
Page 2 .

With the above mentioned data, this should give FEMA a comfort level for issuing a Letter of Map Amendment at this time. If you should have any questions concerning this request, please do not hesitate to call me at (505) 768-2650.

Cordially,

A handwritten signature in black ink, appearing to read 'Gilbert Aldaz', written in a cursive style.

Gilbert Aldaz, City/County Floodplain Adm.

GA/WP+1596)

xc: Karl Mohr, FEMA



Federal Emergency Management Agency

Region VI
Federal Regional Center
800 North Loop 288
Denton, TX 76201-3698

NHB

October 27, 1992
IN REPLY REFER TO:
RVI-218-70-N

Mr. Gilbert Aldaz, P.E. & P.S.
City/County Floodplain Administrator
City of Albuquerque
P. O. Box 1293
Albuquerque, New Mexico 87103

OCT - 2

Dear Mr. Aldaz:

This is in response to your letter dated October 22, 1992 requesting that the Federal Emergency Management Agency (FEMA) determine whether the following property is located in a Special Flood Hazard Area (SFHA), an area that would be inundated by the 100-year (one-percent annual chance) flood.

Property Description: The South 1/2 of the East 1/2 of Lot 2, Block 1, Central Park, filed in Volume B, Folio 33, Office of the County Clerk of Bernalillo County, New Mexico
Street Address: 713 San Pedro, SE
Community: Albuquerque
State: New Mexico
Flooding Source: Sheetflow Flooding

On October 26, 1992, we received all information necessary to process your request. After comparing this information with the National Flood Insurance Program (NFIP) map for Albuquerque, New Mexico dated October 14, 1983, we determined that the structure on this property would be inundated by a 100-year flood and is correctly shown on the current NFIP map as being in an SFHA, Zone A0 (Depth 1).

In areas of sheetflow flooding (AO Zones) the elevation of the lowest adjacent grade and the elevation of the lowest floor must be above the elevation of the highest surrounding ground by at least the amount of the depth specified on the FIRM. Since the elevation of the lowest adjacent grade to the structure, 5270.50*, is lower than the highest surrounding ground elevation plus 1 foot depth, 5271.35*, the structure is within the SFHA; therefore, flood insurance is required. *These elevations are referenced to the National Geodetic Vertical Datum. This determination is based on the flood data presently available.

If you have any questions or if we can be of further assistance, please call us at 817/898-5333.

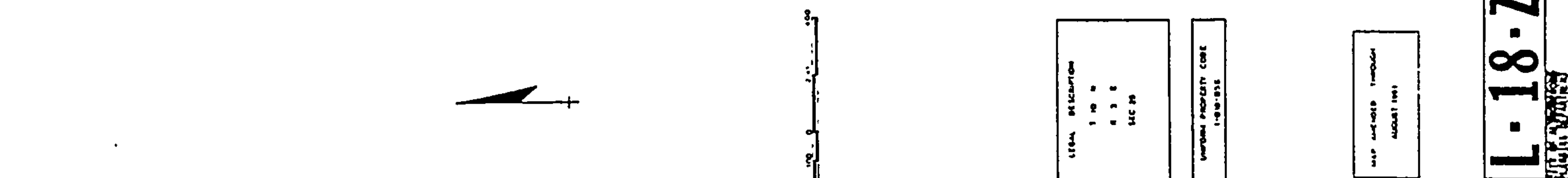
Sincerely,

Jim LeGrotte
Jim LeGrotte, Chief

Natural and Technological Hazards Division

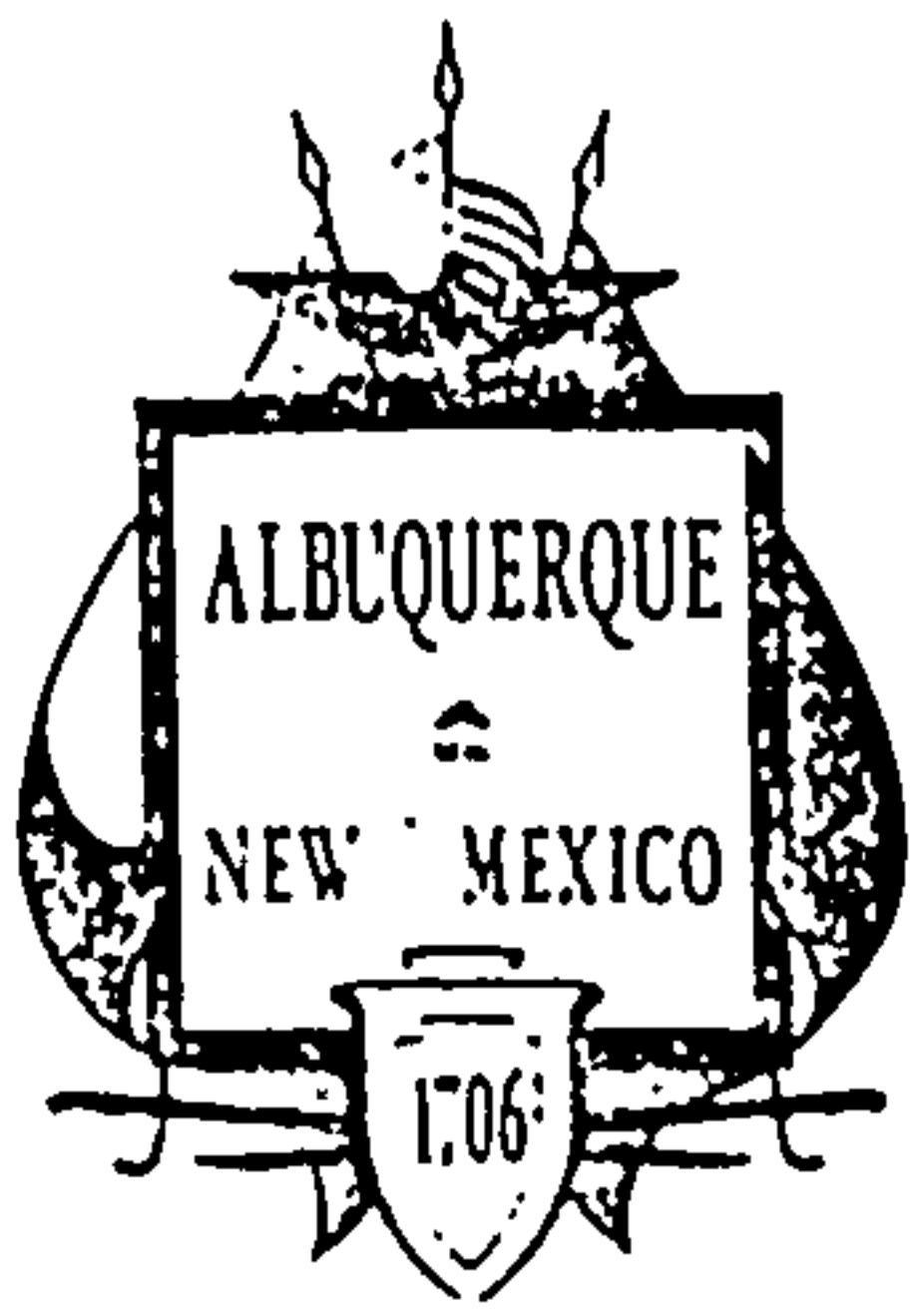
cc: Ms. Fay Davis, FEMA HQ

C



1001 L STREET
WASHINGTON, D.C. 20004

L-18-7



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 22, 1992

Marquez Survey

Diane Calhoun
Natural Hazards Program Specialist
FEMA Region VI, Federal Center
800 North Loop 288
Denton, Texas 76201-3698

RE: LETTER OF MAP AMENDMENT REQUEST FOR THE SOUTH ONE-HALF OF THE EAST
ONE-HALF OF LOT 2, BLOCK 1, OF CENTRAL PARK ADDITION

Dear Ms. Calhoun:

The owner of the referenced property has requested a Letter of Map Amendment.
I have attached the following information for your review.

1. Property Information Sheet.
2. Vicinity map showing the lot location (ZA L-18).
3. Elevation Survey.
4. Location of site on Flood Insurance Rate Map (350002-0036).
5. Copy of Warranty Deed.

Should you need further information, please call me at (505)768-2666.

Cordially,

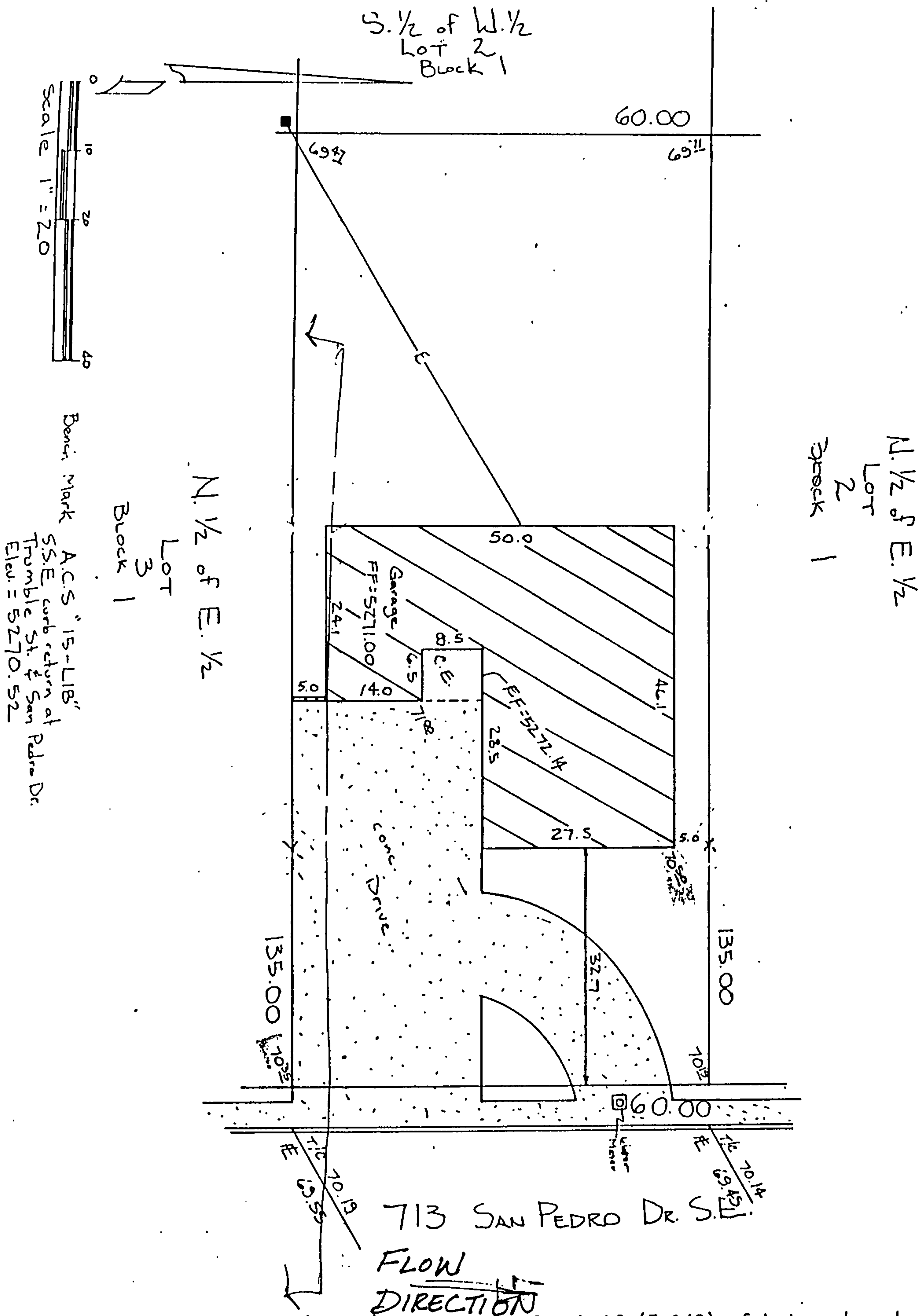
Gilbert Aldaz P.E. & P.S.
City/County Floodplain Administrator

GA/WPHYD/218

xc: Richard J. Valdez
713 San Pedro S.E.
Albuquerque, NM 87108
(505) 268-4665

PUBLIC WORKS DEPARTMENT

PLAT OF SURVEY



The South One-half (S.1/2) of the East One-half (E.1/2) of Lot numbered Two (2) in Block numbered One (1) of CENTRAL PARK, an Addition to the City of Albuquerque, New Mexico, as the same is shown and designated on the Plat of said Addition, filed in the office of the County Clerk of Bernalillo County, New Mexico on January 26, 1926 in Volume B, folio 33.

Survey Prepared By:

George J. Marquez Jr. Sept 22, 1992
 George J. Marquez Jr., N.M.P.S. No. 10283 Date

FB0042
 FB0044

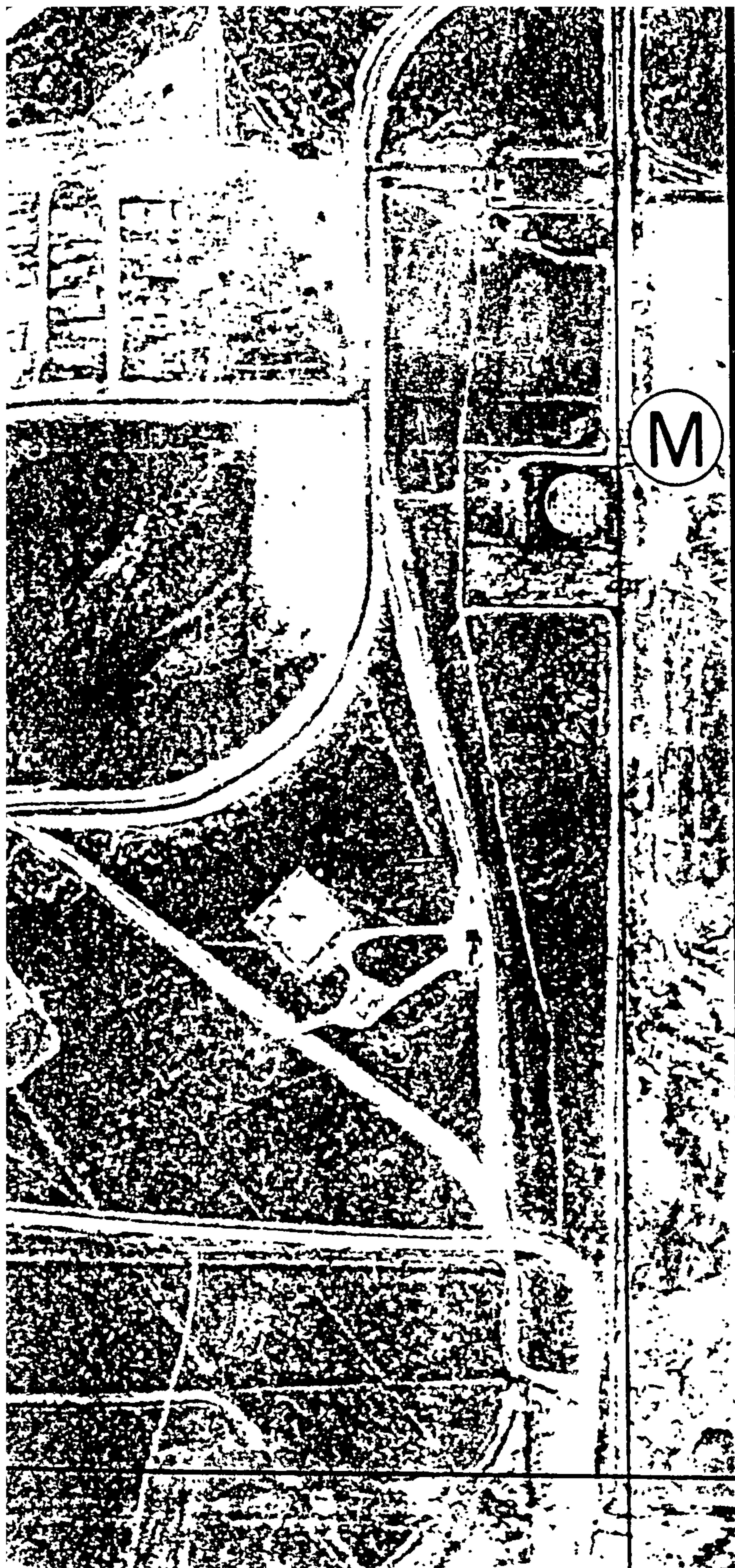
MARQUEZ SURVEYING CO.

Sheet 1 of 1

802 8th Street, N.W.

Albuquerque, New Mexico 87102

(505) 842-8370



date shown on this map to determine when actual rates apply to structures in the zones where elevations or depths have been established.

To determine if flood insurance is available in this community, contact your insurance agent, or call the National Flood Insurance Program at (800) 638-6620.



SCALE: 1"=500'



FOLD


NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP

CITY OF
ALBUQUERQUE,
NEW MEXICO
BERNALILLO COUNTY

PANEL 36 OF 50

DESCRIPTION OF LOCATION

square, , chiseled on top of the concrete curb at the north-
theast curb return, located at the intersection of San Pedro
ulevard and Kathryn Avenue, SE, in the northwest quadrant
the intersection.

ted States Coast and Geodetic Survey (USC&GS) standard
ss tablet, stamped "Susan", set in top of concrete post flush
h the ground, located from the intersection of Southern Ave-
and Garcia Street, approximately 90' north of the center-
of Southern Avenue and approximately 70' west of the
terline of Garcia Street.

COMMUNITY-PANEL NUMBER

350002 0036

EFFECTIVE DATE:

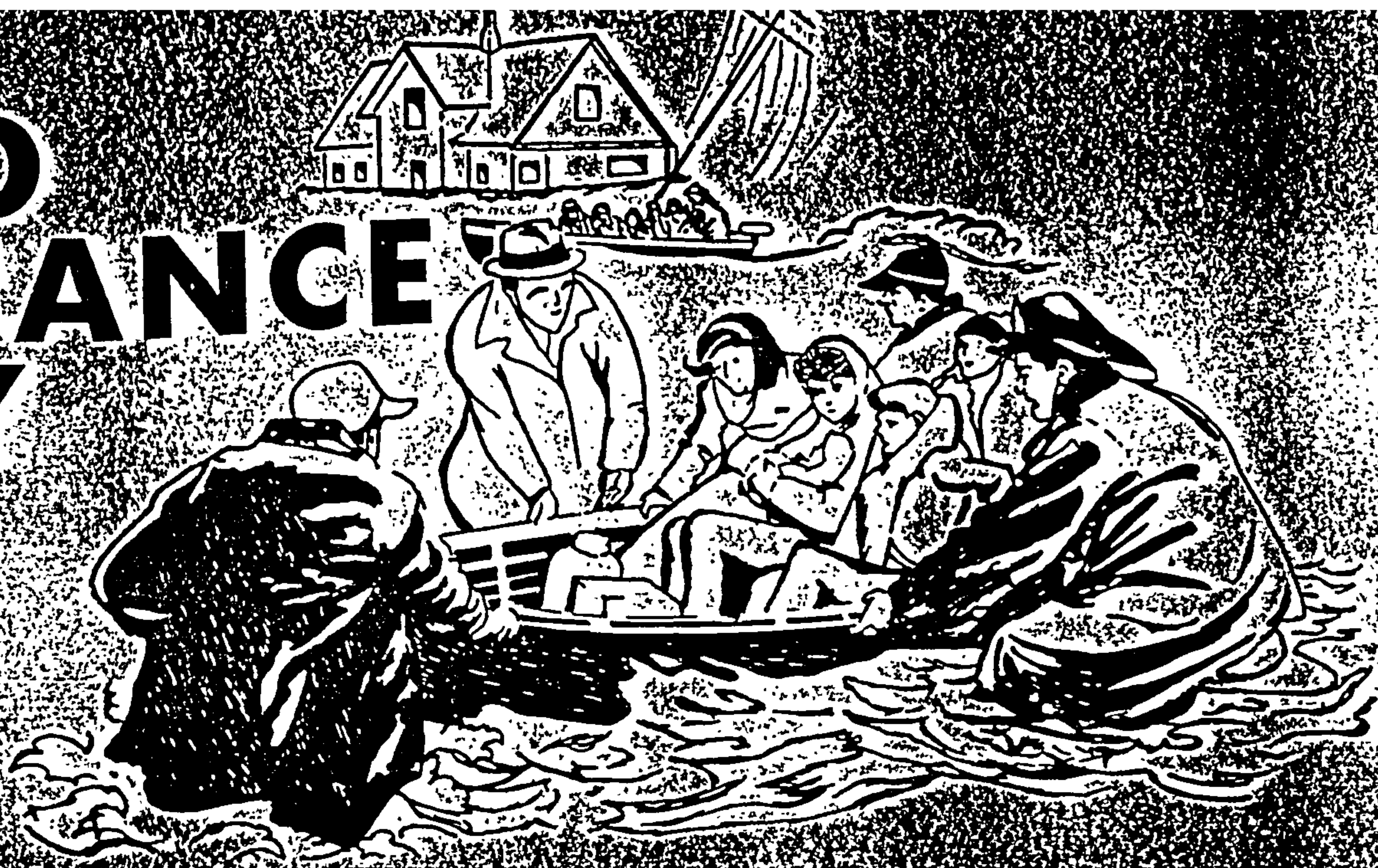
OCTOBER 14, 1983



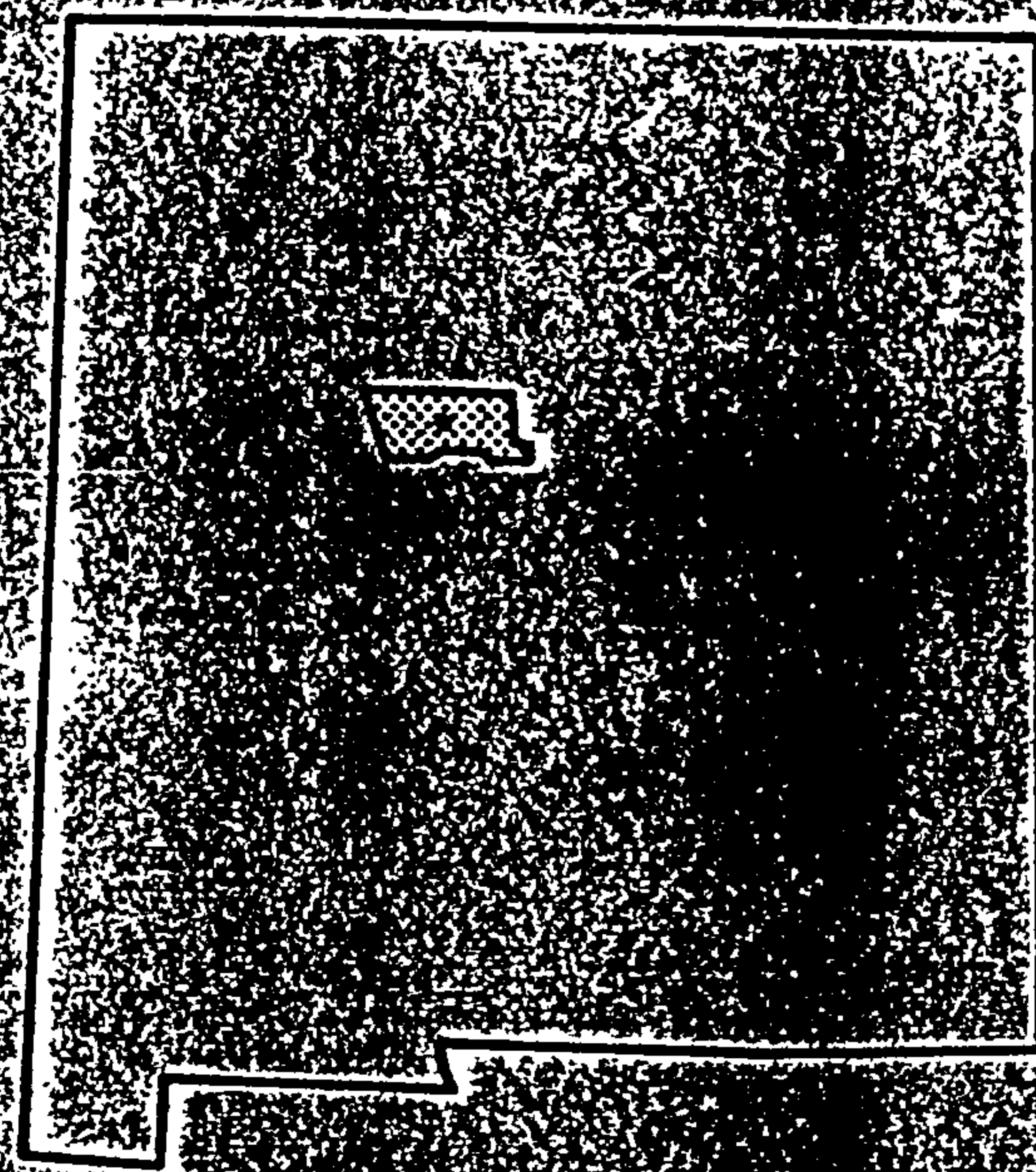
Federal Emergency Management Agency



FLOOD INSURANCE STUDY



CITY OF ALBUQUERQUE
NEW MEXICO
BERNALILLO COUNTY



APRIL 14, 1983



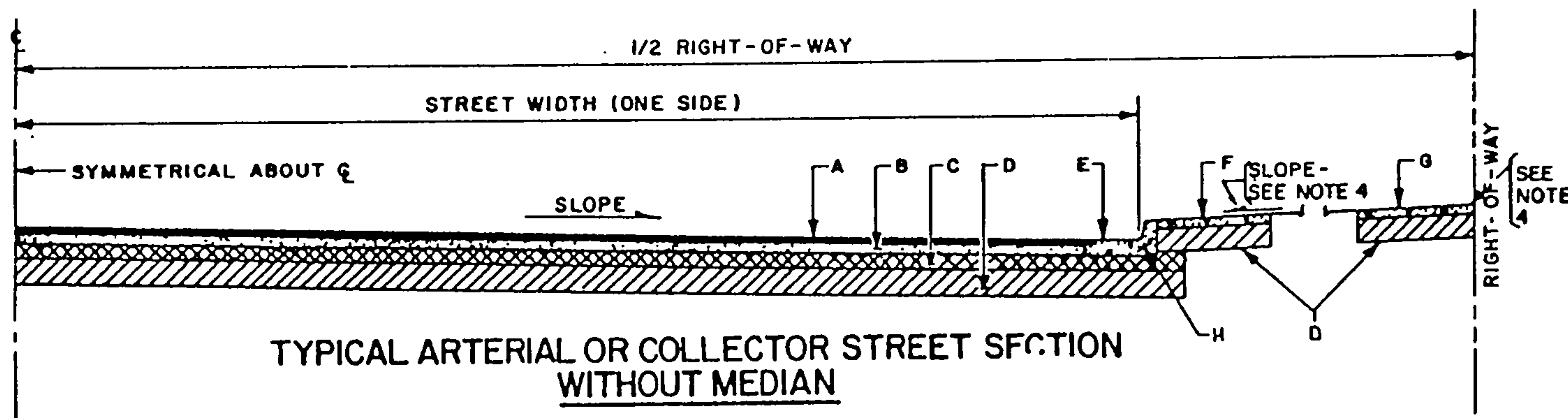
Federal Emergency Management Agency

COMMUNITY NUMBER 350002

8.0 REFERENCES

1. Bohannon-Huston, Inc., Albuquerque Master Drainage Study, January 1981.
2. Boyle Engineering Corporation, Design Report for the Ladera Storm Drainage Diversion and Detention System, June 1979.
3. Leonard Rice Consulting Water Engineers, Inc., Northeast Heights Drainage Management Plan, Volume I, April 1975.
4. William Matotan and Associates, Drainage Management Plan, Western Albuquerque Metropolitan Area, August 1975.
5. U.S. Army Corps of Engineers, Albuquerque District, Middle Rio Grande Flood Protection, Bernalillo to Belen, New Mexico, Interim Report, Volume III, Appendices D-E-F, May 1979.
6. Verbal Communication, University of New Mexico, Bureau of Business and Economic Research, (505) 277-2216.
7. U.S. Department of Commerce, Local Climatological Data, Albuquerque, New Mexico, 1978.
8. U.S. Army Corps of Engineers, Rio Grande above Elephant Butte Dam, New Mexico, 1960.
9. U.S. Army Corps of Engineers, Albuquerque District, Cochiti Lake, Rio Grande Basin, New Mexico, Water Control Manual, Appendix C, July 1978.
10. U.S. Department of Housing and Urban Development, Federal Insurance Administration, Code of Federal Regulations, Title 24, Chapter 10, Parts 1910.3A and 3B, Federal Register, Volume 41, No. 207, Revision 1976.
11. U.S. Water Resources Council, Guidelines for Determining Flood Flow Frequency, Bulletin No. 17A, Hydrology Committee, June 1977.

Street Section



- GENERAL NOTES:**
1. STRUCTURAL THICKNESS OR PAVEMENT COMPONENTS WILL BE AS PER PAVEMENT DESIGN THE DESIGN METHOD UTILIZED SHALL BE AS CURRENTLY IN USE BY NMHD.
 2. ALL SUBGRADE COMPACTION FOR C & G WILL EXCEED 12" MIN. ON EITHER SIDE OF C & G OR CURB SECTION.
 3. SUBGRADE PREPARATION UNDER SIDEWALK AND DRIVEPADS SHALL BE INCLUDED WITH THE PARTICULAR ITEM.
 4. FINISH GRADE AT PROPERTY LINE SHALL BE 0.33' MIN. ABOVE TOP OF CURB.
 5. SLOPE EASEMENT REQUIREMENTS WILL BE SHOWN ON PROJECT CONSTRUCTION PLANS.
 6. TRANSVERSE SLOPE FOR PAVEMENT SHALL BE 2% TYPICAL.
 7. GRADES AND ELEVATIONS SHALL BE MET BY SURFACE COURSE WITH PLANT MIX SEAL PLACED AS AN OVERLAY.
 8. PLANT MIX SEAL SHALL BE PLACED ABOVE THE TOP OF THE GUTTER.
 9. ALL ASPHALT CONCRETE PAVEMENT SHALL COMPLY WITH SECTION 116.
 10. ALL PORTLAND CEMENT CONCRETE PAVEMENT SHALL COMPLY WITH SECTION 101.

CONSTRUCTION NOTES:

- A. ASPHALT CONCRETE FINISH COURSE.
- B. ASPHALT CONCRETE PAVEMENT.
- C. COMPACTED BASE.
- D. COMPACTED SUBGRADE.
- E. CURB & GUTTER STANDARD.
- F. SIDEWALK ADJACENT TO CURB (NON-STANDARD, VARIANCE REQUIRED).
- G. SIDEWALK AT STANDARD SETBACK.

PAVEMENT SECTION DESIGNED IN ACCORDANCE WITH COA DPM, VOL. 2, SECTION 23, STREET DESIGN.

6" ASPHALT TREATED OR 8" CEMENT TREATED BASE COURSE IN ADDITION TO ABOVE SECTION AT STREETS WITH TRUCK TRAFFIC GREATER THAN 5% OR TOTAL DESIGN TRAFFIC.

12" SCARIFIED AND COMPACTED SUBGRADE 95% MIN. COMPACTION, AT AT OPT. MOISTURE +/- 2.0%, ASTM D1557, OR OPT. MOIST. TO +4%, ASTM D698 FOR SOIL W/35% OR MORE MATERIAL PASSING THE NO. 200 SIEVE.

5/8" PLANT MIXED SEAL COAT (PMSC) ON STREETS WITH SPEED LIMIT GREATER THAN 40 MPH.

1-1/2" ASPHALT CONCRETE TYPICAL FINISH COURSE PLACED AFTER ALL MANHOLE, VALVES COVERS/RINGS ARE SET TO GRADE.

TACK COAT AS REQUIRED BY THE ENGINEER BETWEEN ALL ASPHALT/AGGREGATE MATERIAL LIFTS, FINISH SURFACE OF SUBGRADE, AGGREGATE BASE COURSE, AND OR CEMENT TREATED BASE SHALL BE MOISTURE CONTROLLED AT COMPACTION MOISTURE RANGE, OR PRIME COAT AS REQUIRED BY THE ENGINEER UNTIL NEXT/FINAL SURFACING COMPLETED SUBGRADE PREPARATION SHALL BE PERFORMED AFTER ALL SUBSURFACE R/W UTILITIES CONSTRUCTION COMPLETED.

90% MIN. COMPACTION.

FLEXIBLE PAVEMENT SECTION

PLAIN/DOWELLED TRANSVERSE JOINTED PORTLAND CEMENT CONCRETE PAVEMENT SECTION DESIGNED IN ACCORDANCE WITH COA DPM, VOL. 2, SECTION 23, STREET DESIGN.

4" ASPHALT TREATED OR 6" CEMENT TREATED BASE COURSE IN ADDITION TO ABOVE SECTION AT STREETS WITH TRUCK TRAFFIC GREATER THAN 5% OR TOTAL DESIGN TRAFFIC.

12" SCARIFIED AND COMPACTED SUBGRADE 95% MIN. COMPACTION, AT OPT. MOISTURE +/- 2.0%, ASTM D1557, OR OPT. MOIST. TO +4%, ASTM D698 FOR SOIL W/35% OR MORE MATERIAL PASSING THE NO. 200 SIEVE.

90% MIN. COMPACTION.

RIGID PAVEMENT SECTION

FINISH SURFACE OF SUBGRADE, AGGREGATE BASE COURSE, AND OR CEMENT TREATED BASE SHALL BE MOISTURE CONTROLLED AT COMPACTION MOISTURE RANGE, OR PRIME COAT AS REQUIRED BY THE ENGINEER UNTIL NEXT/FINAL SURFACING COMPLETED.

SUBGRADE PREPARATION SHALL BE PERFORMED AFTER ALL SUBSURFACE R/W UTILITIES CONSTRUCTION COMPLETED.

REVISIONS
1/91
12/15/92

CITY OF ALBUQUERQUE

PAVING
ART./COLL. ST. SECTIONS
WITHOUT MEDIAN
DWG. 2407

AUG 1986

23.2.1
PUBLIC RIGHT-OF-WAY AND PAVEMENT WIDTH STANDARDS

Street or Element Classification (As defined by Subdivision Ordinance)	Required Right-of Way Width (See NOTES: 2, 3, 4, 5, 8, 11)	Required Sidewalk	Required Pavement Width(3, 5, 6) (Flowline to Flowline)
Principal Arterial	a)* As required by LRMS ⁽¹⁾ , if not established therein, or b)* 124 feet in Established & Redeveloping Areas, or c)* 156 feet elsewhere	6 feet	a) As required by LRMS ⁽¹⁾ , or b) As required by Traffic Engineer/Development
Minor Arterial	a)* As required by LRMS ⁽¹⁾ , if not established therein, or b)* 86 feet	6 feet	a) as required by LRMS ⁽¹⁾ , or b) 66 feet including median
Collector	a)* As required by LRMS ⁽¹⁾ , or if not established therein b)* 68 feet	4 feet 6 feet ⁽⁷⁾	a) As require by LRMS ⁽¹⁾ , or b) 48 feet
Major Local (As defined by the Traf. Eng./Dev.) a. Where no lots front Major Local b. Where lots front on one side only	* 60 feet 50 feet 56 feet	(7)	40 feet 32 feet 36 feet
Local Commercial/Industrial a. Normal b. One side development only ⁽⁹⁾ c. Cul de sac	* 60 feet 50 feet 50 feet	4 feet ⁽¹⁰⁾	40 feet 32 feet 32 feet
Local a) Normal	* 50 feet	4 feet	Single Family Residential - a) Subdivisions, or major subsections thereof, with 90% of lots equal to or exceeding width of 55' - 30' Fl. to Fl. b) Adjacent to R-2,3,4; C-1,2,3; O-1; or SU-1,2 preceding - 36' Fl. to Fl. c) Adjacent to Schools - 40' Fl. to Fl. (with 60' R.O.W., 8' added width to be on school side of street) d) Within 150' of Arterial or Collector Street - 36' Fl. to Fl. e) Adjacent to Parks - 36' Fl. to Fl. f) All Others - 32' Fl. to Fl.**
b) Loop	50 feet	4 feet	Single Family Residential - a) Streets with a total of 40 D.U.'s maximum - 28' Fl. to Fl. b) All others - 32' Fl. to Fl.** ** Lesser right of way and pavement widths may be considered by the DRB for very dense townhouse developments where curb parking is virtually precluded by driveway spacing and very low density developments with wide lots and large setbacks. Lesser pavement widths will be handled as a variance under Section 7-16-7 of the Subdivision Ordinance.

Street Width