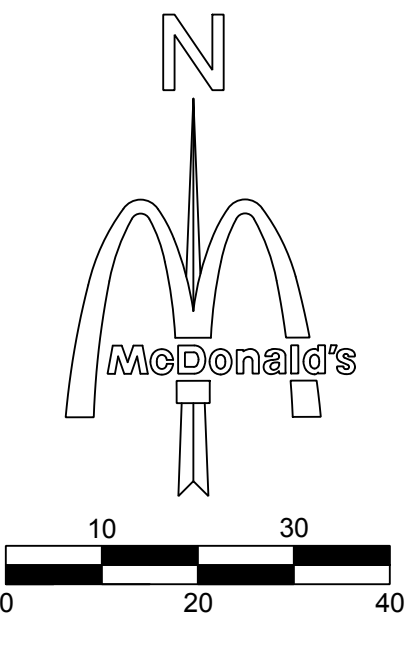
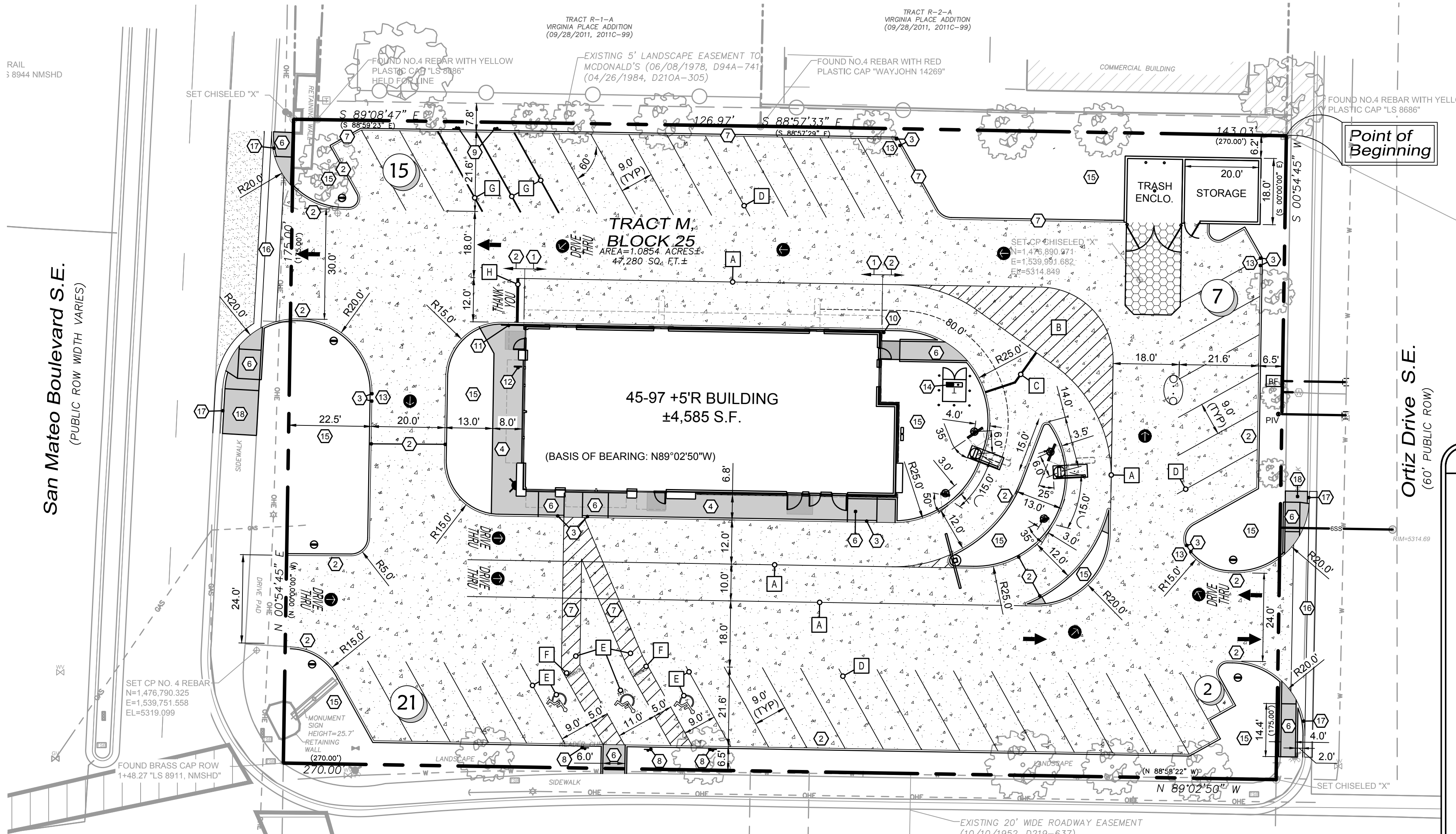




THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.



EXISTING LEGEND

- N 90°10'00" E MEASURED BEARING AND DISTANCES
MATCH RECORD BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
 - DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "S 11893" SET THIS SURVEY
 - ⊕ CONTROL POINT SET THIS SURVEY
 - △ FOUND MONUMENT AGRS MONUMENT AS DESIGNATED
 - ⊙ SERVICE/DROP POLE AS DESIGNATED
 - ⊙ UTILITY POLE
 - ⊙ GUY WIRE
 - ⊙ ELECTRIC BOX
 - ⊙ ELECTRIC METER
 - ⊙ LIGHT POLE
 - ⊙ TRANSFORMER
 - ⊙ TRAFFIC SIGNAL BOX
 - ⊙ TRAFFIC LIGHT
 - ⊙ IRRIGATION CONTROL VALVE
 - ⊙ WATER METER
 - ⊙ WATER VALVE
 - ⊙ FIRE HYDRANT
 - ⊙ SANITARY SEWER MANHOLE
 - ⊙ STORM SEWER MANHOLE
 - ⊙ SIGN
 - ⊙ GAS METER
 - ⊙ MEDIAN INLET
 - ⊙ CURB INLET
 - ⊙ GUARD POST
 - ⊙ TREE
 - ⊙ HANDICAP PARKING SPACE
 - ⊙ SPOOT
 - ⊙ PARKING CONCRETE BUMPER
 - ⊙ CURB AND GUTTER
 - ⊙ OVERHEAD UTILITY LINE
 - ⊙ GAS LINE
 - ⊙ WATER LINE
 - ⊙ SANITARY SEWER LINE
 - ⊙ STORM SEWER LINE
 - ⊙ METAL FENCE
 - ⊙ CHAIN LINK FENCE
 - ⊙ ASPHALT
 - UTILITY PEDISTAL

KEY NOTE LEGEND

MARK	MARK DESCRIPTION
①	CONCRETE VERTICAL CURB @DRIVE-THRU (RE: C10.2 STANDARD DETAILS)
②	CURB AND GUTTER @NON DRIVE-THRU AREAS (RE: C10.2 STANDARD DETAILS)
③	TURN DOWN CURB (RE: C10.3 STANDARD DETAILS)
④	REINFORCED CONCRETE SIDEWALK (RE: C10.3 STANDARD DETAILS)
⑤	NOT USED
⑥	H.C. ACCESS RAMP @1:12 MAX SLOPE (RE: C10.1 STANDARD DETAILS)
⑦	DEEP CURB (RE: C10.2 STANDARD DETAILS)
⑧	HANDICAP ACCESSIBLE SIGN (POLE MOUNTED) (RE: C10.1 STANDARD DETAILS)
⑨	McDONALD'S OOSP SIGN (RE: C10.4 STANDARD DETAILS)
⑩	BOLLARD (RE: C10.1 STANDARD DETAILS)
⑪	GUARDRAIL @ INGRESS/EGRESS DOOR (RE: C10.1 STANDARD DETAILS)
⑫	BIKE RACK (RE: 10.5 STANDARD DETAILS)
⑬	2" CURB CUT (RE: C8.1 POST DEVELOPED DRAINAGE PLAN)
⑭	PAD MOUNTED TRANSFORMER (RE: C10.0 UTILITY PLAN)
⑮	LANDSCAPE FINISH GRADE 1" BELOW TOP OF CURB IN ALL LAWN AREAS AND 2" BELOW TOP OF CURB IN ALL BED AREAS
⑯	VALLEY GUTTER (RE: COA STD. DWG. #2420)
⑰	STANDARD CURB & GUTTER (RE: COA STD. DWG. #2415A)
⑱	CONCRETE SIDEWALK (RE: COA STD. DWG. #2430)

BENCHMARK

- A.G.R.S. MONUMENT "1_M18" STANDARD A.G.R.S. BRASS DISC (FOUND IN PLACE) NM STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)
N=1,475,663.285 E=1,543,374.499
PUBLISHED EL=5339.90 (NAVD 1988)
GROUND TO GRID FACTOR=0.999659251
DELTA ALPHA ANGLE=0°11'10.47"
- A.G.R.S. MONUMENT "14_117" STANDARD A.G.R.S. BRASS DISC (FOUND IN PLACE) NM STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)
N=1,480,200.281 E=1,534,391.165
PUBLISHED EL=5319.339 (NAVD 1988)
GROUND TO GRID FACTOR=0.999662355
DELTA ALPHA ANGLE=0°12'12.90"
- TEMPORARY ON-SITE BENCHMARK - SET CP NO. 4 REBAR ON SOUTH SIDE OF SW DRIVEWAY
N=1,476,790.325 E=1,539,751.558
EL=5319.099
- TEMPORARY ON-SITE BENCHMARK - SET CP CHISELED "X" ON CURB OF OUTSIDE DRIVE-THRU ISLAND NEAR NE CORNER OF THE SITE
N=1,476,890.971 E=1,539,991.682
EL=5314.849

PAVEMENT MARKING LEGEND

MARK	MARK DESCRIPTION
A	6" DRIVE-THRU STRIPING - COLOR : YELLOW
B	4" DIAGONAL PAINTED ISLANDS AT DRIVE-THRU - COLOR : YELLOW
C	6" MERGE POINT - COLOR : YELLOW
D	4" PARKING STALL STRIPING - COLOR : WHITE (TYP)
E	HANDICAP ACCESSIBLE SPACES / SYMBOLS / CROSSWALK - COLOR : (PER STATE/CITY REQUIREMENTS)
F	"NO PARKING" IN CAPITAL LETTERS EACH OF WHICH SHALL BE AT LEAST 1" HIGH AND AT LEAST 2" WIDE - COLOR : (PER STATE/CITY REQUIREMENTS)
G	4" OOSP STRIPING - COLOR : YELLOW
H	8" OOSP STRIPING - COLOR : YELLOW
I	FIRE LANE STRIPING PER CITY OF ALBUQUERQUE FIRE CODE STANDARDS

STANDARD ACCESSIBILITY REQUIREMENTS

PARKING:
ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A MIN. 96" WIDE OR A MIN. 132" WIDE FOR VAN DESIGNATED SPACES WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS). ALL BUILDINGS SHALL HAVE AT LEAST ONE VAN ACCESSIBLE SPACE.

EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AT LEAST ONE SPACE MUST INCORPORATE "VAN-ACCESSIBLE" BELOW THE SYMBOL OF ACCESSIBILITY. SIGN SHALL BE LOCATED AS NOTED TO 60" (MIN.) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF TEXT.

ALL ACCESS AISLES SERVING ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A 60" WIDE MINIMUM.

RAMPS:
RAMPS EXCEEDING 6" IN RISE (EXCLUDING CURB RAMPS) SHALL HAVE APPROPRIATE EDGE PROTECTION WITH HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38", AND EXTEND 12" BEYOND THE TOP AND BOTTOM OF RAMP. HANDRAIL SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.

IF REQUIRED BY LOCAL OR STATE JURISDICTION, RAMPS SHALL CONTAIN A TRUNCATED DOME SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE. AND MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES - (OR PAINT STRIPE).

LANDINGS FOR RAMPS SHALL BE AS WIDE AS THE RAMP AND 60" LONG MINIMUM (36" MINIMUM FOR CURB RAMPS).

RAMPS SHALL NOT EXCEED A 1:12 RUNNING SLOPE OR 30° VERTICAL RISE.

RAMPS AND LANDING SHALL NOT EXCEED 1:48 (2% CROSS SLOPE).

SIDEWALKS AND ACCESSIBLE ROUTES:
SIDEWALKS MUST BE AT LEAST 36" WIDE WITH A CROSS SLOPE THAT SHALL NOT EXCEED 1:48 (2%).

LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%).

PAVING LEGEND

- REINFORCED CONCRETE SIDEWALK. MINIMUM 4" THICK REINFORCED WITH #3 BARS @ 18" O.C.E.W. CONCRETE TO BE 4000 PSI 28-DAY STRENGTH
 - 5.5" HEAVY DUTY REINFORCED CONCRETE @ DRIVING AREAS & DRIVE-THRU & PARKING AREAS (RE: C6.0 PAVING PLAN)
 - REINFORCED CONCRETE PAVEMENT @ TRASH ENCLOSURE APRON. MINIMUM 7" THICK REINFORCED WITH #3 BARS @ 18" O.C.E.W. CONCRETE TO BE 4000 PSI 28-DAY STRENGTH
 - ASPHALT PAVEMENT (RE: COA DWG. 2407)
 - LANDSCAPE AREA
 - SAWCUT LINE
 - 2.5" IRRIGATION SLEEVES
- *REFER TO GEOTECH REPORT PROVIDED BY TERRACON IN REPORT NO. 66175223 FOR ALL PAVING SPECIFICATIONS.

SITE INFORMATION

LAND AREA: 47,280 SF (1.0854 AC)
CURRENT ZONING: C-2
EXISTING USE: McDONALD'S DRIVE-THRU RESTAURANT
PROPOSED USE: McDONALD'S DRIVE-THRU RESTAURANT

BUILDING AREA (APPROXIMATE): 4,617 SF
BUILDING LOT COVERAGE: 4,617 SF/47,280 SF = 9.76%
PARKING REQUIRED: 1 SPACE PER 4 SEATS
64/4 = 16 SPACES

PARKING PROVIDED: 43

HANDICAP PARKING REQUIRED: 3
HANDICAP PARKING PROVIDED: 3

MOTORCYCLE PARKING REQUIRED: 2
MOTORCYCLE PARKING PROVIDED: 2
BICYCLE PARKING REQUIRED: 2
BICYCLE PARKING PROVIDED: 2

EXISTING IMPERVIOUS AREA: 40,995 SF
PROPOSED IMPERVIOUS AREA: 38,369 SF

PROPOSED LANDSCAPE PERCENTAGE: 16.75 % (9,911 SF)

LEGEND

- LIGHT STANDARD (15' CLEAR FROM ALL OVERHEAD UTILITY LINES) (24" CLEAR FROM BACK OF CURB)
- ROAD SIGN (EXISTING POLE)
- McDONALD'S DIGITAL MENU BOARD
- McDONALD'S ORDER HERE CANOPY
- McDONALD'S DIGITAL PRE-BROWSE BOARD
- McDONALD'S DOUBLE GATEWAY
- McDONALD'S DIRECTIONAL SIGN
- DETECTOR LOOP (LOCATION TO BE APPROVED BY McDONALD'S) (RE: C10.0 STANDARD DETAILS)
- POWER POLE
- DOMESTIC WATER METER (EXISTING)
- IRRIGATION WATER METER
- BACK FLOW PREVENTION DEVICE (RE: C10.0 UTILITY PLAN)
- FIRE HYDRANT (EXISTING)
- GREASE INTERCEPTOR (RE: C10.0 UTILITY PLAN)
- "DRIVE-THRU" WITH "CIRCLE / ARROW" - COLOR : YELLOW
- "THANK YOU" AT END OF PATH - COLOR : YELLOW
- "CIRCLE / ARROW" - COLOR : YELLOW
- ARROW PATH DIRECTION - COLOR : WHITE



BY
HJM

DESCRIPTION
ISSUE FOR PERMIT

REV
11/2017

DATE
11/2017

ADAMS JOB NO.:
2017-135

8951 Cypress Vales Blvd, Suite 150 • Dallas, Texas 75019 • (817) 338-3200

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5001 GIBSON SE
ALBUQUERQUE, NM

McDONALD'S U.C.:
030-0022

OFFICE
ADDRESS
MTN. SOUTHWEST FIELD EXECUTION TEAM
KROC DRIVE - OAK BROOK, ILLINOIS 60521

DATE
NOV. 2017

DATE
NOV. 2017

DATE
11/20/2017

PLAN APPROVALS
SIGNATURE (2 REQUIRED)

REGIONAL MGR.
CONST. MGR.
OPERATIONS DEPT.
REAL ESTATE DEPT.

CO-SIGN SIGNATURES
CONTRACTOR
OWNER

DESIGNED
NOV. 2017
HJM

DRAWN
NOV. 2017
HJM

CHECKED
11/20/2017
DWL

AS-BUILT

TRAFFIC CIRCULATION PLAN

C4.1

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