



Tim Keller, Mayor

December 4, 2017

G. Roberts Adams, P.E.
Adams Engineering
8951 Cypress Waters Blvd., Suite 150
Dallas, TX 75019

**RE: McDonald's – 5001 Gibson SE
Grading and Drainage Plan
Stamp Date: No Stamp Date
Hydrology File: L18D053**

Dear Mr. Adams:

PO Box 1293

Based upon the information provided in your submittal received 11/29/2017, the Grading and Drainage Plan **is not** approved for Building Permit. The following comments need to be addressed for approval of the above referenced project:

Albuquerque

NM 87103

www.cabq.gov

1. Please provide an engineer's stamp with a signature and date.
2. The site currently shows more than 1 acre of disturbance is being proposed. An Erosion and Sediment Control (ESC) Plan is required and has to be submitted to the storm water quality engineer (Curtis Cherne, PE, ccherne@cabq.gov). Hydrology's approval for Grading or Building Permit will not be given until the submittal of the ESC Plan.
3. Please provide the FIRM Map and flood plain note with effective date.
4. Please provide a vicinity map showing the location of the site. Typically this is the Zone Atlas. This can be downloaded in pdf format from the City of Albuquerque's website.
5. Please provide drainage calculations. Use the procedure for 40 acre and smaller basins as outlined in Chapter 22, Part A of the Development Process Manual (DPM). Please provide both the existing conditions and proposed conditions for the 100 year-6 hour storm event.

CITY OF ALBUQUERQUE



Tim Keller, Mayor

6. Please provide a paragraph stating the Existing Conditions and one stating the Proposed Conditions.
7. Please provide the first flush calculations and show each pond volume on the plan at each pond. All new development projects shall manage the runoff from precipitation which occurs during the 90th Percentile Storm Events, referred to as the "first flush." The Site Plan/Drainage Plan must indicate all areas and mechanisms intended to capture the first flush. For volume calculations, the 90th Percentile storm event is 0.44 inches. For Land Treatment D the initial abstraction is 0.1", therefore the first flush volume should be based on $0.44'' - 0.1'' = 0.34''$ and only consider the impervious areas.
8. Please provide wier calculations (Chapter 22 of the DPM) for the two foot curb cuts.
9. Please provide a curb cut at the north side of the property where there is a first flush pond. The runoff needs to get to the pond.
10. Please show how the drainage is going from the proposed first flush ponds to the street curbs. Please note that runoff cannot travel over the sidewalk or ADA ramps. Please use sidewalk culverts. Then please reference City of Albuquerque standard detail No. 2236 – Sidewalk Culvert with Steel Plate Top at the sidewalk culverts.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

FASTRAX REVIEW PERMIT

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

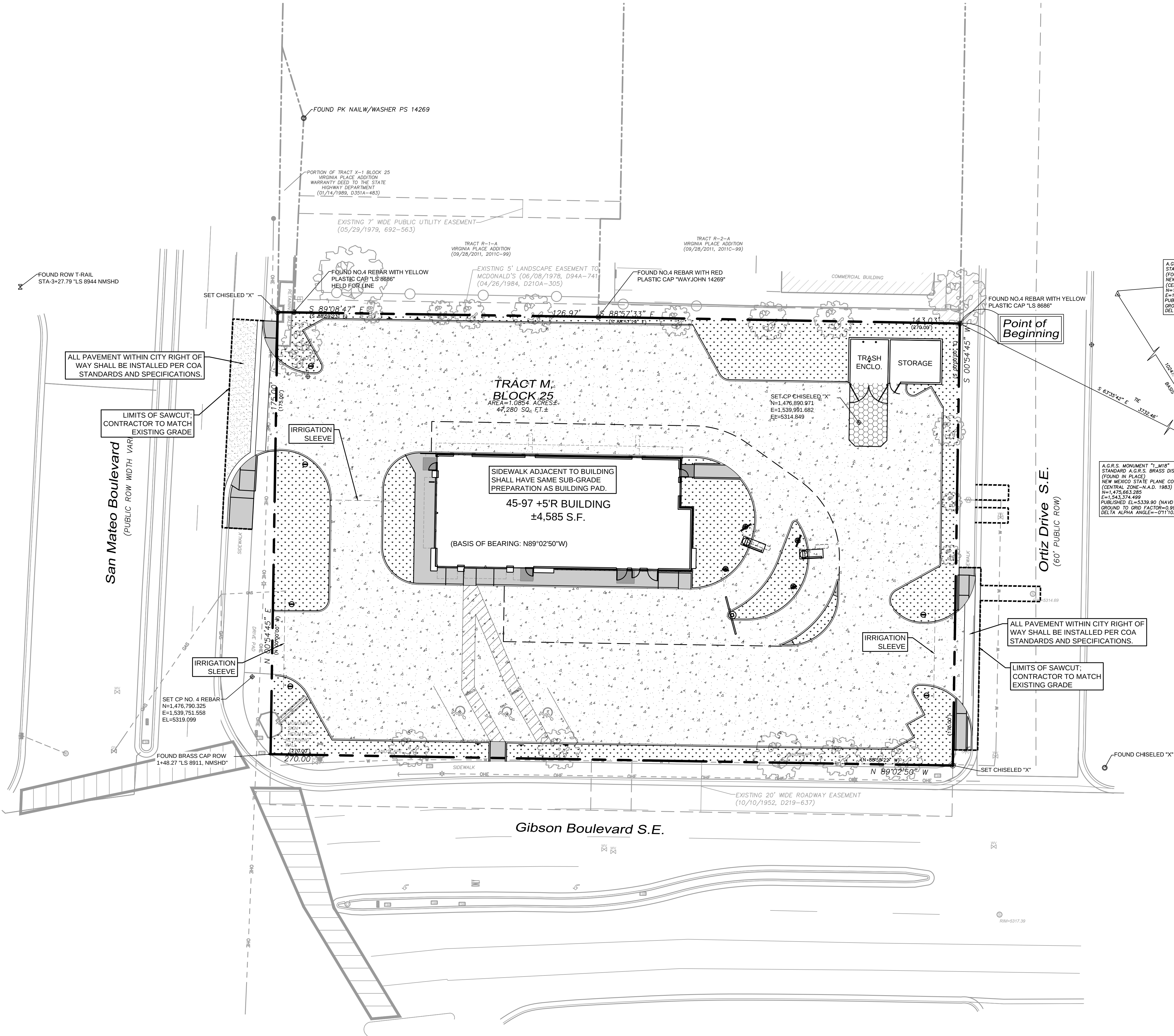
DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

FULL PATH: L:\Projects\2017\128 McDonalds - ASQ, NM (Gibson, San Mateo)\Drawings\03 Production\MCDONALD'S PAVING PLAN
 PLOTTER: DWG To PDF.pc3
 PLOT TIME: 10:44:17 AM
 PLOT DATE: Monday, November 27, 2017
 PLOTTED BY: Jacob Rodgers
 FILENAME: C:\Paving Plan.dwg



SCALE: 1" = 20'

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

OWNER INFORMATION

MCDONALD'S USA, LLC
MOUNTAIN SOUTHWEST
FIELD EXECUTION TEAM
511 E. JOHN CARPENTER FRWY, STE. 375
IRVING, TX 75062
(817) 487-1253
CONTACT: LEE MORRIS

LEGEND

- REINFORCED CONCRETE SIDEWALK. MINIMUM 4" THICK REINFORCED WITH #3 BARS @ 18" O.C.E.W. CONCRETE TO BE 4000 PSI 28-DAY STRENGTH
- HEAVY DUTY REINFORCED CONCRETE @ DRIVING AREAS & DRIVE-THRU & PARKING AREAS *
- REINFORCED CONCRETE PAVEMENT @ TRASH ENCLOSURE APRON. MINIMUM 7" THICK REINFORCED WITH #3 BARS @ 18" O.C.E.W. CONCRETE TO BE 4000 PSI 28-DAY STRENGTH
- ASPHALT PAVEMENT (RE: COA DWG. 2407)
- LANDSCAPE AREA
- SAWCUT LINE
- 2.5" IRRIGATION SLEEVES

*REFER TO GEOTECH REPORT PROVIDED BY TERRACON IN REPORT NO. 66175223 FOR ALL PAVING SPECIFICATIONS.

PAVING SPECIFICATION

VERIFY W/ MCDONALD'S: ASPHALT: ☐ CONCRETE: ☒

CONTRACTOR TO BID: ASPHALT: ☐ CONCRETE: ☒

CONCRETE PAVEMENT RECOMMENDATIONS - BASE BID

PAVEMENT MATERIALS	HEAVY DUTY
PORTLAND CEMENT CONCRETE PAVEMENT	5.5"

ASPHALT PAVEMENT RECOMMENDATIONS - ALTERNATE BID

PAVEMENT MATERIALS	HEAVY DUTY
ASPHALT SURFACE COURSE	3.5" OR 5"
AGGREGATE BASE	6" OR X"

PAVEMENT NOTES:

- PAVEMENT AND SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY TERRACON, DATED 11/17/2017. [66175223].
- SUBGRADE SHOULD BE SCARIFIED AND COMPACTED TO AT LEAST 98 PERCENT OF THE STANDARD PROCTOR (ASTM D 698) MAXIMUM DRY DENSITY FOR A DEPTH OF AT LEAST 10 INCHES BELOW THE SURFACE. SEE SECTION 4.2.3 OF GEOTECH REPORT.
- PAVEMENT MAY BE PLACED AFTER THE SUBGRADE HAS BEEN PROPERLY COMPACTED, FINE-GRADED AND PROOF ROLLED AS SPECIFIED IN THE SOILS REPORT.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE NEW MEXICO DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
- WATER SHOULD NOT BE ALLOWED TO POND BEHIND CURBS AND SATURATE THE BASE MATERIALS. GRANULAR BASE MATERIAL SHOULD EXTEND THROUGH THE SLOPE PROVIDING UNDERGROUND DRAINAGE AN EXIT PATH. REFER TO C10.2 FOR CONCRETE JOINT SPECIFICATIONS UNLESS NOTED OTHERWISE IN THE SOILS REPORT.
- ALL CONCRETE PAVEMENT SHALL BE 4,000 PSI @ 28 DAYS AND REINFORCED WITH #3 BARS @ 18" O.C.E.W.
- MOISTURE CURING IS REQUIRED, AND SHALL BE IN ACCORDANCE WITH MCDONALD SPECIFICATION 321313 CONCRETE PAVING.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.
- THE INFORMATION ABOVE IS BEING PROVIDED FOR REFERENCE ONLY AND SHALL NOT BE RELIED ON AS ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REFERRING TO THE GEOTECHNICAL REPORT REFERENCED ABOVE FOR ALL PAVEMENT/ARTWORK REQUIREMENTS.

Know what's below.
Call before you dig.

NOT FOR CONSTRUCTION

BY	DESCRIPTION
HJM	ISSUE FOR PERMIT
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REV	DATE
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ADAMS JOB NO.: 2017.135

8951 Cypress Waters Blvd Suite 150 ■ Dallas, Texas 75019 ■ (817) 338-3200

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OFFICE	MTN. SOUTHWEST FIELD EXECUTION TEAM	MCDONALD'S I/C:
ADDRESS	KROC DRIVE - OAK BROOK, ILLINOIS 60521	030-0022

McDonald's USA, LLC

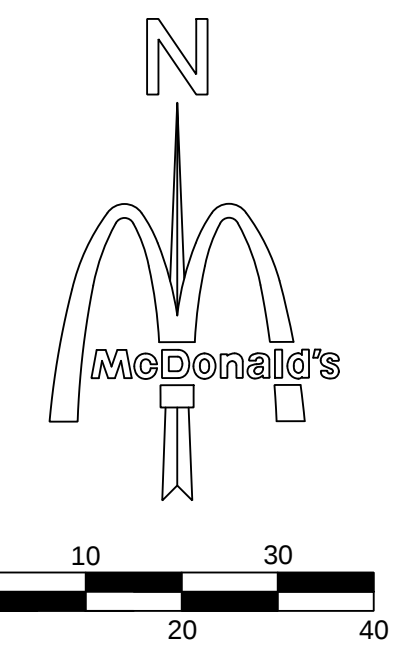
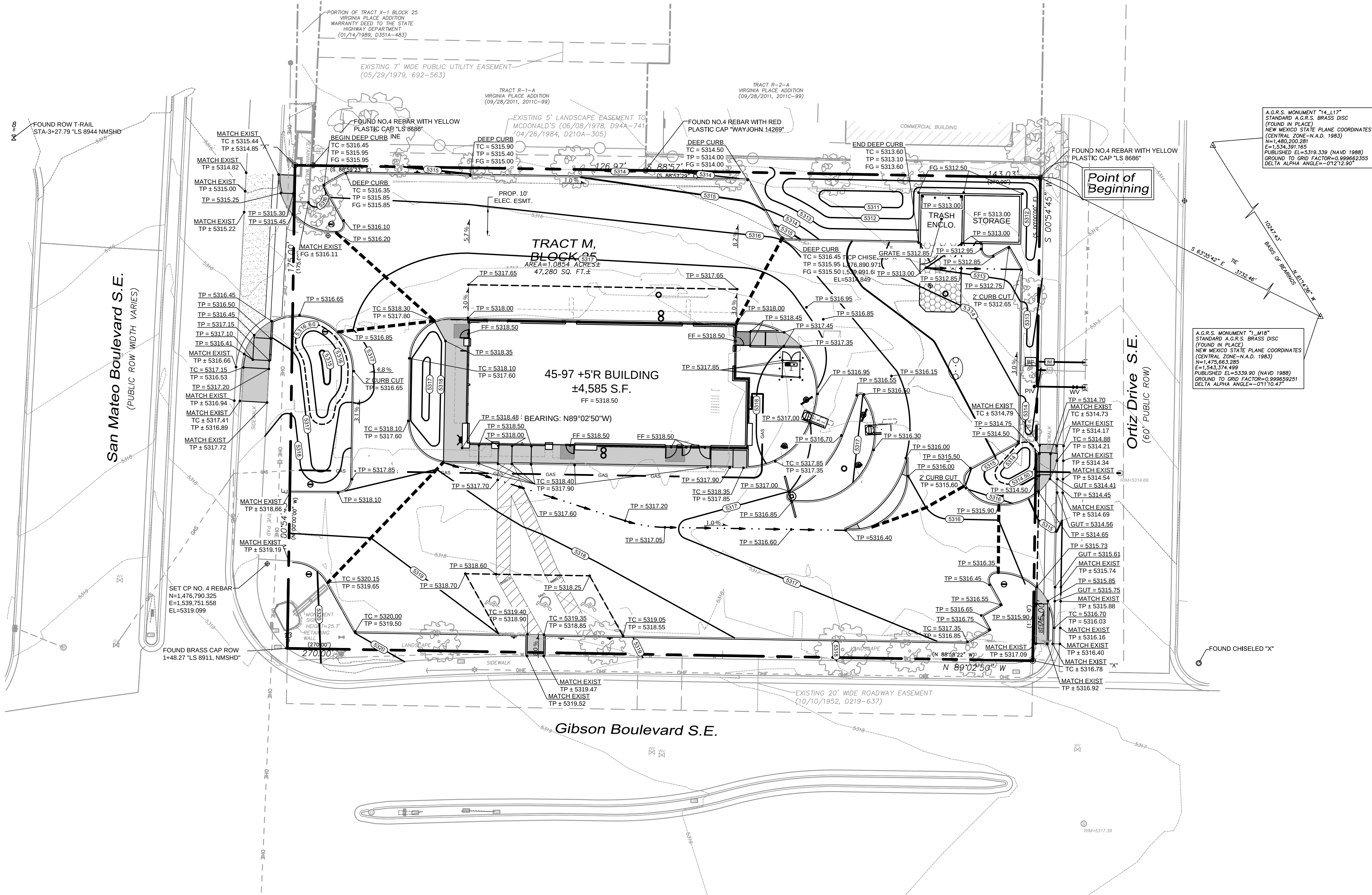
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CO-SIGN SIGNATURES
CONTRACTOR
OWNER

DESIGNED	DATE	BY
NOV. 2017	HJM	
DRAWN	DATE	BY
NOV. 2017	HJM	
CHECKED	DATE	BY
11/20/17	DWL	
AS-BUILT	DATE	BY

PAVING PLAN

C6.0



SCALE: 1" = 20'

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

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MOUNTAIN SOUTHWEST
FIELD EXECUTION TEAM
511 E. JOHN CARPENTER FRWY, STE. 375
IRVING, TX 75062
(817) 487-1253
CONTACT: LEE MORRIS

LEGEND

TC = PROPOSED TOP OF CURB
TP = PROPOSED TOP OF PAVEMENT
FG = PROPOSED FINISHED GRADE
FF = PROPOSED FINISHED FLOOR
TW = PROPOSED TOP OF WALL
BW = PROPOSED FINISHED GRADE @BASE OF WALL (NOT INCLUDING FOOTING)

--- SWALE

--- GRADE BREAK

--- RIDGE LINE

--- XXX --- EXISTING CONTOUR

--- XXX --- PROPOSED CONTOUR

--- LEVEL LANDING @ 2% MAX SLOPE IN ANY DIRECTION

BENCHMARK

1. A.G.R.S. MONUMENT "1_M18" STANDARD A.G.R.S. BRASS DISC (FOUND IN PLACE) NM STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)
N=1,475,663.285 E=1,543,374.499
PUBLISHED EL=5339.90 (NAVD 1988)
GROUND TO GRID FACTOR=0.999659251
DELTA ALPHA ANGLE=0°11'10.47"

2. A.G.R.S. MONUMENT "14_L17" STANDARD A.G.R.S. BRASS DISC (FOUND IN PLACE) NM STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)
N=1,480,200.281 E=1,534,391.165
PUBLISHED EL=5319.339 (NAVD 1988)
GROUND TO GRID FACTOR=0.999662355
DELTA ALPHA ANGLE=0°12'12.90"

3. TEMPORARY ON-SITE BENCHMARK - SET CP NO. 4 REBAR ON SOUTH SIDE OF SW DRIVEWAY
N=1,476,790.325 E=1,539,751.558
EL=5319.099

4. TEMPORARY ON-SITE BENCHMARK - SET CP CHISELED "X" ON CURB OF OUTSIDE DRIVE-THRU ISLAND NEAR NE CORNER OF THE SITE
N=1,476,890.971 E=1,539,991.682
EL=5314.849

STANDARD ACCESSIBILITY REQUIREMENTS

PARKING:

ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A MIN. 96" WIDE OR A MIN. 132" WIDE FOR VAN DESIGNATED SPACES WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS). ALL BUILDINGS SHALL HAVE AT LEAST ONE VAN ACCESSIBLE SPACE.

EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AT LEAST ONE SPACE MUST INCORPORATE "VAN-ACCESSIBLE" BELOW THE SYMBOL OF ACCESSIBILITY. SIGN SHALL BE LOCATED AS NOTED TO 60" (MIN.) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF TEXT.

ALL ACCESS AISLES SERVING ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A 60" WIDE MINIMUM.

RAMPS:

RAMPS EXCEEDING 6" IN RISE (EXCLUDING CURB RAMPS) SHALL HAVE APPROPRIATE EDGE PROTECTION WITH HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38", AND EXTEND 12" BEYOND THE TOP AND BOTTOM OF RAMP. HANDRAIL SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.

IF REQUIRED BY LOCAL OR STATE JURISDICTION, RAMPS SHALL CONTAIN A TRUNCATED DOME SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE AND MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES (OR PAINT STRIPE).

LANDINGS FOR RAMPS SHALL BE AS WIDE AS THE RAMP AND 60" LONG MINIMUM (36" MINIMUM FOR CURB RAMPS).

RAMPS SHALL NOT EXCEED A 1:12 RUNNING SLOPE OR 30" VERTICAL RISE.

RAMPS AND LANDING SHALL NOT EXCEED 1:48 (2% CROSS SLOPE).

SIDEWALKS AND ACCESSIBLE ROUTES:

SIDEWALKS MUST BE AT LEAST 36" WIDE WITH A CROSS SLOPE THAT SHALL NOT EXCEED 1:48 (2%).

LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%).



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Adams

8951 Cypress Vales Blvd, Suite 150 • Dallas, Texas 75019 • (817) 338-3200

REV	DATE	DESCRIPTION
1	11/27/17	ISSUE FOR PERMIT

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PLAN APPROVALS	OFFICE	MTN. SOUTHWEST FIELD EXECUTION TEAM	MC DONALD'S U.C. 030-0022
SIGNATURE (2 REQUIRED)	ADDRESS	KROC DRIVE - OAK BROOK, ILLINOIS 60521	
REGIONAL MGR.			
CONST. MGR.			
OPERATIONS DEPT.			
REAL ESTATE DEPT.			
CO-SIGN SIGNATURES			
CONTRACTOR			
OWNER			

	DATE	BY
DESIGNED	NOV. 2017	HJM
DRAWN	NOV. 2017	HJM
CHECKED	11/20/17	DWL
AS-BUILT		

GRADING PLAN

C7.0

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