



# City of Albuquerque

August 19, 1999

Robert Ponto, Reg. Arch.,  
for Celia Tomlinson, P.E.,  
2620 San Mateo N.E.  
Albuquerque, New Mexico 87110

Re: Site Plan submittal for building permit approval for Apartments, Lot 10-A, Valencia Drive (at Anderson) S.E., Virginia Place Addition, Block 6, Lot 10-A (Zone Map L-18-Z), Architect's Stamp dated 7/31/99.

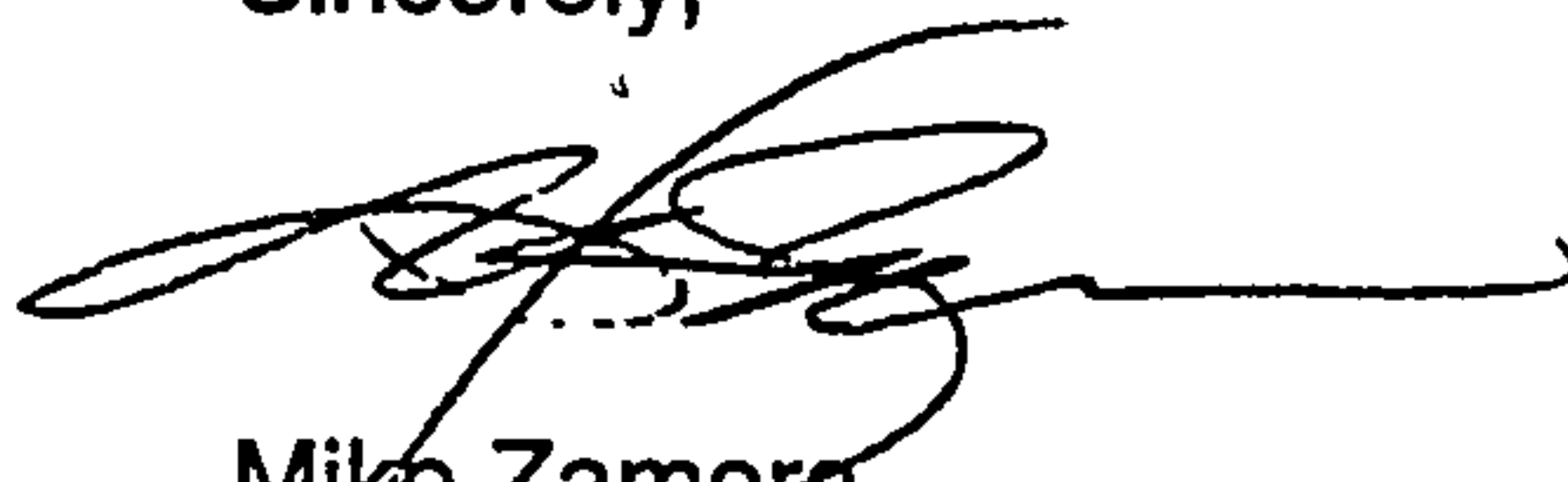
Dear Mr. Ponto,

The above referenced plan requires added modification prior to Building Permit Plan approval. Minor corrections which could be made were made by this office, some need to be addressed by your office. If there are minimal numbers of corrections required, they can be made by Transportation reviewer. If they can all be made, the T.C.L. can be stamped and approved. Large numbers of items needing correction again will need to be made by your office and resubmitted or reviewed at front counter for approval of T.C.L.

Revisions are as follows:

- H.C. signs not shown on Site Plan. Item corrected, confirm location.
- 25' radius curve needed along refuse vehicle route. Item corrected.
- Revise curbing at refuse enclosure as shown. Item corrected, confirm.
- HC.ramp must be constructed at HC. parking as part of sidewalk, not in access aisle. Item corrected, confirm location and type.
- Show and label property lines and right-of-way lines.
- Linework on Drainage Plan and Landscape Plan must match SitePlan exactly.
- 2 small car stalls needed at north parking.

Sincerely,



Mike Zamora,  
Commercial Plan Checker

CC: Engineer  
File



June 22, 2000

Attention: Mike Zamora  
Transportation Department  
CITY OF ALBUQUERQUE  
P. O. Box 1293  
Albuquerque, NM 87103

SUBJECT: APARTMENTS LOT-10-A, BLOCK-6 VIRGINIA ADDITION  
924 VALENCIA DRIVE S.E.  
TRAFFIC CIRCULATION LAYOUT (TCL)

Dear Mr. Zamora:

*L-18/D59*

This morning at 10:00 a.m., I personally inspected the subject site.

I hereby certify that the site, as built, is in substantial compliance to the Traffic Circulation Layout (TCL) as approved by the City.

The only changes are the following:

1. A 3.5' sidewalk and wheelchair ramp was constructed along one side of the driveway. See Keyed Note 1 on the attached reduced Site Plan.
2. The wheelchair ramp in front of Building B was moved closer to the second stairway from the north. See Keyed Note 2 on the attached reduced Site Plan.

I believe the changes only enhanced the functional elements of the site.

We hereby request a Certificate of Occupancy for the site.

Sincerely,

Rhombus P.A., Inc.

*Celia S. Tomlinson*  
CELIA S. TOMLINSON, P.E.

*Called Celia T. re: Need for Fence permit or revision to Permit Plans & Approval.*

134.67' ZONING WIDTH VARIANCE REQUESTED

PROPERTY LINE

EXIST. CMU WALL

EXIST.

EXISTING 6" WATERLINE

EXISTING 8" SANITARY SEMER

VALENCIA DRIVE S.E.

BUILD NEW DRIVEPAD PER COA STD. DWG. NO. 2425.

BUILD 3' SIDEWALK

4' EXIST. SIDEWALK

4' EXIST. SIDEWALK

BUILD 3' SIDEWALK

4' EXIST. SIDEWALK

BUILD 3' SIDEWALK

4' EXIST. SIDEWALK

BUILD NEW DRIVEPAD

PER COA STD. DWG. NO. 2425.

BUILD PAGE II HANDICAP RAMP

NONE

FF 5296.50

FF 5296.50

FF 5297.50

2-BEDROOM UNITS

BUILDING "A"

1-BEDROOM UNITS

1-BEDROOM UNITS

LANDSCAPE

BUILD 3' SIDEWALK

4' EXIST. SIDEWALK

6" sewer

4" water

4" STD. 6" CONC. MEDIAN CURB AND GUTTER (TYP) COA STD. DWG. NO. 2415

see note 4

2" ASPHALT ON 6" SUBGRADE 95% COMPACTION

4' OPENING

5' SIDEWALK (TYP)

see note 3

see note 3

3.5' WIDE

32

31

30

29

28

27

26

25

24

2" ASPHALT ON 6" SUBGRADE 95% COMPACTION

5' SIDEWALK (TYP)

BIKE RACK

Fence?

4" STD. 6" CONC. MEDIAN CURB AND GUTTER (TYP) COA STD. DWG. NO. 2415

see note 4

see note 4

see note 4

see note 5

see note 5

see note 5

see note 5

see note 5

see note 5

see note 5

see note 5

see note 5

see note 5

see note 5

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see note 5

see note 5

FF 5297.50

FF 5297.50

FF 5297.50

FF 5297.50

FF 5298.50

FF 5298.50

FF 5299.50

1-BEDROOM UNITS

1-BEDROOM UNITS

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1-BEDROOM UNITS

240.0

LANDSCAPE

OVERHEAD LINE

15'

15'

15'

15'

15'

15'

ALBUQUERQUE BUILDING & SAFETY FEB 17 2000

U.B.C. CHECK

STATION

100

100

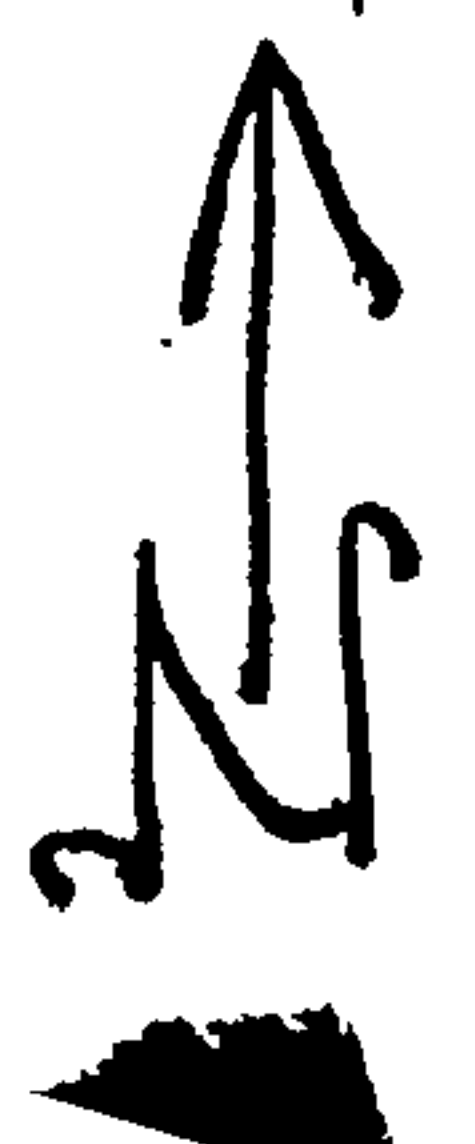
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# *City of Albuquerque*

July 5, 2000

Celia Tomlinson, P.E.  
Rhombus, P. A., Inc.  
2620 San Mateo, NE, Suite B  
Albuquerque, NM 87110

RE: ENGINEER'S CERTIFICATION FOR APARTMENTS LOT 10-A, BLOCK 6,  
VIRGINIA PLACE ADDITION, (L-18/ D059), ENGINEER'S STAMP DATED  
6/31/99, CERTIFICATION DATED 06/23/2000.

Dear Ms. Tomlinson,

Based upon the information provided in your submittal dated June 26, 2000, the Engineering Certification for Certificate of Occupancy for the project referred to above is approved.

If you have any questions, please call me at 924-3988.

Sincerely,

*Stuart Reeder, P.E.*

Stuart Reeder, P.E.  
Hydrology Division

xc: Whitney Reiersen  
File

DRAINAGE INFORMATION SHEET

11  
11  
11  
11

PROJECT TITLE: APARTMENTS LOT 10A ZONE ATLAS/DRNG. FILE #: L-18 / D59

DRB #: 99-137 EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 10-A BLOCK 6 VIRGINIA PLACE ADDITION

CITY ADDRESS: NE CORNER VALENCIA & ANDERSON

ENGINEERING FIRM: RHOMBUS CONTACT: Celia Tomlinson

ADDRESS: 2620 SAN MATEO NE PHONE: 881-6690  
SUITE B

OWNER: DON ERICKSON CONTACT: Celia Tomlinson

ADDRESS: 4600 MONTGOMERY NE PHONE: 881-6690  
SUITE 110A

ARCHITECT: ROBERT PONTO CONTACT: Celia Tomlinson

ADDRESS: \_\_\_\_\_ PHONE: 881-6690

SURVEYOR: RHOMBUS (John Miers) CONTACT: Celia Tomlinson

ADDRESS: 2620 SAN MATEO NE PHONE: 881-6690  
SUITE B

CONTRACTOR: NA CONTACT: NA

ADDRESS: NA PHONE: NA

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION
- OTHER \_\_\_\_\_

CHECK TYPE OF APPROVAL SOUGHT:

- SKETCH PLAT APPROVAL
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D. APPROVAL
- S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- S.A.D. DRAINAGE REPORT
- DRAINAGE REQUIREMENTS
- SUBDIVISION CERTIFICATION
- OTHER \_\_\_\_\_

PRE-DESIGN MEETING:

- YES
- NO
- COPY PROVIDED

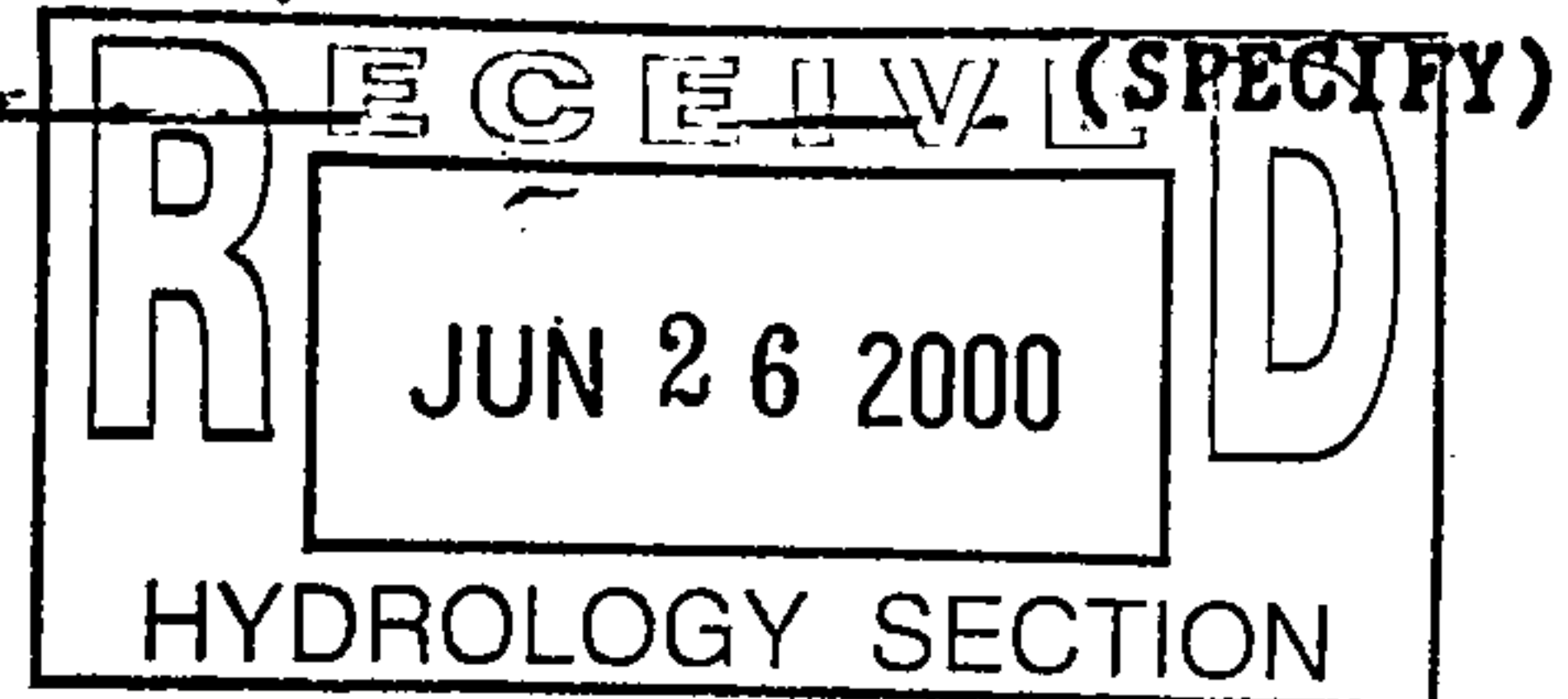
6/27  
\* \* \*  
Bob  
williams

DATE SUBMITTED:

6/23/00

BY:

CELIA S. TOMLINSON



**RHOMBUS P.A.**  
**Engineers and Consultants**  
**2620 San Mateo N.E. Suite B**  
**Albuquerque, NM 87110**  
**Tel (505) 881-6690**  
**FAX (505) 881-6896**  
**e-mail: rhombus@nmia.com**

## ***TRANSMITTAL***

July 30, 1999

TO: Michael Zamora, Transportation

FROM: Celia Tomlinson

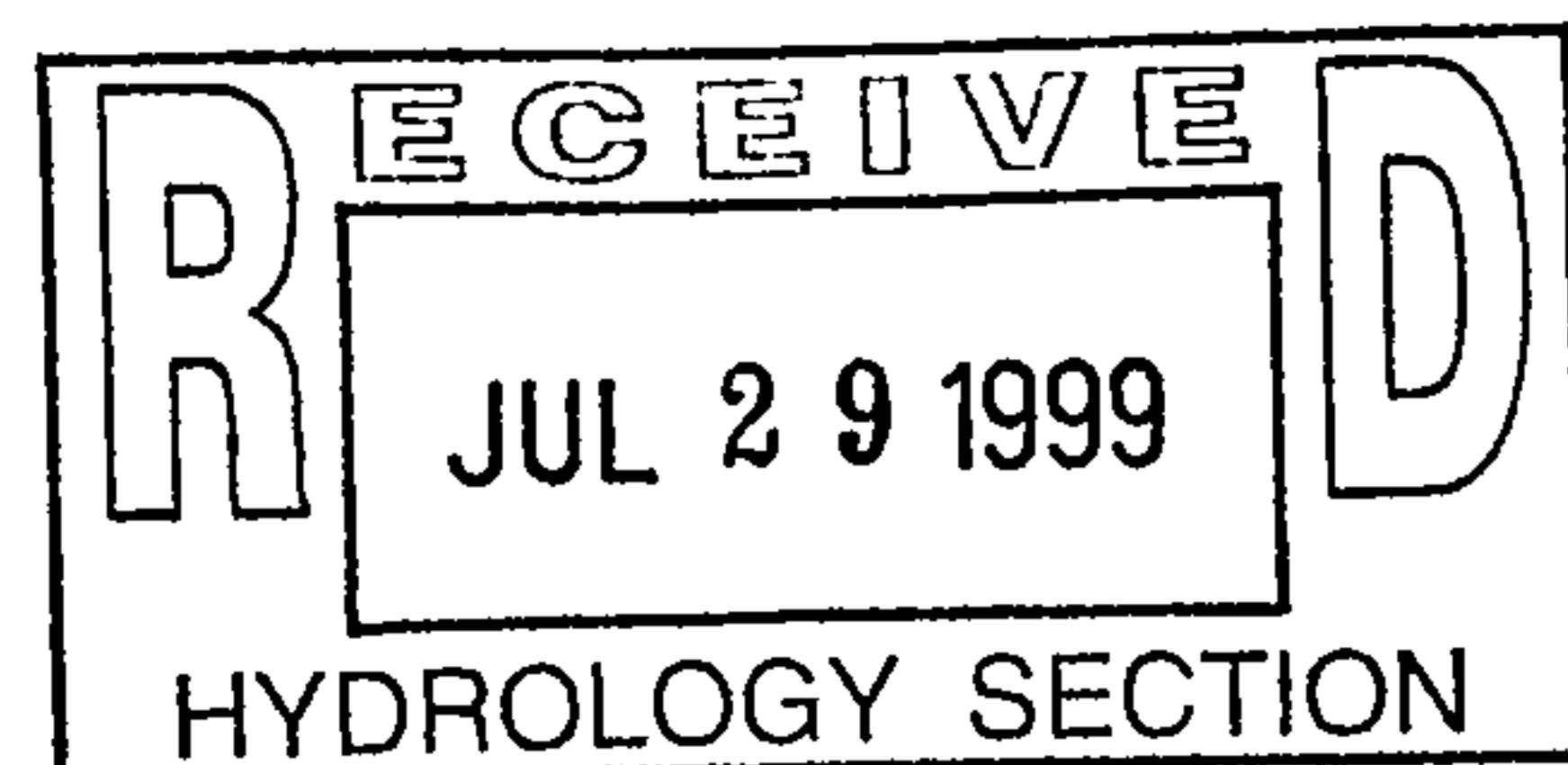
RE: Site Plan - Apartments on Lot 10-A, Block 6, Virginia Place Addition  
924 Valencia Drive SE

Transmitted herewith are the following items:

1. A copy of your review comments dated July 21, 1999
2. The TCL blueprint you had marked up
3. A copy of the Site Plan that addresses your comments
4. *A copy of the report for your file.*

Thank you for your assistance.

*Celia S. Tomlinson*





# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 21, 1999

Robert Ponto, Reg. Arch.,  
for Celia Tomlinson, P.E.,  
2620 San Mateo N.E.  
Albuquerque, New Mexico 87110

Re: Site Plan submittal for building permit approval for Apartments, Lot 10-A, Valencia Drive (at Anderson) S.E., Virginia Place Addition, Block 6, Lot 10-A (Zone Map L-18-Z), Architect's Stamp - none received.

Dear Mr. Ponto

The above referenced plan requires modification to the Site Plan prior to Building Permit release as follows:

- ✓ T.C.L./Site Plan must be stamped and stamp must be dated.
  - ✓ For this Plan, and all others following, submit street address of site. *924 Valencia NE.*
  - ✓ The engineer's certification required by the Hydrology section needs to include certification that this site was constructed in accordance with the Traffic Circulation Layout (TCL) before C.O. is released. Contractor must be advised.
  - ✓ Red-lined markup of Site Plan submitted and typed comments should be used to make corrections required. Return markup with corrections.
  - ✓ Only one Site Plan is needed per Permit submittal. All multiple copies of Site Plan will need to match exactly.
  - ✓ Use of DPM and close review of Site Plans and comments in previous Building Permit plan set submittals can aid in production of Site Plan requiring fewer corrections to original and more expedient review time.
  - ✓ *(a)* New and existing elements noted on the Site Plan must be shown, labelled, and dimensioned correctly and accurately, this includes curb & gutter, site sidewalks, H.C. signs, drive aisles, drivepads, all curbing, end islands, and fencing. *Need to see clear differentiation between new construction and existing on Site Plan.*
  - ✓ Show, label, and dimension existing and/or new street sidewalks. City sidewalk ordinance requires minim. 4' street sidewalks along the frontage of all commercial sites being developed.
  - ✓ Dimension stalls (incl. H.C.) - label "typical" or call out in individual locations, if not typical.
  - ✓ 6" high concrete curb, per city standard, must be constructed per DPM Section 23.7 B6. Label concrete curb, and type (or show detail labelled "typical"), at each individual location or call out double-line style (or equivalent) linework, used to designate curbing, as "typical".
  - ✓ *(e)* ~~Minim. 5' wide sidewalk, raised 6" above parking surface, needed at the front of parked vehicles along the front of building. HC ramp must be constructed at HC. parking as part of sidewalk. Show ramps and slope using arrows.~~
  - ✓ Label "Construct new drivepad per City of Albuquerque Std. Detail Dwg. No. 2425"
  - ✓ *(g)* ~~15' radius curve needed on end islands along vehicle circulation path, 25' along refuse vehicle route. Minimum width of end islands - 10'~~
  - ✓ Label asphalt and thickness of parking surface per city std. or refer to a detail which illustrates the proposed method of paving and states its equivalency to standard asphalt surfacing.
  - ✓ Property description on application sheet does not match current Albuquerque Zone Atlas. Need copy of current plat or replat for office files. Must be recorded and signed at County Clerk's Office.
  - ✓ *(i)* Show and label property lines and right-of-way lines.
  - ✓ ~~Need to see that all existing obstacles in City right-of-way, in existing sidewalks, have been picked up.~~ *statement given*
  - ✓ All Civil Sheets (Drainage Plan, Site Plan and Landscape Plan) must be together at front of plan set.
  - ✓ m. Linework on Drainage Plan and Landscape Plan must match Site Plan exactly.
  - ✓ Show and label new or existing H.C. ramp at street corner, must be A.D.A.
- H.C. Ramp Not per code. (Not in ACCESSIBLE)*  
*Place small cur stalls at North end of stalls, Label Asphalt.*

Using traffic turning template, effective use by refuse vehicle pull enclosure back or adjust angle to 30 degrees, as shown. This will require loss of 1 to 2 stalls.

Please provide revised Site Plan reflecting above corrections along with marked up copy.

Sincerely,

A handwritten signature in black ink, appearing to read 'Mike Zamora', with a stylized flourish extending to the right.

Mike Zamora,  
Commercial Plan Checker





# *City of Albuquerque*

August 20, 1999

Celia Tomlinson, P.E.  
Rhombus P.A.  
2620 San Mateo Blvd, NE  
Albuquerque, New Mexico 87110

***RE: Grading and Drainage Plan for Lot 10A Apartments, Block 6, Virginia Place Addition (L18/D59) Submitted for Building Permit Approval, Engineer's Stamp Dated 7/31/99.***

Dear Ms. Tomlinson:

Based on the information provided, the above referenced plan dated July 31, 1999 is acceptable for Building Permit approval.

Prior to release of the Building Permit, however, the comments from City Transportation regarding the Traffic Circulation Layout (TCL) must be addressed. Attached is a copy of their comments. If changes are required on the site due to the TCL, please update the grading plan to match.

If you have any questions, or if I may be of further assistance to you, please call me at 924-3982.

Sincerely,

Susan M. Calongne, P.E.  
City/County Floodplain Administrator

c: Whitney Reiersen, City Hydrology  
File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: APARTMENTS LOT 10A ZONE ATLAS/DRNG. FILE #: L-18 / D059

DRB #: 99-137 EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 10-A BLOCK 6 VIRGINIA PLACE ADDITION

CITY ADDRESS: NE CORNER VALENCIA & ANDERSON

ENGINEERING FIRM: RHOMBUS CONTACT: Celia Tomlinson

ADDRESS: 2620 SAN MATEO NE PHONE: 881-6690  
SUITE B

OWNER: DON ERICKSON CONTACT: Celia Tomlinson

ADDRESS: 4600 MONTGOMERY NE PHONE: 881-6690  
STATION

ARCHITECT: ROBERT PONTO CONTACT: Celia Tomlinson

ADDRESS: \_\_\_\_\_ PHONE: 881-6690

SURVEYOR: RHOMBUS (John Myers) CONTACT: Celia Tomlinson

ADDRESS: 2620 SAN MATEO NE PHONE: 881-6690  
SUITE B

CONTRACTOR: NA CONTACT: NA

ADDRESS: NA PHONE: NA

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION
- OTHER \_\_\_\_\_

SITE PLAN

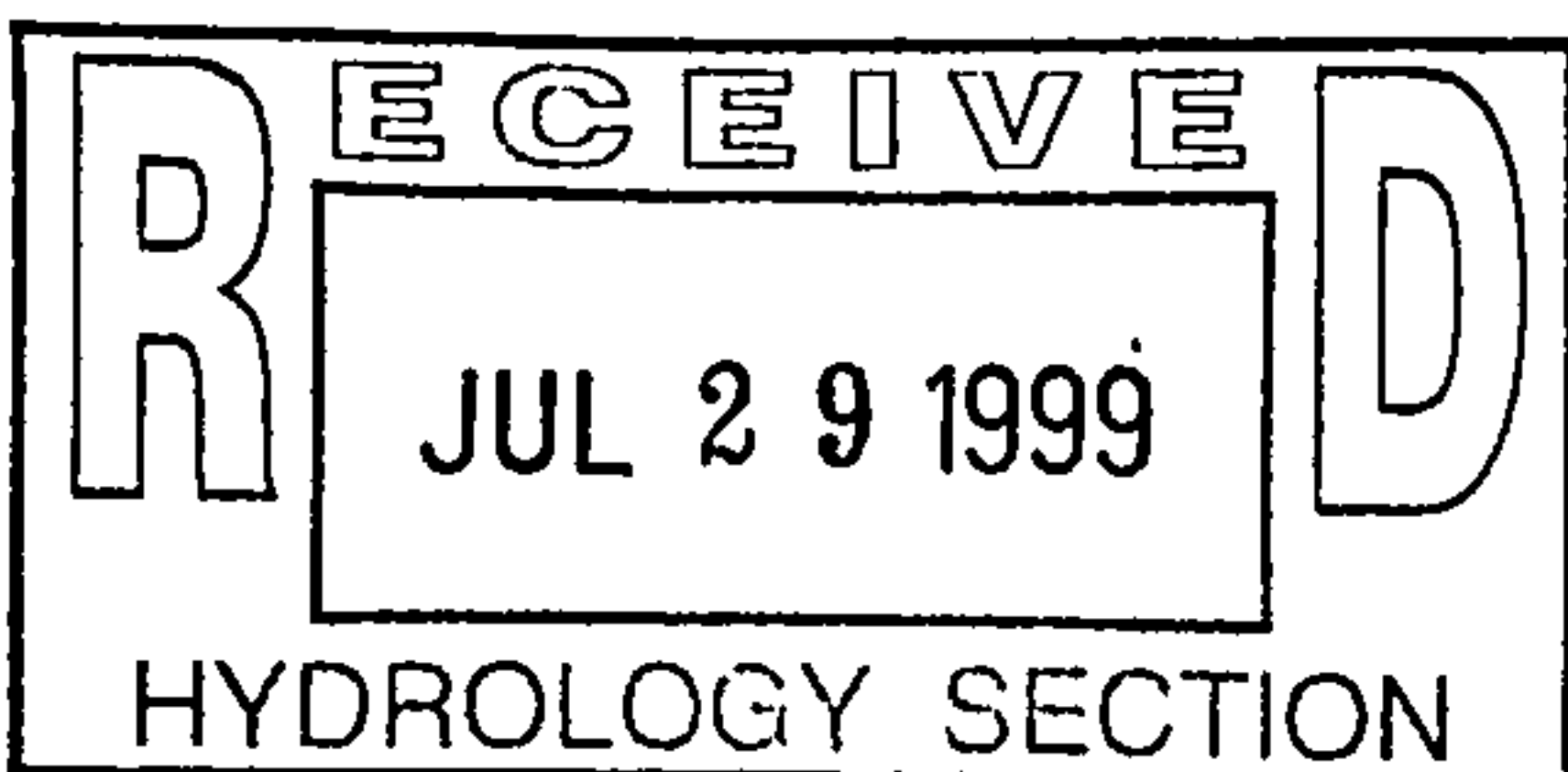
PRE-DESIGN MEETING:

- YES
- NO
- COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- SKETCH PLAT APPROVAL
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D. APPROVAL
- S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
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- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- S.A.D. DRAINAGE REPORT
- DRAINAGE REQUIREMENTS
- SUBDIVISION CERTIFICATION
- OTHER \_\_\_\_\_ (SPECIFY)

SITE PLAN APPROVAL



DATE SUBMITTED: 7/30/99

BY: CELIA S. TOMLINSON



# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 23, 1999

Celia Tomlinson, P.E.  
Rhombus P.A.  
2620 San Mateo Blvd, NE  
Albuquerque, New Mexico 87110

***RE: Grading and Drainage Plan for Lot 10A Apartments, Block 6, Virginia Place Addition (L18/D59) Submitted for Building Permit Approval, Engineer's Stamp Dated 6/30/99.***

Dear Ms. Tomlinson:

It is my understanding that comments were provided by City Transportation regarding the traffic circulation layout (TCL) for this site. Their comments must be addressed, and the Grading plan must be updated to reflect the TCL comments, if applicable. Prior to release of the Building Permit, the TCL must be approved concurrently with the drainage plan.

Additionally, my previous comment regarding the justification for free discharge from this site was not fully addressed. Since this site drains to an existing storm drain in Kathryn, please provide the drainage basin map for that portion of the storm drain system to demonstrate that the above referenced site is minor compared to the entire basin.

If you have any questions regarding these comments, please call me at 924-3982.

Sincerely,

Susan M. Calongne, P.E.  
City/County Floodplain Administrator

c: File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: APARTMENTS LOT 10A ZONE ATLAS/DRNG. FILE #: L-18659  
 DRB #: 99-137 EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_  
 LEGAL DESCRIPTION: LOT 10-A BLOCK 6 VIRGINIA PLACE ADDITION  
 CITY ADDRESS: NE CORNER VALENCIA & ANDERSON  
 ENGINEERING FIRM: RHOMBUS CONTACT: Celia Tomlinson  
 ADDRESS: 2620 SAN MATEO NE PHONE: 881-6690  
SUITE B  
 OWNER: DON ERICKSON CONTACT: Celia Tomlinson  
 ADDRESS: 4600 MONTGOMERY NE PHONE: 881-6690  
STATION  
 ARCHITECT: ROBERT PONTO CONTACT: Celia Tomlinson  
 ADDRESS: \_\_\_\_\_ PHONE: 881-6690  
 SURVEYOR: RHOMBUS (John Myers) CONTACT: Celia Tomlinson  
 ADDRESS: 2620 SAN MATEO NE PHONE: 881-6690  
SUITE B  
 CONTRACTOR: NA CONTACT: NA  
 ADDRESS: NA PHONE: NA

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION
- OTHER TCL

PRE-DESIGN MEETING:

- YES
- NO
- COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- SKETCH PLAT APPROVAL
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D. APPROVAL
- S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
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- CERTIFICATE OF OCCUPANCY APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- S.A.D. DRAINAGE REPORT
- DRAINAGE REQUIREMENTS
- SUBDIVISION CERTIFICATION
- OTHER TCL Approval (SPECIFY)

DATE SUBMITTED: 6/30/99  
 BY: CELIA S. TOMLINSON



June 30, 1999

Ms. Susan Calongne, P.E.  
City/County Floodplain Manager  
2400 Broadway SE  
Albuquerque, NM 87102

SUBJECT: LOT 10-A, BLOCK 6 APARTMENTS, VIRGINIA PLACE ADDITION  
(L18/D59)

Dear Ms. Calongne:

Following is our response to your comments dated June 18, 1999:

1. **Response to Comment #1.** See attached response from Per Se Engineering.
2. **Response to Comment #2.** The FEMA floodplain limits are shown on the plan. The proposed finished floor elevation is 99.50.
3. **Response to Comment #3.** The drawing is titled "Drainage, Grading, and Traffic Circulation Plan." Two copies are submitted herewith. Request for TCL approval is indicated on the drainage information sheet.
4. **Response to Comment #4.** DRB-99-137 replatted the property. A copy of the recorded plat is attached.

We hope our latest submittal addresses all your concerns.

Sincerely,

A handwritten signature in black ink that reads "Celia S. Tomlinson". The signature is written in a cursive style and is positioned above the printed name.

CELIA S. TOMLINSON, P.E.  
Principal

# Per Se Engineering

*Drainage, Utilities, & Site Design*

9109 La Barranta NE Albuquerque NM 87111 (505) 275-0451 239-7855 (mobile). e-mail: PerSeEngr@AOL.com

June 30, 1999

Susan M. Calongne, P.E.  
City/County Floodplain Administrator  
Plaza Del Sol  
PO Box 1293  
Albuquerque NM 87103

Re: Free Discharge for drainage file L18/D59  
(Apartments at Lot 10A, Block 6, Virginia Place Addition)

Dear Ms. Calongne:

I am writing this letter for Rhombus P.A. in response to Comment 1 of your June 18 letter to Rhombus regarding the site. Comment 1 refers to free discharge, as proposed for the site. Rhombus will prepare responses to your other comments. You may receive this letter as part of a submittal from Rhombus.

After being contacted by Rhombus, I reviewed drainage information on file at the City for nearby projects. In particular, I reviewed the files for L18/D43 (Erickson Apts., Rhombus, 1988) and L18/D58 (Fire Station 11 Addition, Jeff Mortensen & Assoc, 1998). I believe that free discharge is appropriate for the present project.

The Erickson Apts. project was for almost the entire block directly west of the present project (between Valencia and Alvarado, north of Anderson and south of Kathryn), which means that it is at least 4 times the size of the present project. The approved drainage plan used free discharge, in accord with Finding (F2) of the pre-design conference (copy herewith) because as stated therein (a) Kirtland Dam removes flooding from the area; and (b) Two other projects which protect the area are the Highland detention storm drain and S. San Mateo Storm drain. In addition to commenting on the street flooding shown on the official floodplain maps, the pre-design recap also noted: (F5) Other street flooding does not affect the project; (F6) There is an existing 54-inch storm drain in Kathryn; and (F7) The property is an in-fill site.

Fire Station 11 is located a few blocks away from L18/D59, at the NW corner of Ortiz and Southern. The drainage plan was approved just last year, also with free discharge. The text part of the plan (copy herewith) addresses flooding in the streets and notes the effects of existing drainage improvements. Although review comments for the project refer to the street flood plain, there were no requirements regarding analysis of the overall drainage basin. Such would be an appropriate topic for a major study funded by the City and FEMA, should funding and methodology become available.

All the reasons noted in the L18/D43 file for allowing free discharge from the Erickson site appear to be still valid. And of course, the contribution of runoff from this site, as compared to the entire drainage basin, is small. My understanding is that although new flood hazard maps have been issued, this area was not restudied, so that any mitigation of street flooding effected by drainage improvements is not reflected in the maps.

# Per Se Engineering

*Drainage, Utilities, & Site Design*

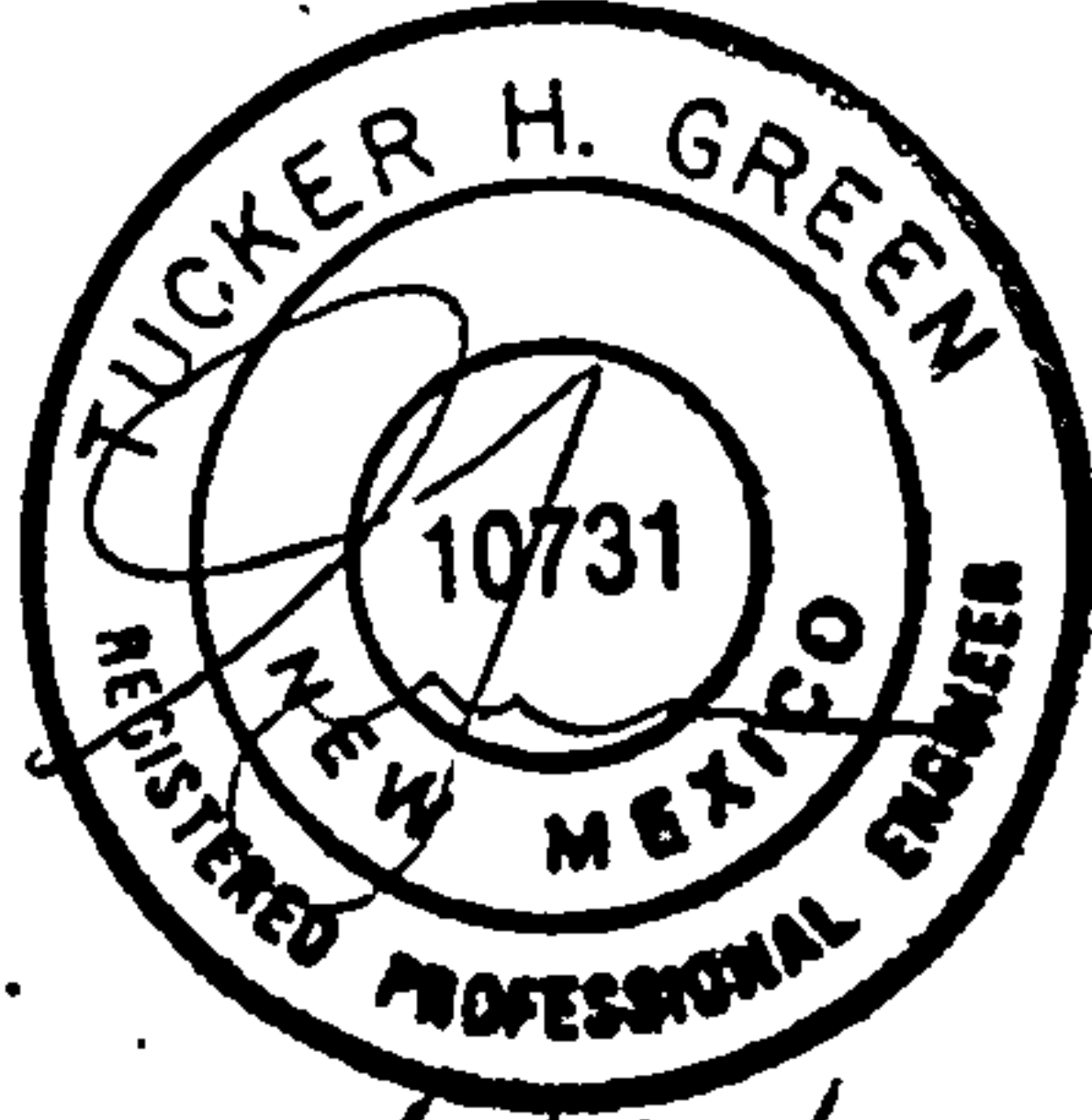
9109 La Barranca NE Albuquerque NM 87111 (505) 275-0451 239-7855 (mobile) e-mail: PerSeEngr@AOL.com

With this discussion, I believe that free discharge for the present project is appropriate. If I can be of further assistance, please call me at 239-7855 (mobile) or 275-0451 (office).

Sincerely,



Tucker Green, P.E.



6/30/99

cc: Celia Tomlinson, P.E. at Rhombus P.A.

THE FOLLOWING ITEMS CONCERNING THE FIRE STATION NO. 11 DRAINAGE PLAN ARE CONTAINED HEREON:

1. VICINITY MAP
2. GRADING PLAN
3. CALCULATIONS

AS SHOWN BY THE VICINITY MAP, THE SITE IS LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF SOUTHERN AVENUE S.E. AND ORTIZ DRIVE S.E. AT PRESENT, THE SITE IS DEVELOPED AS A CITY OF ALBUQUERQUE FIRE STATION.

✓ AS SHOWN BY PANEL 354 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS PUBLISHED BY F.E.M.A. FOR THE COUNTY OF BERNALILLO, NEW MEXICO DATED SEPTEMBER 20, 1996, THIS SITE LIES WITHIN A DESIGNATED FLOOD HAZARD ZONE. THE ASSOCIATED ZONE IS DESIGNATED AO WITH A DEPTH OF ONE FOOT. THE FLOODING IN THE ADJACENT STREETS HAS BEEN MITIGATED, HOWEVER, THROUGH CONSTRUCTION OF THE 54" STORM DRAIN WITHIN SOUTHERN AVENUE S.E. THESE IMPROVEMENTS WERE CONSTRUCTED BY THE CITY OF ALBUQUERQUE AS PART OF THE "HIGHLAND DETENTION BASIN" STORM DRAIN PROJECTS. FURTHERMORE, THE FIRE STATION IS AN EXISTING BUILDING. THE PROPOSED ADDITION WILL HOUSE THE FIRE TRUCKS.

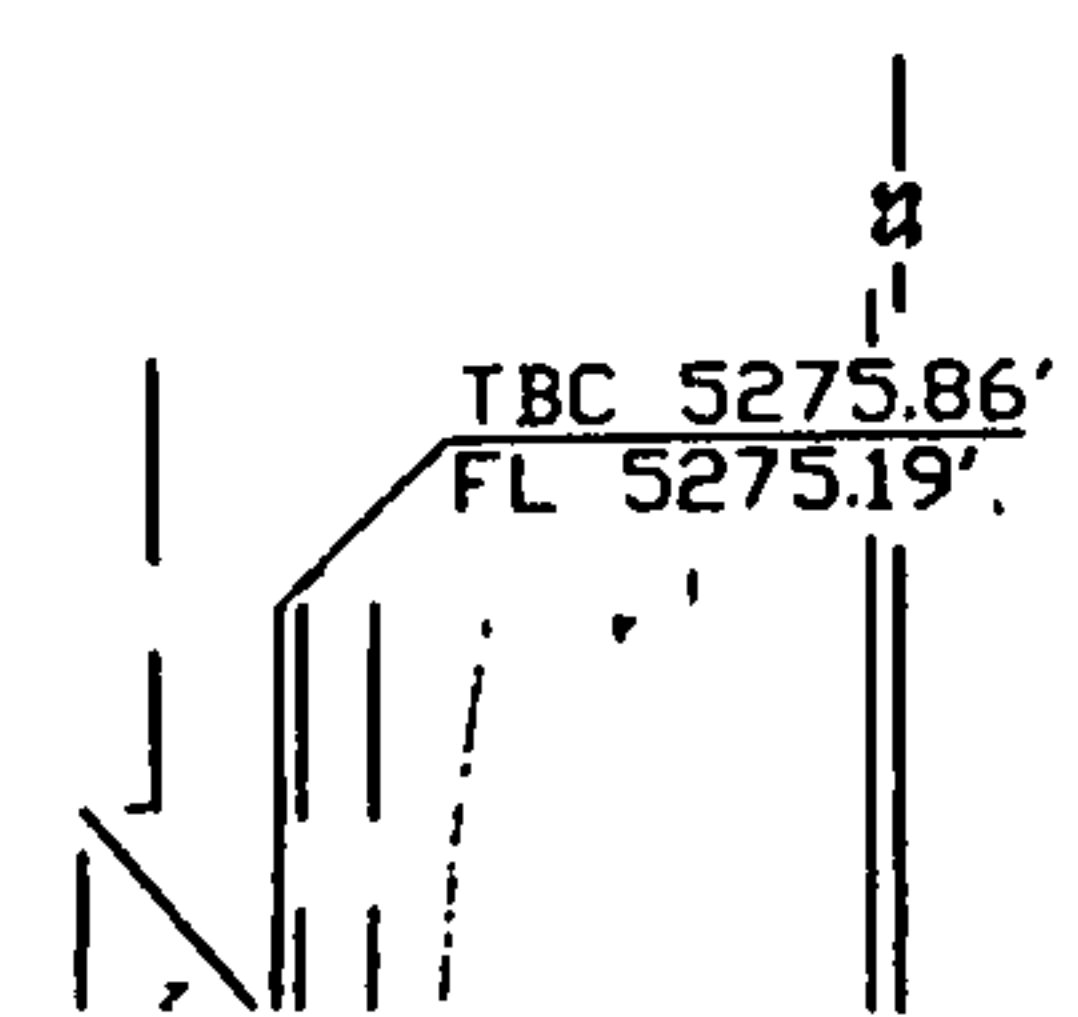
THE GRADING PLAN SHOWS: 1) EXISTING GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'0" INTERVALS AS SHOWN ON THE TOPOGRAPHIC SURVEY BY CLINT SHERRILL & ASSOCIATES DATED 1/15/97, 2) PROPOSED GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'0" INTERVALS, 3) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS AS SHOWN ON THE ABOVE REFERENCED SURVEY BY CLINT SHERRILL & ASSOCIATES, 4) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS, AND 5) CONTINUITY BETWEEN EXISTING AND PROPOSED GRADES. AS SHOWN BY THIS PLAN, THE PROPOSED IMPROVEMENTS CONSIST OF A NEW BUILDING ADDITION TO AN EXISTING CITY OF ALBUQUERQUE FIRE STATION. AT PRESENT, THE SITE GENERALLY DRAINS FROM EAST TO WEST AND IN EFFECT MAY BE DRAINING ONTO ADJACENT PROPERTIES. AS PART OF THE PROPOSED IMPROVEMENTS, DEVELOPED RUNOFF WILL BE DIRECTED INTO SOUTHERN AVENUE S.E. VIA A NEW SIDEWALK CULVERT. THE SIDEWALK CULVERT WILL BE SIZED TO HANDLE THE 100-YEAR, 6-HOUR RAINFALL EVENT. DUE TO THE FACT THAT THIS IS A MODIFICATION TO AN EXISTING SITE WITHIN AN INFILL AREA, THE RELATIVELY MINOR INCREASE IN RUNOFF, THE PROXIMITY OF THE SITE TO PUBLIC STORM DRAIN FACILITIES, AND THE FACT THAT THIS PROJECT WILL IMPROVE EXISTING DRAINAGE CONDITIONS, THE FREE DISCHARGE OF RUNOFF FROM THIS SITE TO PUBLIC RIGHT-OF-WAY IS APPROPRIATE.

THE CALCULATIONS WHICH APPEAR HEREON ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED. AS SHOWN BY THESE CALCULATIONS, A MINOR INCREASE IN RUNOFF IS ANTICIPATED DUE TO THE PROPOSED CONSTRUCTION.

OFFSITE FLOWS DO NOT IMPACT THIS SITE. THE SITES TO THE NORTH AND EAST ARE BOTH TOPOGRAPHICALLY LOWER AND THEREFORE DO NOT CONTRIBUTE OFFSITE FLOWS. THE SITE IS BOUNDED ON THE EAST AND SOUTH BY EXISTING PUBLIC STREETS. AS PREVIOUSLY STATED, A PUBLIC STORM DRAIN SYSTEM HAS BEEN CONSTRUCTED WITHIN SOUTHERN AVENUE S.E. TO ALLEVIATE THE FLOODING INDICATED BY THE F.I.R.M. MAPS. DUE TO THE PRESENCE OF THE NEW STORM DRAIN FACILITIES, OFFSITE FLOWS ARE NOT ANTICIPATED FROM THESE ADJACENT STREETS.

X TA 5274.52'

X TA 5274.72'





CITY OF ALBUQUERQUE  
MUNICIPAL DEVELOPMENT DEPARTMENT  
ENGINEERING DIVISION/DESIGN HYDROLOGY SECTION

CONFERENCE RECAP

DRAINAGE FILE/ZONE ATLAS PAGE NO.: L18      DATE: 1-29-88  
 PLANNING DIVISION NOS: EPC: \_\_\_\_\_      DRB: \_\_\_\_\_  
 SUBJECT: Erickson's Hpts  
 STREET ADDRESS (IF KNOWN): between Katherin & Anderson  
 SUBDIVISION NAME: and between Alvarado & Valencia

APPROVAL REQUESTED:

<input type="checkbox"/> PRELIMINARY PLAT	<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> SITE DEVELOPMENT PLAN	<input checked="" type="checkbox"/> BUILDING PERMIT
<input type="checkbox"/> OTHER	<input type="checkbox"/> ROUGH GRADING

	WHO	REPRESENTING
ATTENDANCE:	<u>Celia Tornatore</u>	_____
	<u>Carlo Montoya</u>	_____

**FINDINGS:**

- ① Drawings plan per DPM
- ② Free discharge allowed due to the following:
  - (A) Kirtland Dam removal & flood from area
  - (B) Two other projects which protect area
- ③ are the "highland" detention storm drain & S
- ④ San Mateo storm drain
- ⑤ Official floodplain maps include street
- ⑥ floodway (A0-1)
- ⑦ South building has to elevate to meet
- ⑧ above grade in Anderson
- ⑨ Other street flooding does not affect project
- ⑩ There is an existing 54 inch storm drain
- ⑪ in Katherin
- ⑫ Site property is on in-fill site

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: <u>Carlo A. Montoya</u>	SIGNED: <u>Celia S. Tornatore</u>
TITLE: _____	TITLE: _____
DATE: <u>1-29-88</u>	DATE: <u>1/29/88</u>

**\*\*NOTE\*\* PLEASE PROVIDE A COPY OF THIS RECAP WITH THE DRAINAGE SUBMITTAL**



# City of Albuquerque

P.O. BOX 1293 · ALBUQUERQUE, NEW MEXICO 87103

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June 18, 1999

Celia Tomlinson, P.E.  
Rhombus P.A.  
2620 San Mateo Blvd, NE  
Albuquerque, New Mexico 87110

**RE: *Grading and Drainage Plan for Lot 10A Apartments, Block 6, Virginia Place Addition (L18/D59) Submitted for Building Permit Approval, Engineer's Stamp Dated 5/3/99.***

Dear Ms. Tomlinson:

Prior to approval for Building Permit release for the above referenced site, the plan must be revised to address the following comments:

1. In order to justify free discharge, please compare the runoff from this site with the runoff from the overall drainage basin. Does this site drain before the overall basin? Provide the overall drainage basin map and runoff calculations.
2. Show the existing FEMA floodplain limits on the plan. According to the FEMA flood maps, during the 100-year event, the runoff in Anderson may become a foot deep. City ordinance requires that the finish floor elevation be a foot higher than the base flood elevation. Therefore, the finish floor elevation for the building adjacent to Anderson must be two feet higher than the flowline elevation, i.e., at 99.31.
3. The traffic circulation layout (TCL) must be approved concurrently with the drainage plan. Please submit the site plan, or TCL, with the drainage resubmittal and mark on the Drainage Information Sheet that you are also requesting TCL approval.
4. It appears that this site encompasses more than one Lot. Is a plat action required?

If you have any questions regarding these comments, please call me at 924-3982.

Sincerely,

Susan M. Calongne, P.E.  
City/County Floodplain Administrator

c: File

DRAINAGE INFORMATION SHEET

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PROJECT TITLE: APARTMENTS LOT 10A ZONE ATLAS/DRNG. FILE #: L-18 059

DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 10-A BLOCK 6 VIRGINIA PLACE ADDITION

CITY ADDRESS: NE CORNER VALENCIA & ANDERSON

ENGINEERING FIRM: RHOMBUS CONTACT: Celia Tomlinson

ADDRESS: 2620 SAN MATEO NE PHONE: 881-6690  
SUITE B

OWNER: DON ERICKSON CONTACT: Celia Tomlinson

ADDRESS: 4600 MONTGOMERY NE PHONE: 881-6690  
STATION

ARCHITECT: ROBERT PONTO CONTACT: Celia Tomlinson

ADDRESS: \_\_\_\_\_ PHONE: 881-6690

SURVEYOR: RHOMBUS (John Miers) CONTACT: Celia Tomlinson

ADDRESS: 2620 SAN MATEO NE PHONE: 881-6690  
SUITE B

CONTRACTOR: NA CONTACT: NA

ADDRESS: NA PHONE: NA

TYPE OF SUBMITTAL:

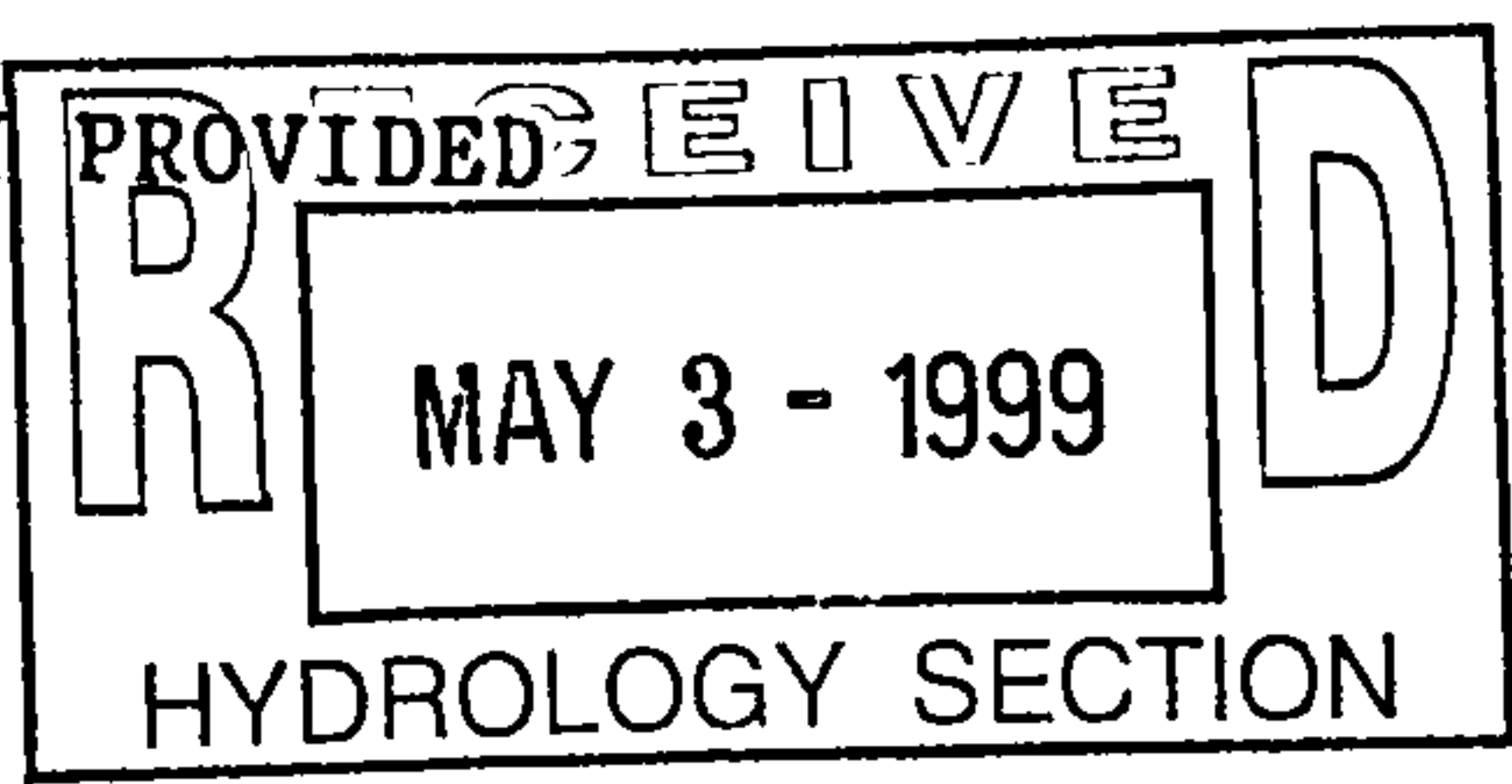
- DRAINAGE REPORT
- DRAINAGE PLAN / TRAFFIC PLAN
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION
- OTHER \_\_\_\_\_

CHECK TYPE OF APPROVAL SOUGHT:

- SKETCH PLAT APPROVAL
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D. APPROVAL
- S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- S.A.D. DRAINAGE REPORT
- DRAINAGE REQUIREMENTS
- SUBDIVISION CERTIFICATION
- OTHER \_\_\_\_\_ (SPECIFY)

PRE-DESIGN MEETING:

- YES
- NO
- COPY \_\_\_\_\_



DATE SUBMITTED: 5/3/99

BY: CELIA S. TOMLINSON

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**CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
DEVELOPMENT SERVICE / HYDROLOGY SECTION**

**CONFERENCE RECAP**

**DRAINAGE FILE/ZONE ATLAS PAGE NO.** L18  
**PLANNING DIVISION NO'S:** EPC: ZONING:R-3  
**SUBJECT:** Apartments  
**STREET ADDRESS (IF KNOWN):**  
**SUBDIVISION NAME:** Lot 10A Block 6, Va Place Addn

**DATE:** 4/28/99  
**DRB:**

**APPROVAL REQUESTED:** Building Permit

**ATTENDANCE:** Fred J. Aguirre-City Hydrologist  
Celia Tomlinson  
John Murray

**FINDINGS:**

An approved drainage plan is required for building permit approval.

A qualitative approach may be appropriate to justify free discharge for this infill site. The following items should be addressed in your drainage plan to justify free discharge:

- the significance of the increase flows from this development on the downstream system,
- any existing drainage problems and/or existing floodplain,
- any potential problems that may result from this development,
- the size of this development to the overall basin and
- the impact on any downstream floodplain.

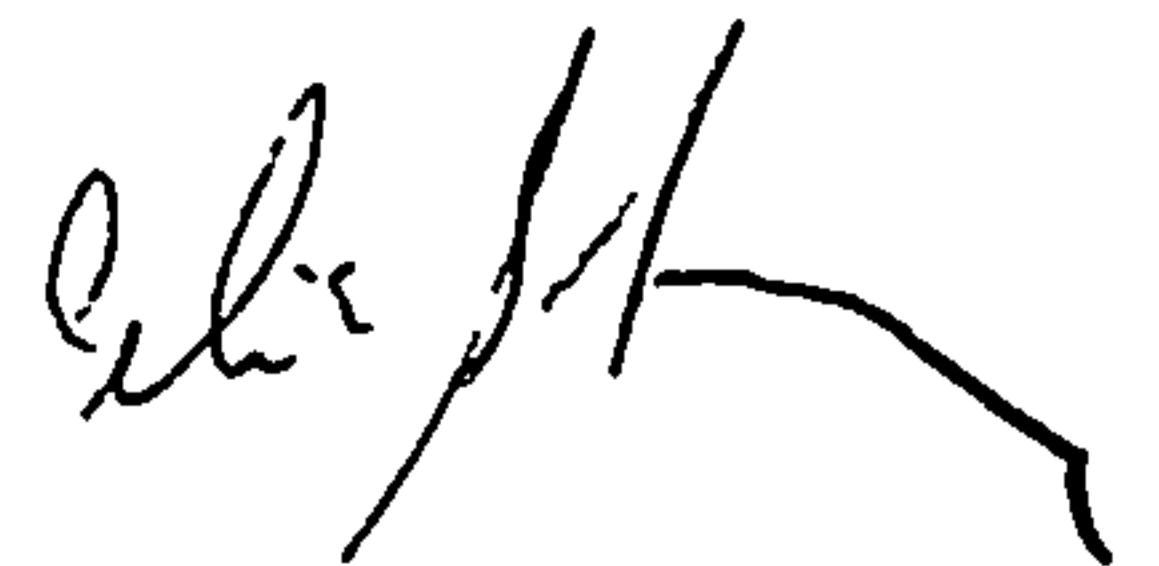
THE UNDERSIGNED AGREES THAT THE ABOVE FINDINGS ARE SUMMARIZED ACCURATELY AND ARE SUBJECT TO CHANGE IF FURTHER INVESTIGATION REVEALS THAT THEY ARE NOT REASONABLE OR THAT THEY ARE BASED ON INACCURATE INFORMATION.

**SIGNED:** Fred J. Aguirre / John Murray  
**TITLE :** City Hydrologist



**TITLE :**

**SIGNED:**



**\*\*NOTE\*\* PLEASE PROVIDE A COPY OF THIS RECAP WITH YOUR DRAINAGE SUBMITTAL.**

**RHOMBUS P.A.**  
**Engineers and Consultants**  
**2620 San Mateo N.E. Suite B**  
**Albuquerque, NM 87110**  
**Tel (505) 881-6690**  
**FAX (505) 881-6896**  
**e-mail: rhombus@nmia.com**

## **TRANSMITTAL**

July 30, 1999

TO: Susan Calongne, PE, Hydrology

FROM: Celia Tomlinson

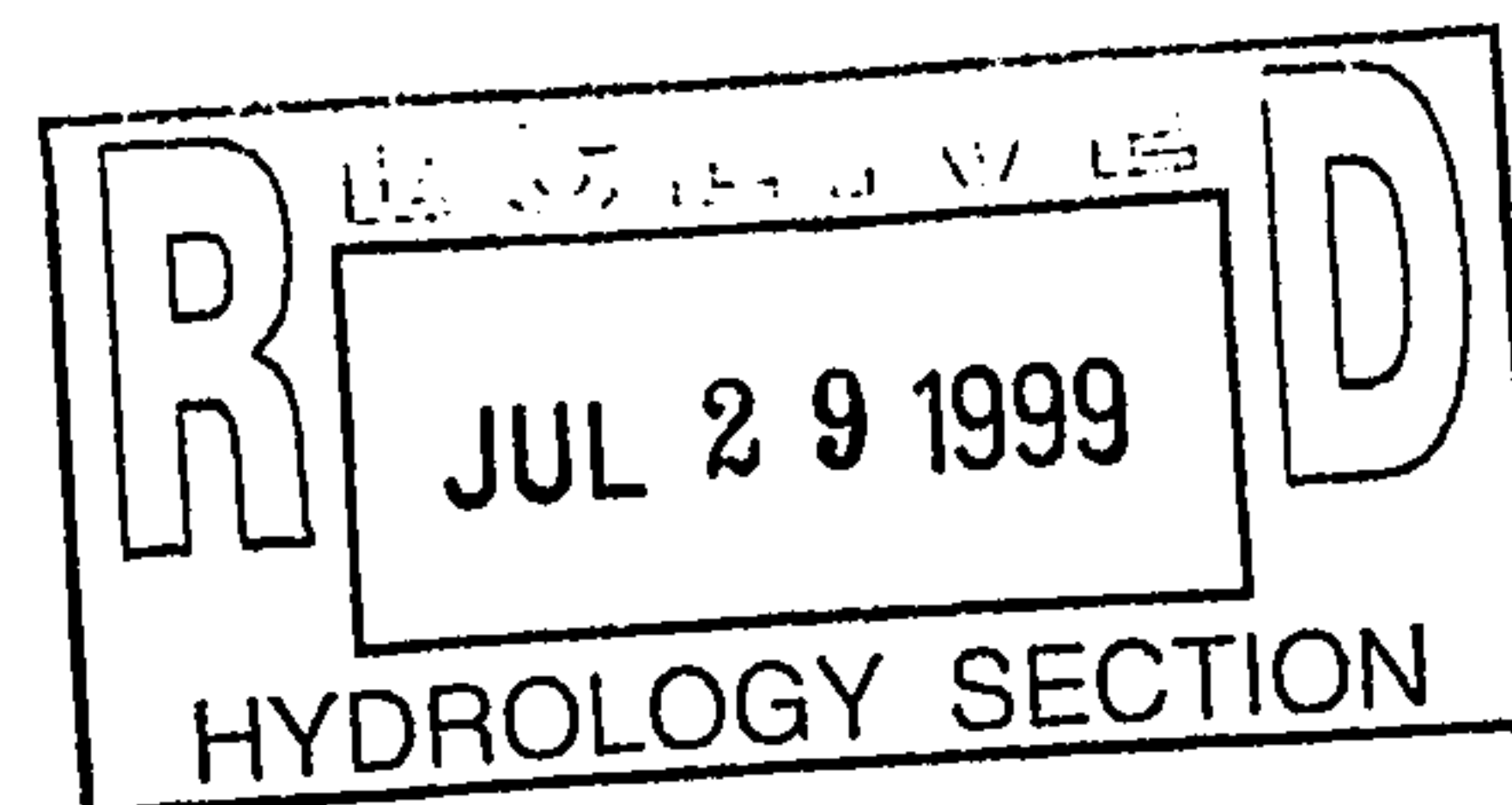
RE: Drainage and Grading Plan (L18/D59)- Apartments on Lot 10-A, Block 6, Virginia Place Addition 924 Valencia Drive SE

Transmitted herewith are the following items:

1. A copy of the Drainage and Grading Plan revised to make the parking lot lay-out identical to the parking lot lay-out of the Site Plan
2. A copy of the drainage basin map for that portion of the Kathryn storm drain system to demonstrate that the project site is minor compared to the entire basin
3. A copy of your 7/23/99 comments.

Thank you for your assistance.

*Celia Tomlinson*





# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 23, 1999

Celia Tomlinson, P.E.  
Rhombus P.A.  
2620 San Mateo Blvd, NE  
Albuquerque, New Mexico 87110

**RE: *Grading and Drainage Plan for Lot 10A Apartments, Block 6, Virginia Place Addition (L18/D59) Submitted for Building Permit Approval, Engineer's Stamp Dated 6/30/99.***

Dear Ms. Tomlinson:

It is my understanding that comments were provided by City Transportation regarding the traffic circulation layout (TCL) for this site. Their comments must be addressed, and the Grading plan must be updated to reflect the TCL comments, if applicable. Prior to release of the Building Permit, the TCL must be approved concurrently with the drainage plan.

Additionally, my previous comment regarding the justification for free discharge from this site was not fully addressed. Since this site drains to an existing storm drain in Kathryn, please provide the drainage basin map for that portion of the storm drain system to demonstrate that the above referenced site is minor compared to the entire basin.

If you have any questions regarding these comments, please call me at 924-3982.

Sincerely,

Susan M. Calongne, P.E.  
City/County Floodplain Administrator

c: File

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Y9

Y8

Y7

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Y5

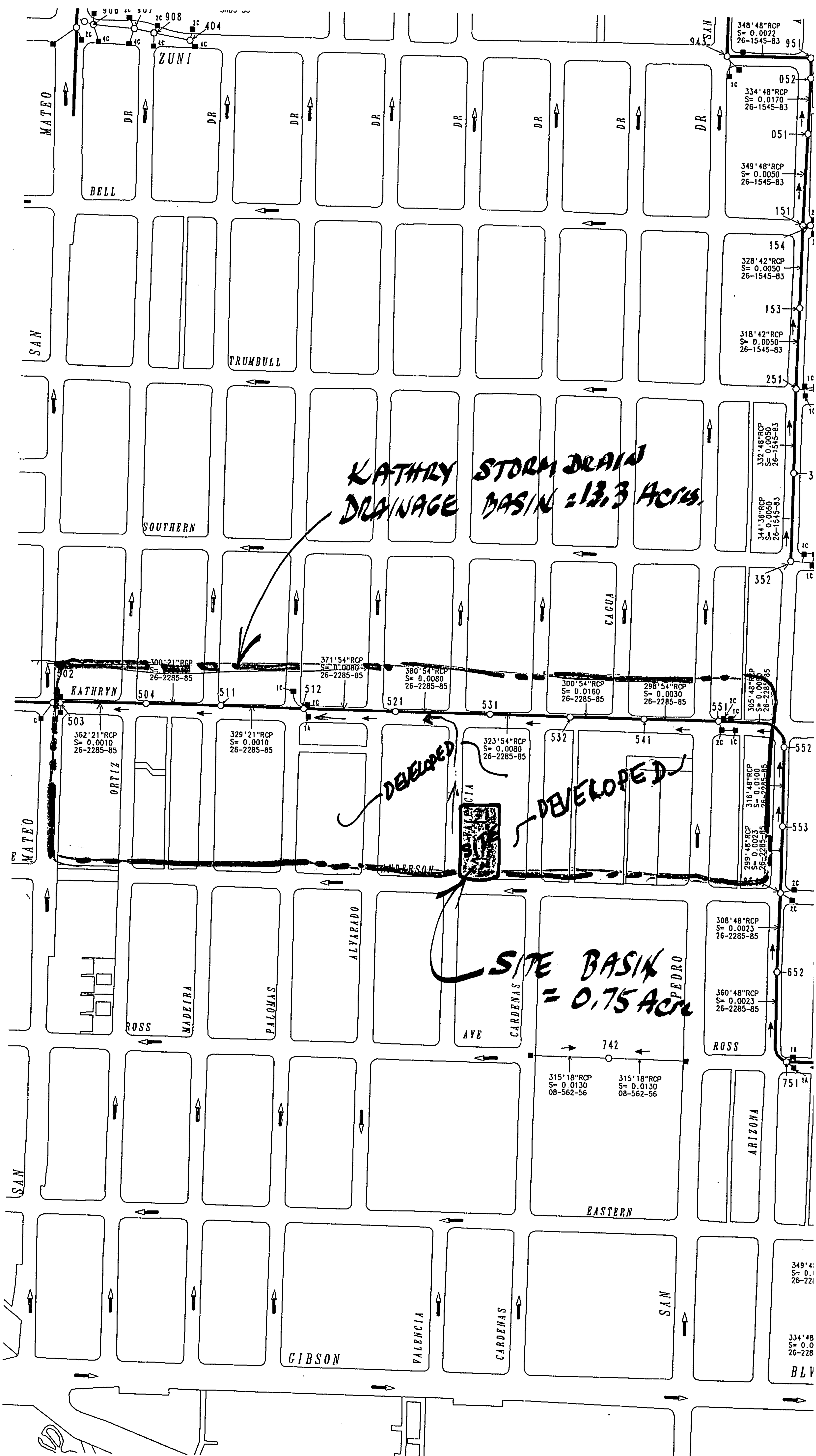
Y4

Y3

Y2

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NEXT SHEET NO. L-17



KIRTLAND  
 OR  
 GIBSON  
 STUDY  
 LORAN MEINZ  
 3rd floor

**KATHRYN STORM DRAIN  
 DRAINAGE BASIN = 13.3 ACRES**

**SITE BASIN  
 = 0.75 ACRES**

DEVELOPED

DEVELOPED