

# CITY OF ALBUQUERQUE



August 8, 2018

Dennis W. Lang, P.E.  
Adams Engineering  
8951 Cypress Waters Blvd SE  
Dallas, TX 75019

**Re: McDonald's**  
**5001 Gibson Blvd SE**  
**30-Day Temporary Certificate of Occupancy-Transportation Development**  
**Transportation Development Final Inspection**  
Engineer's/Architect's Stamp dated 01-09-18 (L18D053)  
Certification dated 07-31-18

Dear Mr. Lang


Based upon the information provided in your submittal received 07-31-18, Transportation Development has no objection to the issuance of a 30-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

1. Please add Motorcycle parking signs & McDonalds OOSP Sign.
2. Please add NO Parking in the ADA access aisle.

Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to submittal. If you have any questions, please contact me at (505) 924-3981.

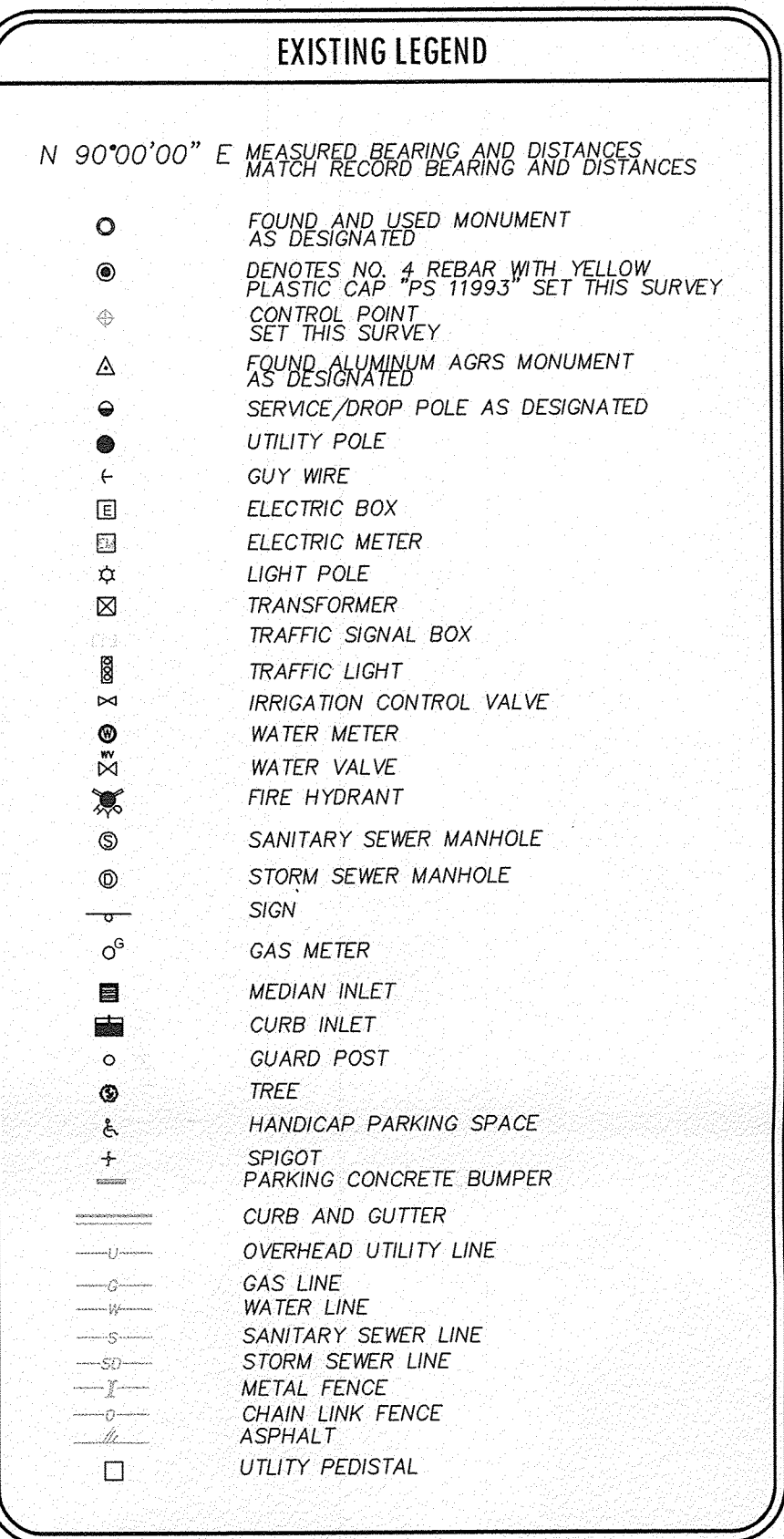
Sincerely,

  
Ernie Gomez  
Plan Checker, Transportation & Hydrology  
Development Review Services


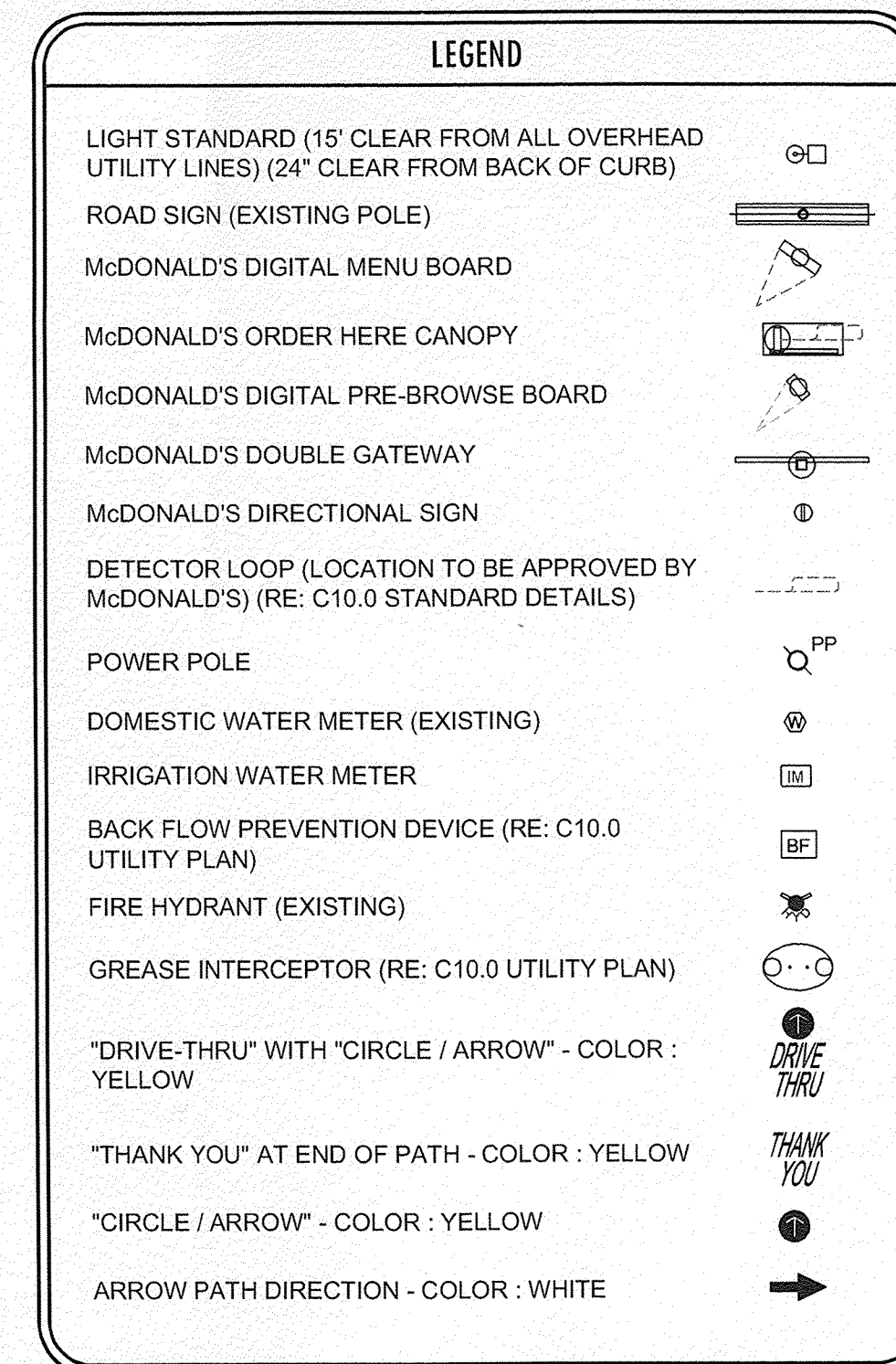
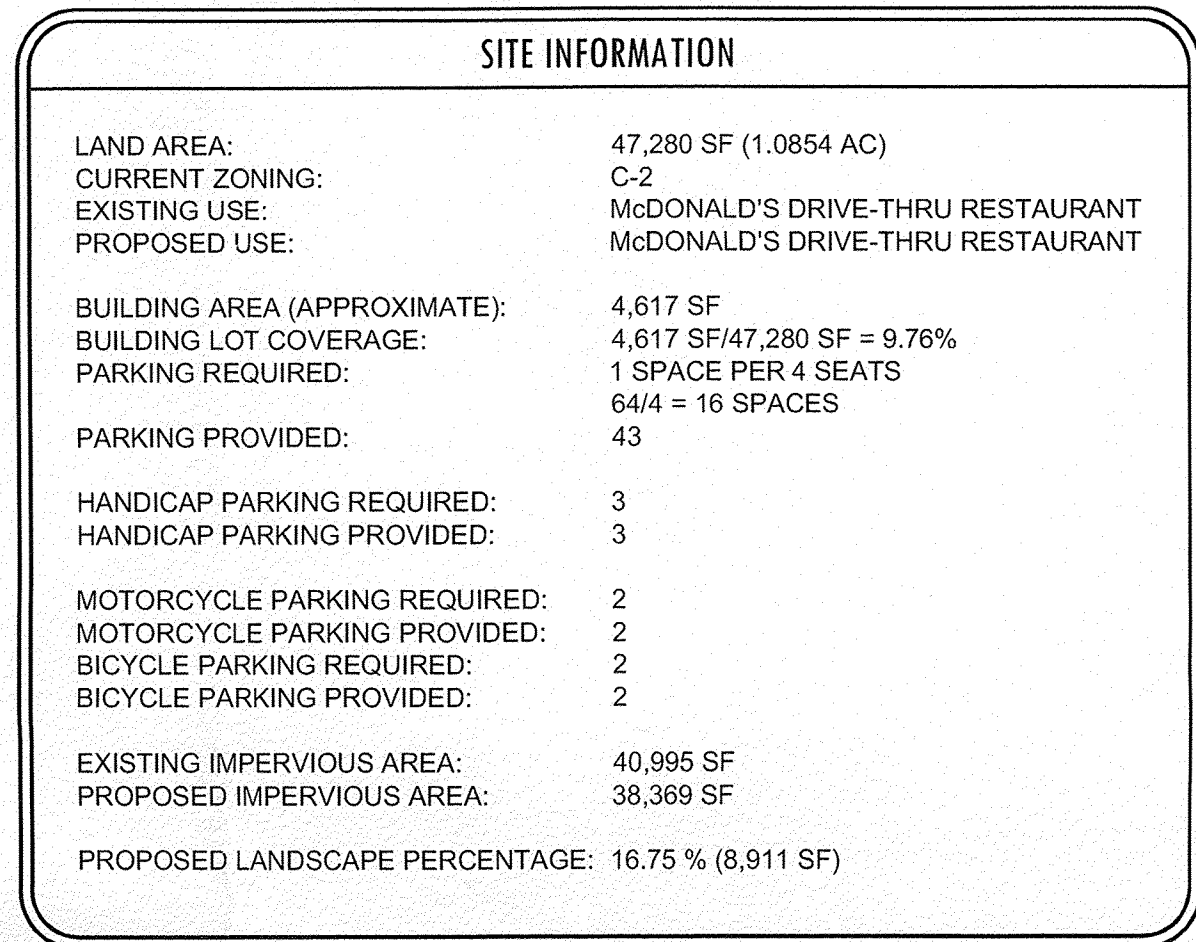
Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

EG via: email  
C: CO Clerk, File





KEY NOTE LEGEND	
MARK	MARK DESCRIPTION
①	CONCRETE SIDEWALK CURB @DRIVE-THRU (RE: C10.2 STANDARD DETAILS)
②	CURB AND GUTTER @NON DRIVE-THRU AREAS (RE: C10.2 STANDARD DETAILS)
③	TURN DOWN CURB (RE: C10.3 STANDARD DETAILS)
④	REINFORCED CONCRETE SIDEWALK (RE: C10.3 STANDARD DETAILS)
⑤	SLOPED SIDEWALK SECTION (NOT TO EXCEED 5% SLOPE) (RE: C10.3 STANDARD DETAILS)
⑥	H.C. ACCESS RAMP @1:12 MAX SLOPE (RE: C10.1 STANDARD DETAILS)
⑦	DEEP CURB (RE: C10.2 STANDARD DETAILS)
⑧	HANDICAP ACCESSIBLE SIGN (POLE MOUNTED) (RE: C10.1 STANDARD DETAILS)
⑨	McDONALD'S OOSP SIGN (RE: C10.4 STANDARD DETAILS)
⑩	BOLLARD (RE: C10.1 STANDARD DETAILS)
⑪	GUARDRAIL @ INGRESS/EGRESS DOOR (RE: C10.1 STANDARD DETAILS)
⑫	BIKE RACK (RE: 10.5 STANDARD DETAILS)
⑬	2' CURB CUT (RE: C8.1 POST DEVELOPED DRAINAGE PLAN)
⑭	PAD MOUNTED TRANSFORMER (RE: C10.0 UTILITY PLAN)
⑮	LANDSCAPE FINISH GRADE 1" BELOW TOP OF CURB IN ALL LAWN AREAS AND 2" BELOW TOP OF CURB IN ALL BED AREAS
⑯	VALLEY GUTTER (RE: COA STD. DWG. #2420)
⑰	STANDARD CURB & GUTTER (RE: COA STD. DWG. #2415A)
⑱	CONCRETE SIDEWALK (RE: COA STD. DWG. #2430)
⑲	MOTORCYCLE PARKING SIGN (POLE MOUNTED) (MIN. 12" x 18")
⑳	"DO NOT ENTER" SIGN (POLE MOUNTED) (MUTCD R5-1)
㉑	DETECTABLE WARNING SURFACE (RE: C10.1 STANDARD DETAILS)



Know what's **below**.  
**Call** before you dig.

## STANDARD ACCESSIBILITY REQUIREMENTS

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**PARKING:**

ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A MIN. 96" WIDE (OR A MIN. 132" WIDE FOR VAN DESIGNATED SPACES) WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS). ALL BUILDINGS SHALL HAVE AT LEAST ONE VAN ACCESSIBLE SPACE.

EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AT LEAST ONE SPACE MUST INCORPORATE "VAN-ACCESSIBLE" BELOW THE SYMBOL OF ACCESSIBILITY. SIGN SHALL BE LOCATED AS NOTED TO 60" (MIN.) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF TEXT.

ALL ACCESS AISLES SERVING ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A 60" WIDE MINIMUM.

**RAMPS:**

RAMPS EXCEEDING 6" IN RISE (INCLUDING CURB RAMPS) SHALL HAVE APPROPRIATE EDGE PROTECTION WITH HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38", AND EXTEND 12" BEYOND THE TOP AND BOTTOM OF RAMP. HANDRAIL SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.

IF REQUIRED BY LOCAL OR STATE JURISDICTION, RAMPS SHALL CONTAIN A TRUNCATED DOME SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE AND MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES - (OR PAINT STRIPE).

LANDINGS FOR RAMPS SHALL BE AS WIDE AS THE RAMP AND 60" LONG MINIMUM (36" MINIMUM FOR CURB RAMPS).

RAMPS SHALL NOT EXCEED A 1:12 RUNNING SLOPE OR 30° VERTICAL RISE.


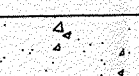





RAMPS AND LANDING SHALL NOT EXCEED 1:48 (2% CROSS SLOPE).

**SIDEWALKS AND ACCESSIBLE ROUTES:**

SIDEWALKS MUST BE AT LEAST 36" WIDE WITH A CROSS SLOPE THAT SHALL NOT EXCEED 1:48 (2%).

LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%).

**PAVING LEGEND**

	<p>REINFORCED CONCRETE SIDEWALK. MINIMUM 4" THICK REINFORCED WITH #3 BARS @ 18" O.C.E.W. CONCRETE TO BE 4000 PSI 28-DAY STRENGTH</p>
	<p>5.5" HEAVY DUTY REINFORCED CONCRETE @ DRIVING AREAS &amp; DRIVE-THRU &amp; PARKING AREAS (RE: C6.0 PAVING PLAN) *</p>
	<p>REINFORCED CONCRETE PAVEMENT @ TRASH ENCLOSURE APRON. MINIMUM 7" THICK REINFORCED WITH #3 BARS @ 18" O.C.E.W. CONCRETE TO BE 4000 PSI 28-DAY STRENGTH</p>
	<p>ASPHALT PAVEMENT (RE: COA DWG. 2407)</p>
	<p>LANDSCAPE AREA</p>
	<p>SAWCUT LINE</p>
	<p>2.5" IRRIGATION SLEEVES</p>


\*REFER TO GEOTECH REPORT PROVIDED BY TERRACON IN REPORT NO. 66175223 FOR ALL PAVING SPECIFICATIONS.

PAVEMENT MARKING LEGEND	
MARK	MARK DESCRIPTION
A	6" DRIVE-THRU STRIPING - COLOR : YELLOW
B	4" DIAGONAL PAINTED ISLANDS AT DRIVE-THRU - COLOR : YELLOW
C	6" MERGE POINT - COLOR : YELLOW
D	4" PARKING STALL STRIPING - COLOR : WHITE (TYP)
E	HANDICAP ACCESSIBLE SPACES / SYMBOLS / CROSSWALK - COLOR : (PER STATE/CITY REQUIREMENTS)
F	"NO PARKING" IN CAPITAL LETTERS EACH OF WHICH SHALL BE AT LEAST 1" HIGH AND AT LEAST 2" WIDE - COLOR : (PER STATE/CITY REQUIREMENTS)
G	4" OOSP STRIPING - COLOR : YELLOW
H	8" OOSP STRIPING - COLOR : YELLOW
I	FIRE LANE STRIPING PER CITY OF ALBUQUERQUE FIRE CODE STANDARDS

**BENCHMARK**

1. A.G.R.S. MONUMENT "1\_M18" STANDARD A.G.R.S. BRASS DISC (FOUND IN PLACE) NM STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)  
N=1,475,663.285    E=1,543,374.499  
PUBLISHED EL=5339.90 (NAVD 1988)  
GROUND TO GRID FACTOR=0.999659251  
DELTA ALPHA ANGLE=0°11'10.47"
2. A.G.R.S. MONUMENT "14\_L17" STANDARD A.G.R.S. BRASS DISC (FOUND IN PLACE) NM STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)  
N=1,480,200.281    E=1,534,391.165  
PUBLISHED EL=5319.339 (NAVD 1988)  
GROUND TO GRID FACTOR=0.999662355  
DELTA ALPHA ANGLE=0°12'12.90"
3. TEMPORARY ON-SITE BENCHMARK - SET CP NO. 4 REBAR ON SOUTH SIDE OF SW DRIVEWAY  
N=1,476,790.325    E=1,539,751.558  
EL=5319.099
4. TEMPORARY ON-SITE BENCHMARK - SET CP CHISELED "X" ON CURB OF OUTSIDE DRIVE-THRU ISLAND NEAR NE CORNER OF THE SITE  
N=1,476,890.971    E=1,539,991.682  
EL=5314.849

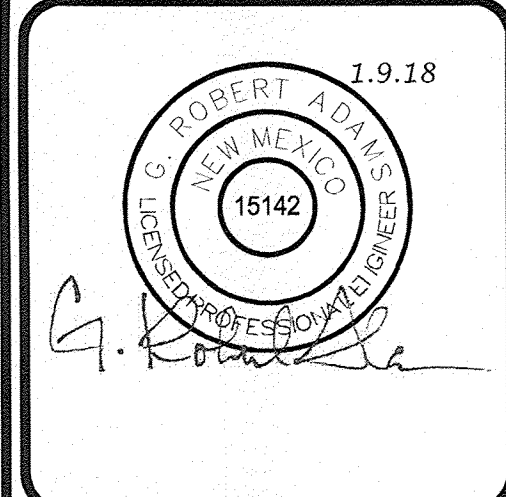
REV	DATE	DESCRIPTION	BY
000000	11/20/17	ISSUE FOR PERMIT	HJM
000001	1/9/18	PER CITY & OWNER COMMENTS	HJM
000002			
000003			
000004			




# Adams

ADAMS JOB NO.:  
2017/135

8951 Cypress Waters Blvd, Suite 150 ■ Dallas, Texas 75019 ■ (817) 338-2000



PLAN APPROVALS		OFFICE	MTW. SOUTHWEST FIELD EXECUTION TEAM	MCDONALD'S LLC: 030-0022
SIGNATURE (2 REQUIRED)		ADDRESS	KROC DRIVE - OAK BROOK, ILLINOIS 60521	
REGIONAL MGR.	DATE	 <b>McDonald's USA, LLC</b> These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall remain the confidential and proprietary property of McDonald's USA, LLC. No part of these drawings and specifications shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of McDonald's USA, LLC. These drawings are for informational purposes only and are not intended to be used for any other purpose. No specific date in conjunction with this issue date and are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.		
CONST. MGR.				
OPERATIONS DEPT.				
REAL ESTATE DEPT.				
CO-SIGN SIGNATURES				
CONTRACTOR		5001 GIBSON SE ALBUQUERQUE, NM		
OWNER				

	DATE	BY
DESIGNED	NOV. 2017	HJM
DRAWN	NOV. 2017	HJM
CHECKED	11/20/2017	DWL
AS-BUILT		

TRAFFIC  
CIRCULATION  
PLAN

C4.1







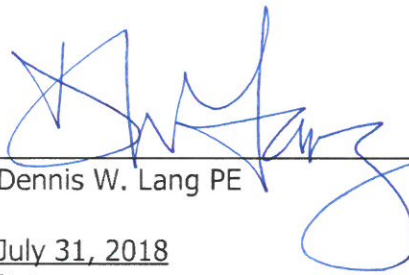


## TRAFFIC CERTIFICATION

I, Dennis Lang, NM PE, of the firm of Adams Engineering (ADAMS), hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved Traffic Circulation Plan dated January 19, 2018 (Traffic Engineering signoff date). The record information edited onto the ADAMS Grading Plan (to follow with drainage certification) has been obtained by Lorenzo (Larry) E. Dominguez, NM PS 10461, of the firm East Mountain Surveying Company, New Mexico. I further certify that I personally visited the project site on July 31, 2018, and determined by visual inspection that the survey data provided was representative of actual site conditions and was true and correct to the best of my knowledge and belief. This certification was submitted in support of a request for a certificate of occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

**Adams** | Engineering & Development Consultants

  
Dennis W. Lang PE

July 31, 2018  
Date





# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

L18 0053

**Project Title:** McDonald's 5001 Gibson **Building Permit #:** BP-2017-41563 **Hydrology File #:** LD18D053  
**DRB#:** N/A **EPC#:** N/A **Work Order#:** N/A  
**Legal Description:** LOT M, BLOCK 25, VIRGINIA PLACE ADDITION  
**City Address:** 5001 GIBSON BLVD SE

**Applicant:** Adams Engineering **Contact:** Matt Korte  
**Address:** 8951 Cypress Waters Blvd., Suite 150  
**Phone#:** 817-328-3239 **Fax#:** 817-328-3299 **E-mail:** matt.korte@adams-engineering.com

**Other Contact:** Rogue Architects **Contact:** Cesar Segovia  
**Address:** 513 Main Street Ste. 200, Fort Worth, TX 76102  
**Phone#:** 817-820-0433 **Fax#:**  **E-mail:** cesar@roguearchitects.com

Check all that Apply:

### DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE  
☒ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL

### TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) \_\_\_\_\_

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR

☒ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 07/31/2018 **By:** Dennis W. Lang