



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

FASTRAX REVIEW PERMIT

Project Title: McDonalds - Gibson

Building Permit #: BP-2017-41563

Hydrology File #: 48D053

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: 5001 Gibson Blvd SE, Albuquerque NM 87108

Applicant: Rogue Architects Contact: Cesar Segovia

Address: 513 Main St, Suite 300, Fort Worth TX 76102

Phone#: 817-529-6874 Fax#: _____ E-mail: cesar@roguearchitects.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN

☐ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☐ DRAINAGE REPORT

☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ OTHER (SPECIFY) _____

☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL

☐ SITE PLAN FOR SUB'D APPROVAL

☐ SITE PLAN FOR BLDG. PERMIT APPROVAL

☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE

☐ FOUNDATION PERMIT APPROVAL

☐ GRADING PERMIT APPROVAL

☐ SO-19 APPROVAL

☐ PAVING PERMIT APPROVAL

☐ GRADING/ PAD CERTIFICATION

☐ WORK ORDER APPROVAL

☐ CLOMR/LOMR

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 1/17/2018

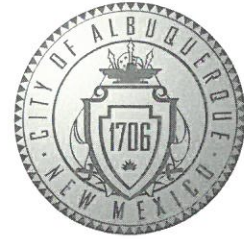
By: Cesar Segovia

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

CITY OF ALBUQUERQUE



January 19, 2018

Cesar Segovia
Rogue Architects
513 Main St, Suite 300
Fort Worth, TX 76102

Re: McDonalds Gibson
5001 Gibson SE
Traffic Circulation Layout
Architect's Stamp dated 01-19-18 (L18-D053)

Dear Mr. Segovia,

The TCL submittal received 01-18-18 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

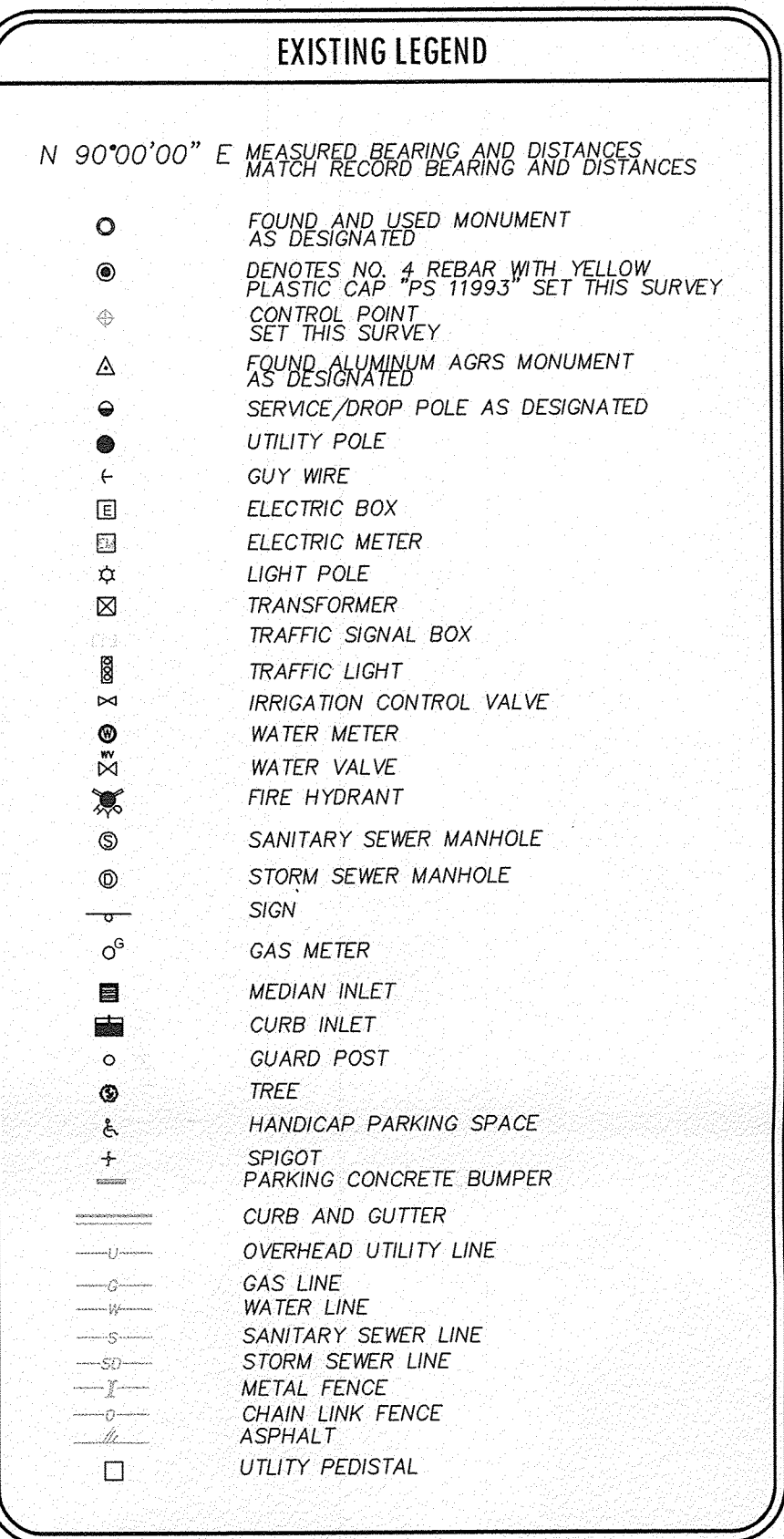
When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.


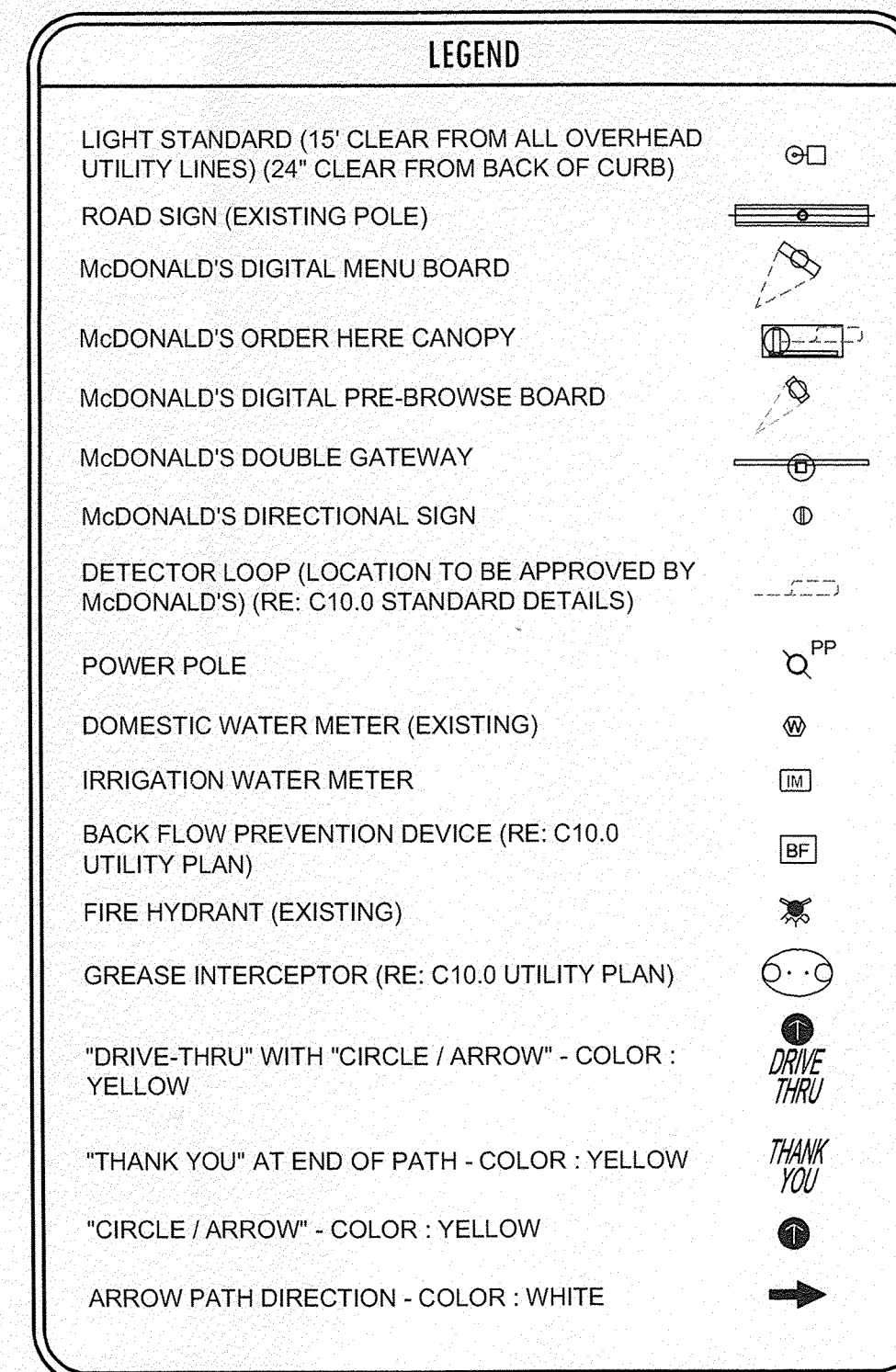
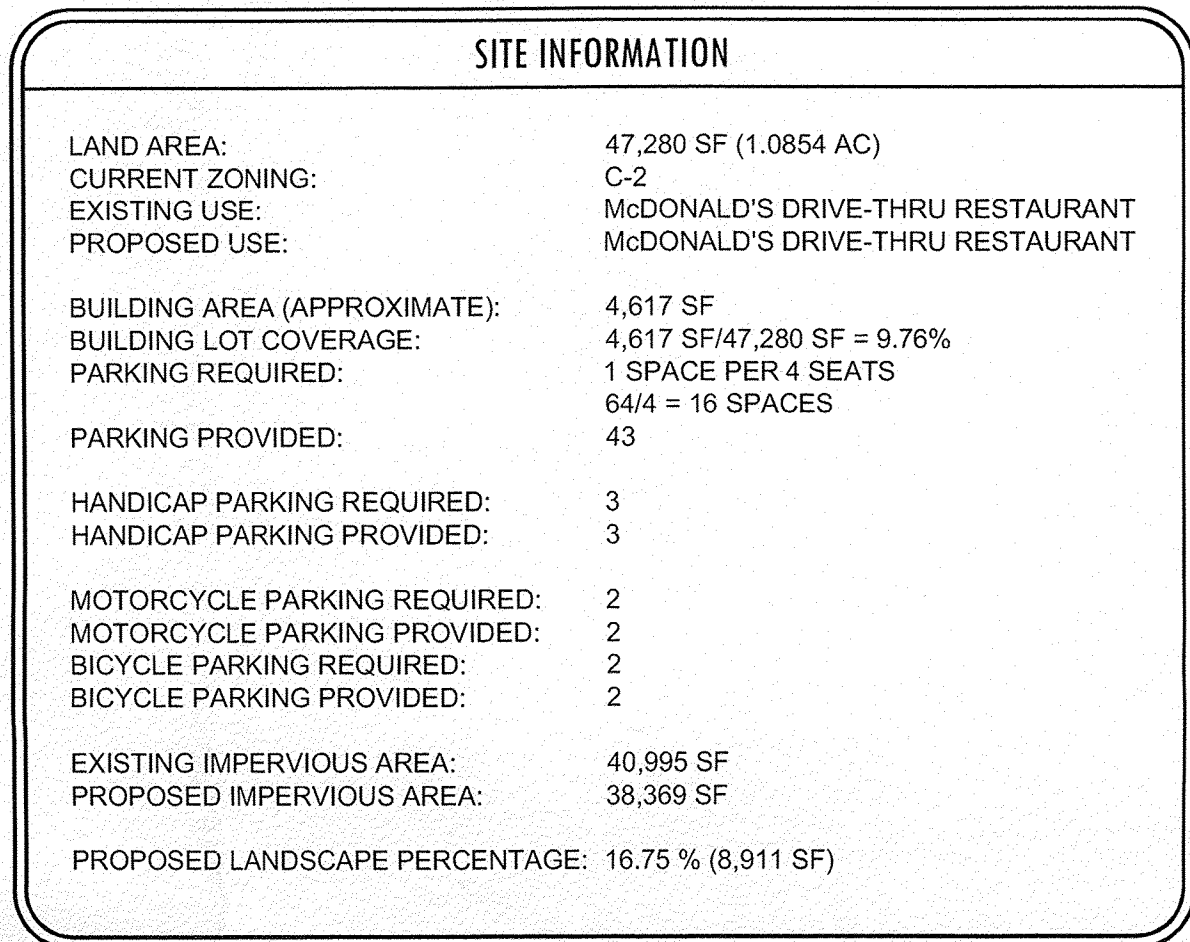
Sincerely,

Logan Patz
Senior Engineer, Planning Department
Development Review Services

LWP via: email
C: File



KEY NOTE LEGEND	
MARK	MARK DESCRIPTION
①	CONCRETE SIDEWALK CURB @DRIVE-THRU (RE: C10.2 STANDARD DETAILS)
②	CURB AND GUTTER @NON DRIVE-THRU AREAS (RE: C10.2 STANDARD DETAILS)
③	TURN DOWN CURB (RE: C10.3 STANDARD DETAILS)
④	REINFORCED CONCRETE SIDEWALK (RE: C10.3 STANDARD DETAILS)
⑤	SLOPED SIDEWALK SECTION (NOT TO EXCEED 5% SLOPE) (RE: C10.3 STANDARD DETAILS)
⑥	H.C. ACCESS RAMP @1:12 MAX SLOPE (RE: C10.1 STANDARD DETAILS)
⑦	DEEP CURB (RE: C10.2 STANDARD DETAILS)
⑧	HANDICAP ACCESSIBLE SIGN (POLE MOUNTED) (RE: C10.1 STANDARD DETAILS)
⑨	McDONALD'S OOSP SIGN (RE: C10.4 STANDARD DETAILS)
⑩	BOLLARD (RE: C10.1 STANDARD DETAILS)
⑪	GUARDRAIL @ INGRESS/EGRESS DOOR (RE: C10.1 STANDARD DETAILS)
⑫	BIKE RACK (RE: 10.5 STANDARD DETAILS)
⑬	2' CURB CUT (RE: C8.1 POST DEVELOPED DRAINAGE PLAN)
⑭	PAD MOUNTED TRANSFORMER (RE: C10.0 UTILITY PLAN)
⑮	LANDSCAPE FINISH GRADE 1" BELOW TOP OF CURB IN ALL LAWN AREAS AND 2" BELOW TOP OF CURB IN ALL BED AREAS
⑯	VALLEY GUTTER (RE: COA STD. DWG. #2420)
⑰	STANDARD CURB & GUTTER (RE: COA STD. DWG. #2415A)
⑱	CONCRETE SIDEWALK (RE: COA STD. DWG. #2430)
⑲	MOTORCYCLE PARKING SIGN (POLE MOUNTED) (MIN. 12" x 18")
⑳	"DO NOT ENTER" SIGN (POLE MOUNTED) (MUTCD R5-1)
㉑	DETECTABLE WARNING SURFACE (RE: C10.1 STANDARD DETAILS)



Know what's **below**.
Call before you dig.

STANDARD ACCESSIBILITY REQUIREMENTS

PARKING:

ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A MIN. 96" WIDE (OR A MIN. 132" WIDE FOR VAN DESIGNATED SPACES) WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS). ALL BUILDINGS SHALL HAVE AT LEAST ONE VAN ACCESSIBLE SPACE.

EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AT LEAST ONE SPACE MUST INCORPORATE "VAN-ACCESSIBLE" BELOW THE SYMBOL OF ACCESSIBILITY. SIGN SHALL BE LOCATED AS NOTED TO 60" (MIN.) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF TEXT.

ALL ACCESS AISLES SERVING ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A 60" WIDE MINIMUM.

RAMPS:

RAMPS EXCEEDING 6" IN RISE (INCLUDING CURB RAMPS) SHALL HAVE APPROPRIATE EDGE PROTECTION WITH HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38", AND EXTEND 12" BEYOND THE TOP AND BOTTOM OF RAMP. HANDRAIL SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.

IF REQUIRED BY LOCAL OR STATE JURISDICTION, RAMPS SHALL CONTAIN A TRUNCATED DOME SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE AND MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES - (OR PAINT STRIPE).

LANDINGS FOR RAMPS SHALL BE AS WIDE AS THE RAMP AND 60" LONG MINIMUM (36" MINIMUM FOR CURB RAMPS).

RAMPS SHALL NOT EXCEED A 1:12 RUNNING SLOPE OR 30° VERTICAL RISE.


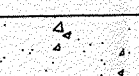





RAMPS AND LANDING SHALL NOT EXCEED 1:48 (2% CROSS SLOPE).

SIDEWALKS AND ACCESSIBLE ROUTES:

SIDEWALKS MUST BE AT LEAST 36" WIDE WITH A CROSS SLOPE THAT SHALL NOT EXCEED 1:48 (2%).

LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%).

PAVING LEGEND

	<p>REINFORCED CONCRETE SIDEWALK. MINIMUM 4" THICK REINFORCED WITH #3 BARS @ 18" O.C.E.W. CONCRETE TO BE 4000 PSI 28-DAY STRENGTH</p>
	<p>5.5" HEAVY DUTY REINFORCED CONCRETE @ DRIVING AREAS & DRIVE-THRU & PARKING AREAS (RE: C6.0 PAVING PLAN) *</p>
	<p>REINFORCED CONCRETE PAVEMENT @ TRASH ENCLOSURE APRON. MINIMUM 7" THICK REINFORCED WITH #3 BARS @ 18" O.C.E.W. CONCRETE TO BE 4000 PSI 28-DAY STRENGTH</p>
	<p>ASPHALT PAVEMENT (RE: COA DWG. 2407)</p>
	<p>LANDSCAPE AREA</p>
	<p>SAWCUT LINE</p>
	<p>2.5" IRRIGATION SLEEVES</p>


*REFER TO GEOTECH REPORT PROVIDED BY TERRACON IN REPORT NO. 66175223 FOR ALL PAVING SPECIFICATIONS.

PAVEMENT MARKING LEGEND	
MARK	MARK DESCRIPTION
A	6" DRIVE-THRU STRIPING - COLOR : YELLOW
B	4" DIAGONAL PAINTED ISLANDS AT DRIVE-THRU - COLOR : YELLOW
C	6" MERGE POINT - COLOR : YELLOW
D	4" PARKING STALL STRIPING - COLOR : WHITE (TYP)
E	HANDICAP ACCESSIBLE SPACES / SYMBOLS / CROSSWALK - COLOR : (PER STATE/CITY REQUIREMENTS)
F	"NO PARKING" IN CAPITAL LETTERS EACH OF WHICH SHALL BE AT LEAST 1" HIGH AND AT LEAST 2" WIDE - COLOR : (PER STATE/CITY REQUIREMENTS)
G	4" OOSP STRIPING - COLOR : YELLOW
H	8" OOSP STRIPING - COLOR : YELLOW
I	FIRE LANE STRIPING PER CITY OF ALBUQUERQUE FIRE CODE STANDARDS

BENCHMARK

1. A.G.R.S. MONUMENT "1_M18" STANDARD A.G.R.S. BRASS DISC (FOUND IN PLACE) NM STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)
N=1,475,663.285 E=1,543,374.499
PUBLISHED EL=5339.90 (NAVD 1988)
GROUND TO GRID FACTOR=0.999659251
DELTA ALPHA ANGLE=0°11'10.47"
2. A.G.R.S. MONUMENT "14_L17" STANDARD A.G.R.S. BRASS DISC (FOUND IN PLACE) NM STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)
N=1,480,200.281 E=1,534,391.165
PUBLISHED EL=5319.339 (NAVD 1988)
GROUND TO GRID FACTOR=0.999662355
DELTA ALPHA ANGLE=0°12'12.90"
3. TEMPORARY ON-SITE BENCHMARK - SET CP NO. 4 REBAR ON SOUTH SIDE OF SW DRIVEWAY
N=1,476,790.325 E=1,539,751.558
EL=5319.099
4. TEMPORARY ON-SITE BENCHMARK - SET CP CHISELED "X" ON CURB OF OUTSIDE DRIVE-THRU ISLAND NEAR NE CORNER OF THE SITE
N=1,476,890.971 E=1,539,991.682
EL=5314.849

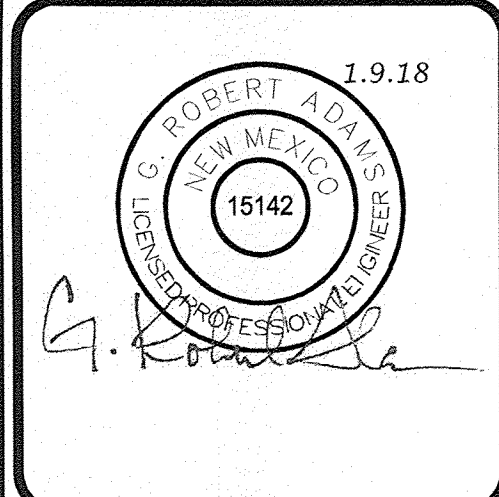
REV	DATE	DESCRIPTION	BY
	11/20/17	ISSUE FOR PERMIT	HJM
	1/9/18	PER CITY & OWNER COMMENTS	HJM

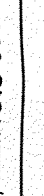


Adams

ADAMS JOB NO.:
2017.135

8951 Cypress Waters Blvd. Suite 150 ■ Dallas, Texas 75019 ■ (817) 338-2200



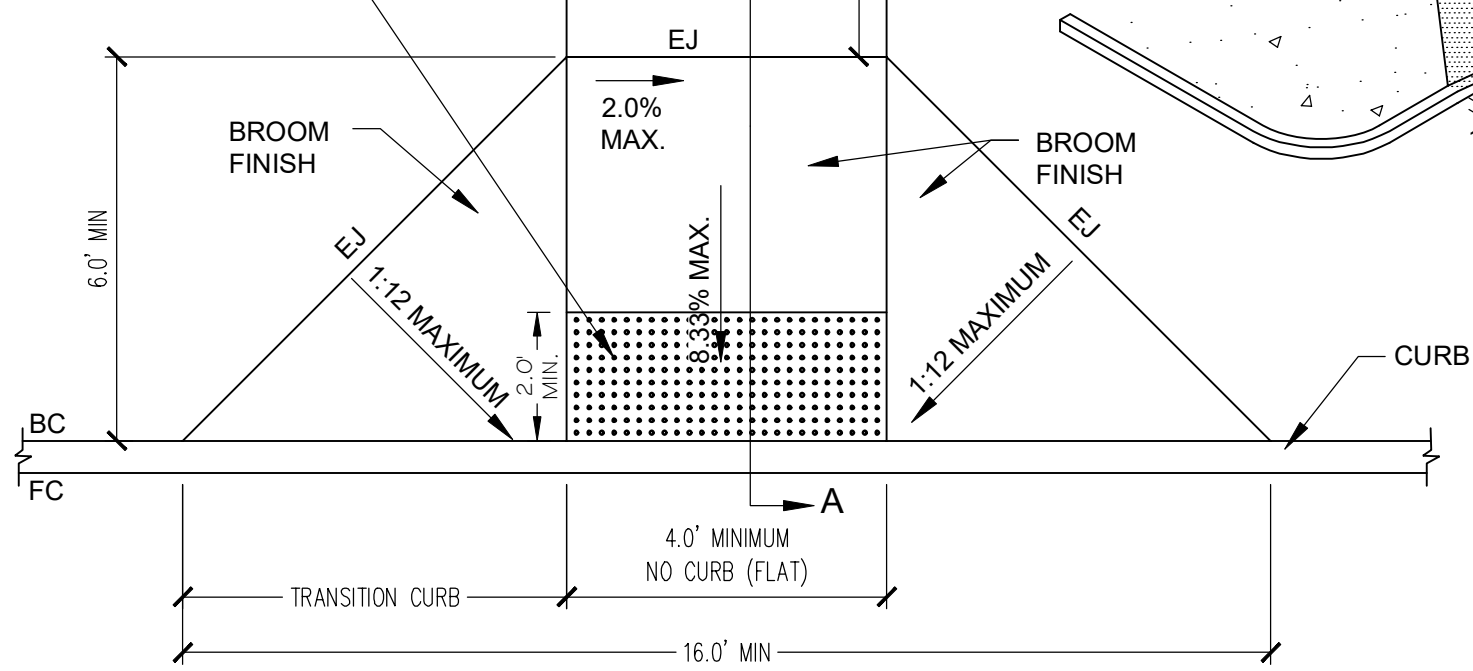
PLAN APPROVALS		OFFICE	MTN. SOUTHWEST FIELD EXECUTION TEAM
SIGNATURE (2 REQUIRED)		ADDRESS	KROC DRIVE - OAK BROOK, ILLINOIS 60521
REGIONAL MGR.		 McDonald's USA, LLC <small>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall remain the property of McDonald's USA, LLC. They are not to be distributed, copied, or used in any way without the prior written consent of McDonald's USA, LLC. These drawings are not for construction and are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the services of a properly licensed architect and engineers. Reproduction of the contract documents for reuse on another project is not authorized.</small>	
CONST. MGR.			
OPERATIONS DEPT.			
REAL ESTATE DEPT.			
CO-SIGN SIGNATURES			
CONTRACTOR		5001 GIBSON SE ALBUQUERQUE, NM	
OWNER			

	DATE	BY
DESIGNED	NOV. 2017	HJM
DRAWN	NOV. 2017	HJM
CHECKED	11/20/2017	DWL
AS-BUILT		
TRAFFIC CIRCULATION PLAN		
C4.1		

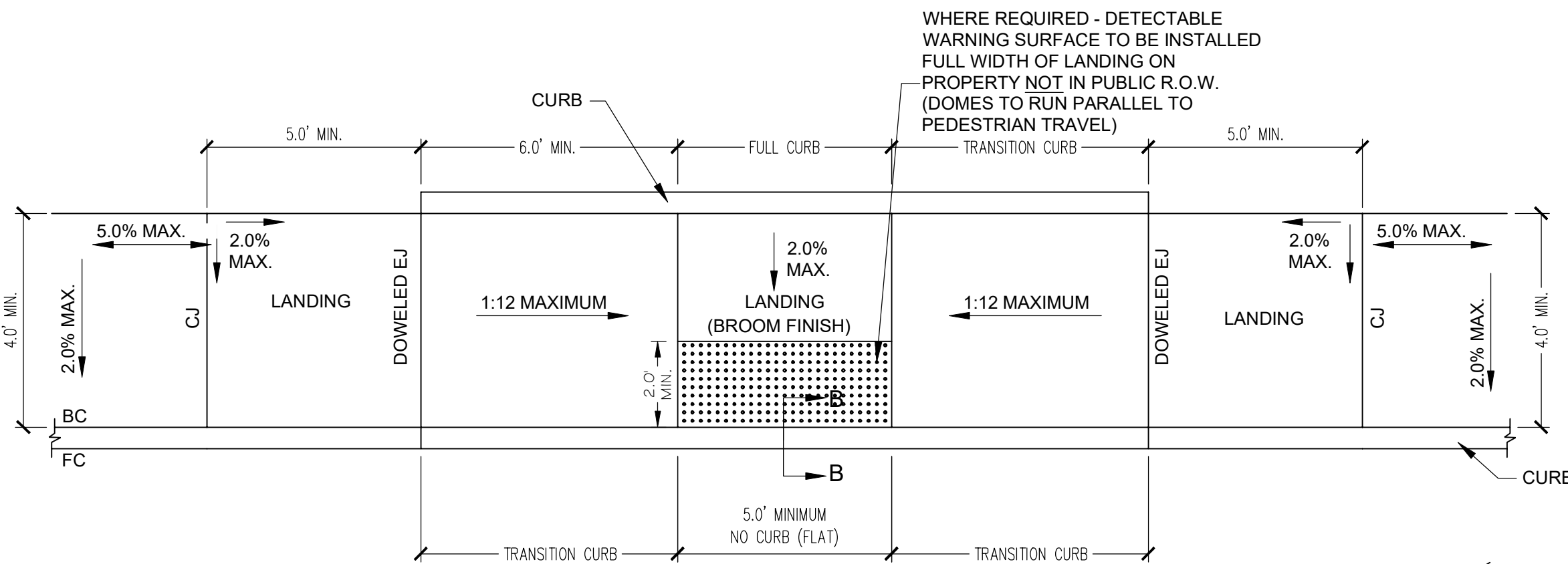
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LEGEND	
EJ	EXPANSION JOINT
CJ	CONSTRUCTION JOINT
BC	BACK OF CURB
FC	FACE OF CURB

WHERE REQUIRED - DETECTABLE WARNING SURFACE TO BE INSTALLED FULL WIDTH OF RAMP. (DOMES TO RUN PARALLEL TO PEDESTRIAN TRAVEL)



FLARED RAMP DETAIL - TYPE "A"
NOT TO SCALE



LEGEND	
EJ	EXPANSION JOINT
CJ	CONSTRUCTION JOINT
BC	BACK OF CURB
FC	FACE OF CURB

PARALLEL CURB RAMP - TYPE "B"
NOT TO SCALE

PROVIDE CAP AT TOP OF POST

THIS SIGN TYPICAL AT ALL ACCESSIBLE PARKING SPACES

VAN ACCESSIBLE TEXT ONLY WHERE APPLICABLE

PENALTY ENFORCEMENT SIGNAGE

2-3/8" GALVANIZED STEEL POST WITH 0.065in. WALL THICKNESS OR GREATER

SLOPE TOP OF CONCRETE

8" STEEL PIPE PAINTED YELLOW FILLED W/ CONCRETE

GROUND/PAVING SURFACE

3000 P.S.I. CONCRETE

2'-6"

16"

7'-0"

4" MIN.

36" (MIN)

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