

Rita Harmon, P.E.

Senior Engineer

Planning Department

Development & Review Services Division

600 2nd St. NW, Suite 201

Albuquerque, NM 87102

t 505-924-3695

Harmon Rita T.

To: Rivera, John G.

Cc: Cherne, Curtis; Rael, Rudy E.

Subject: Floodplain and Property on Alvarado and Eastern (near San Mateo and Gibson

Gabe,

Curtis, Rudy and I had a lengthy discussion about the floodplain requirements for this property. Here is what we determined:

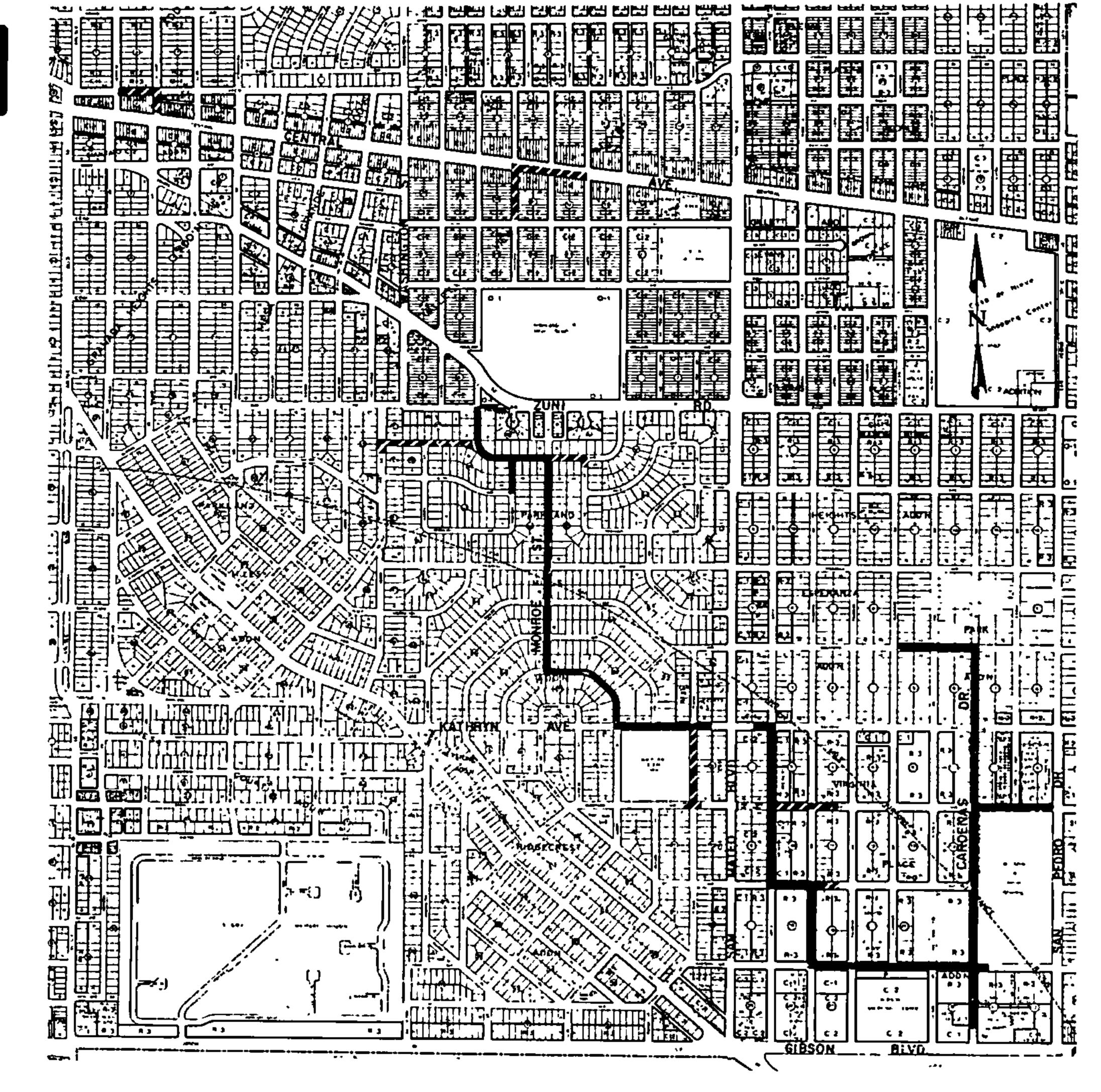
- It lies in SFHA AO (floodzone AO) with a water depth of 1 ft.
- Per COA ordinance the lowest floor elevation of each building needs to be 2 ft above the Highest Adjacent Grade for that building (or 1 ft above the water depth). This means that at least 2' of fill will be required for each building pad.
- There are 2 options for building in a floodzone:
 - 1. Submit a LOMR (Letter of Map Revision) to FEMA showing that with the past improvements (ie. Stormdrain in Gibson) have changed the limits of the floodplain. This would require a study of the larger area up to Kirkland, and submitting a CLOMR to FEMA before the LOMR. A CLOMR (Conditional letter of map revision) is in affect a pre-application to FEMA to determine major obstacles to the LOMR.
 - 2. Submit a LOMR-F (Letter of Map Revision based on Fill) to FEMA showing that the building has been elevated by fill and removed from the floodplain. This would require submitting a CLOMR-F to FEMA before the LOMR-F to determine major obstacles. CLOMR-F's are not always required, but in this case because of the amount of fill and the flood-zone necking down at the NW corner, it would be too risky to proceed without a CLOMR-F
- FEMA may require that there be *Compensatory Volume* or *Equivalent Flow Area* be provided. Compensatory volume is the volume of water displaced by the buildings. For example, a park or depressed area could be located between buildings to collect the volume of stormwater displaced. Equivalent flow area is the cross-sectional area of water that flows thru the site. This area may need to be maintained, depending on what FEMA requires. Note the neckdown of the flood-zone at the NW corner. Filling in this site may cause that neckdown to widen and change the flood-zone, thus possibly requiring a LOMR from FEMA. This is another reason a CLOMR or CLOMR-F would be required.

See if drainage site.

HIGHLAND DETENTION BASIN SYSTEM-PHASE II

INDEX OF DRAWINGS

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•	PLAN AND PROFILE SHEETS
4 OF 45 5 OF 45 6 OF 45 7 OF 45 8 OF 45 9 OF 45 10 OF 45	CAMPUS WASH STORM DRAIN STA. 0+00 TO STA. 2+00 (JEFFERSON ST. S.E.) STA. 2+00 TO STA. 6+00 (BURTON AVE. S.E.) STA. 6+00 TO STA. 10+50 (BURTON AVE. S.E.) STA. 10+50 TO STA. 14+50 (MONROE ST. S.E.) STA. 14+50 TO STA. 19+50 (MONROE ST. S.E.) STA. 19+50 TO STA. 24+50 (MONROE ST. S.E.) STA. 24+50 TO STA. 29+50 (MONROE ST. S.E.)
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12 OF 45 13 OF 45	STA, 34+00 TO STA, 39+00 (KATHRYN AVE. S.E.) "STA, 39+00 TO STA, 44+00 (KATHRYN AVE. S.E.)
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	MISCELLANEOUS SHEETS
30 OF 45 31 OF 45 32 OF 45	WATER VALVE LOCATION PLAN DETAILS DETAILS
	TRAFFIC CONTROL PLANS
33 OF 45 34 OF 45 35 OF 45	TYPICAL STREET CLOSURE PLAN AND TRAFFIC SIGN LEGEND TYPICAL STREET CLOSURE PLAN TRAFFIC CONTROL PLAN
	PLAN AND PROFILE SHEETS
36 OF 45 37 OF 45 38 OF 45 39 OF 45 40 OF 45 41 OF 45 42 OF 45 43 OF 45	SOUTHERN AVE. S.E. (STA. 0+00 TO STA. 5+00) SOUTHERN AVE./CARDI:NAS DR. (STA. 5+00 TO STA. 9+00) CARDENAS DR. S.E. (STA. 9+00 TO STA. 14+00) CARDENAS DR. S.E. (STA. 14+00 TO STA. 19+00) CARDENAS DR. S.E. (STA. 19+00 TO STA. 24+00) CARDENAS DR. S.E. (STA. 24+00 TO STA. 29+00) CARDENAS DR. S.E. (STA. 29+00 TO STA. 34+00) CARDENAS DR. S.E. (STA. 34+00 TO STA. 36+23.71) ANDERSON AVE. S.E. (STA. 2+70 TO STA. 7+46 SVY BL. *T*)



VICINITY MAP

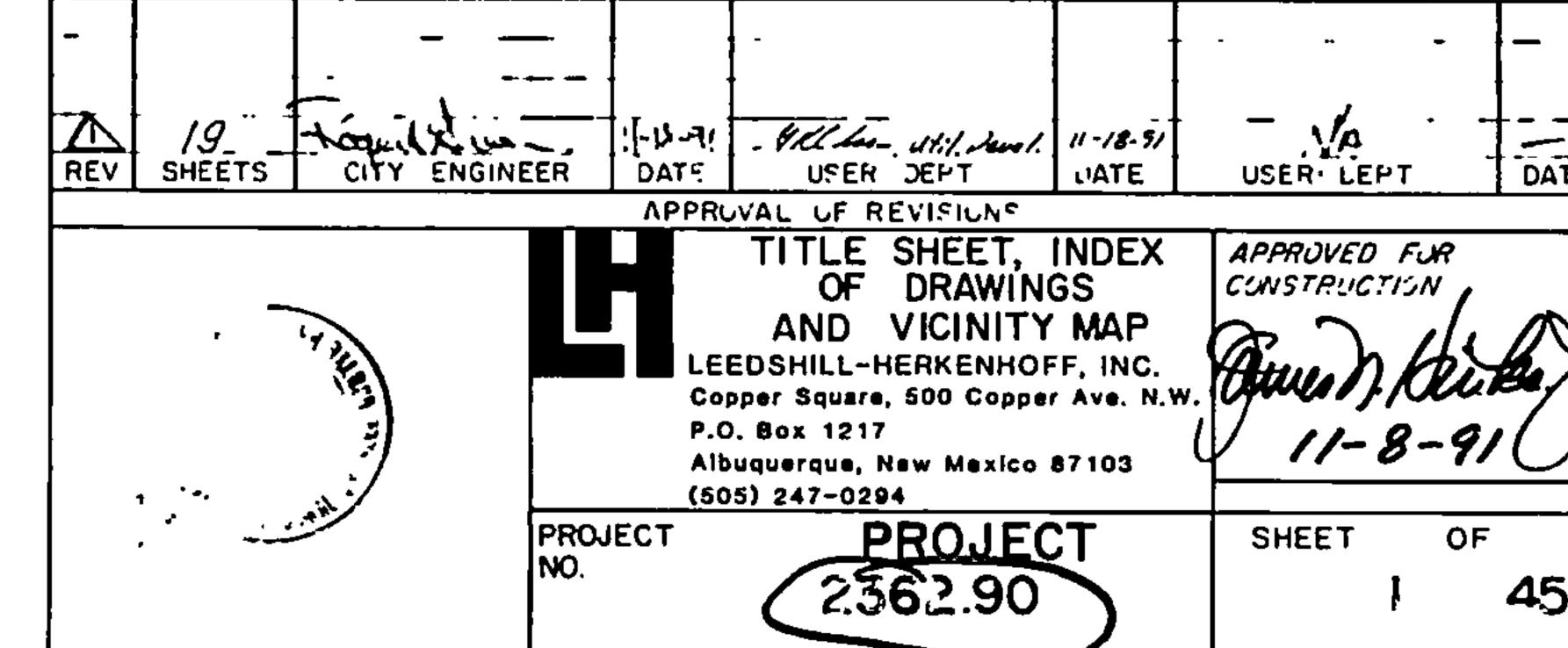
PHASE III STORM DRAIN CONSTRUCTION (NOT IN THIS CONTRACT)

26-2362.90 01.07

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RECORD DRAWING NOV 2 6 1993 These drawings have been revised based the construction records of it a owner -Yhile the information submitted by the Owner will be assumed to be ratiobly the Engineer will not be responsible too like encuracy of this education has been seen

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CHE CONTRUCTION ENGINEER DATE 2-19-9"

OCTOBER 1991

LH PROJECT NO 1871.31/8053.80



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 19, 2001

Levi J. Valdez 12800 San Juan NE Albuquerque, New Mexico 87123

Grading and Drainage Plan for Mr. B's Paint & Body Shop (L18-D64) Dated RE: December 11, 2001

Dear Mr. Valdez:

The above referenced grading and drainage plan received December 11, 2001 is approved for building permit. The plan is also approved for SO #19 permit for construction within the City Right-of-Way. An Engineer's Certification for completion of final site grading and drainage per the plan, and sign-off by the City's field inspector for the SO #19, is required for Hydrology final approval and Certificate of Occupancy.

wanted to update you on the floodplain approval. Per the Floodplain Ordinance you need to have the finish floor two feet above the adjacent ground. The owner may need to pay a higher rate of flood insurance because the finish floor is at a lower elevation. You may still want to talk with the owner about his options. I did allow the lower finish floor because of three drainage systems built upstream of your site that are not reflected in the floodplain maps. I have attached three facility maps that show the systems. The existing drainage systems are the San Mateo storm drain, the Gibson storm drain, and the Kirtland Dam. These systems should remove the floodplain or reduce the depth of runoff. However, the maps still have not been changed.

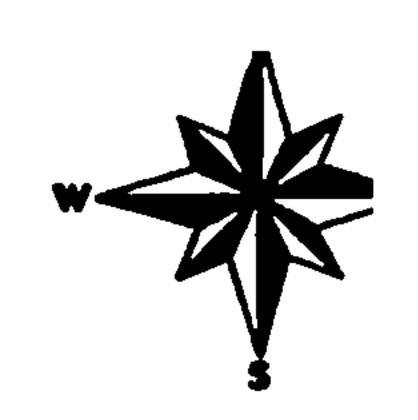
If you have any questions please call me a 924-3982.

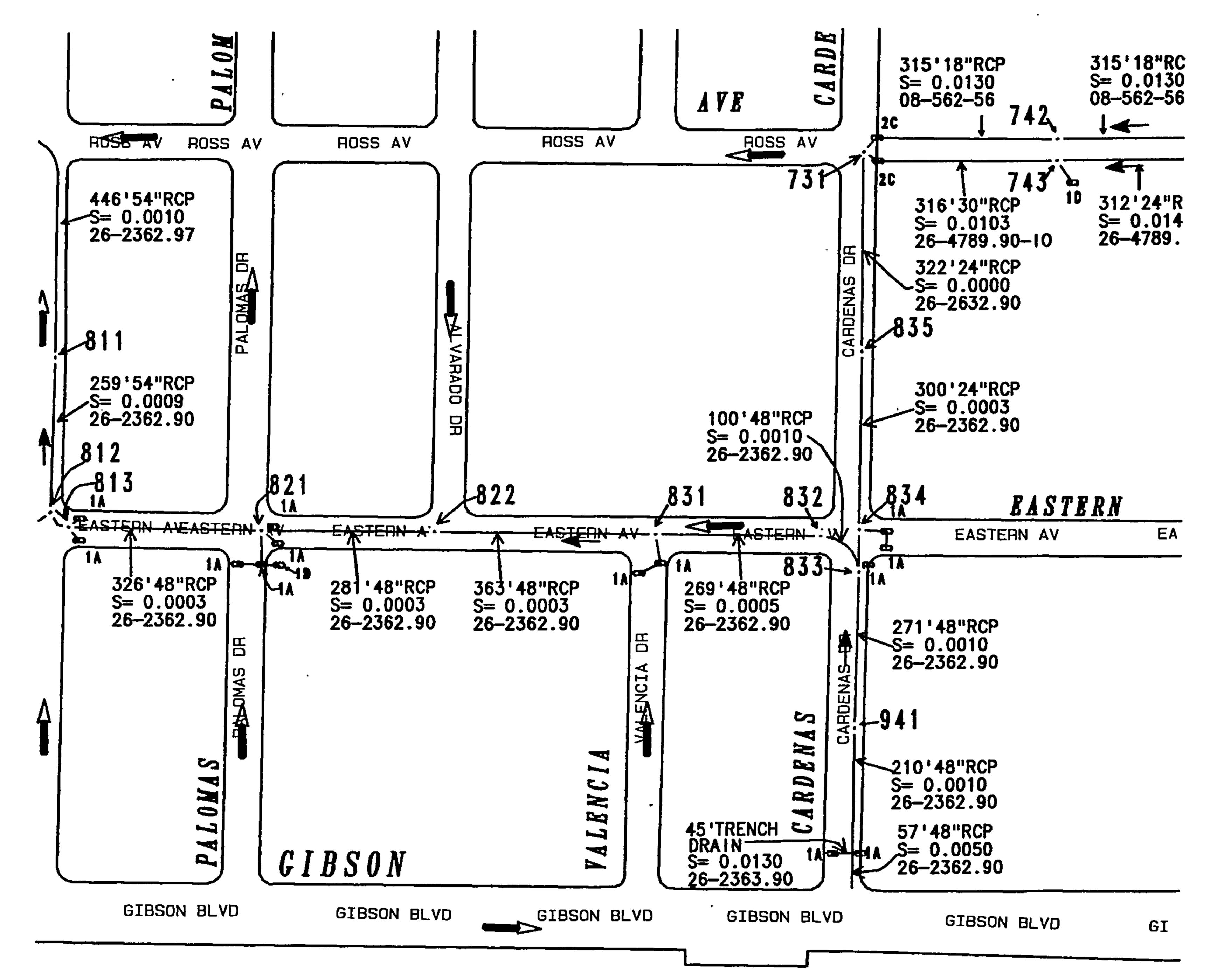
Sincerely,

Carlos A. Montoya

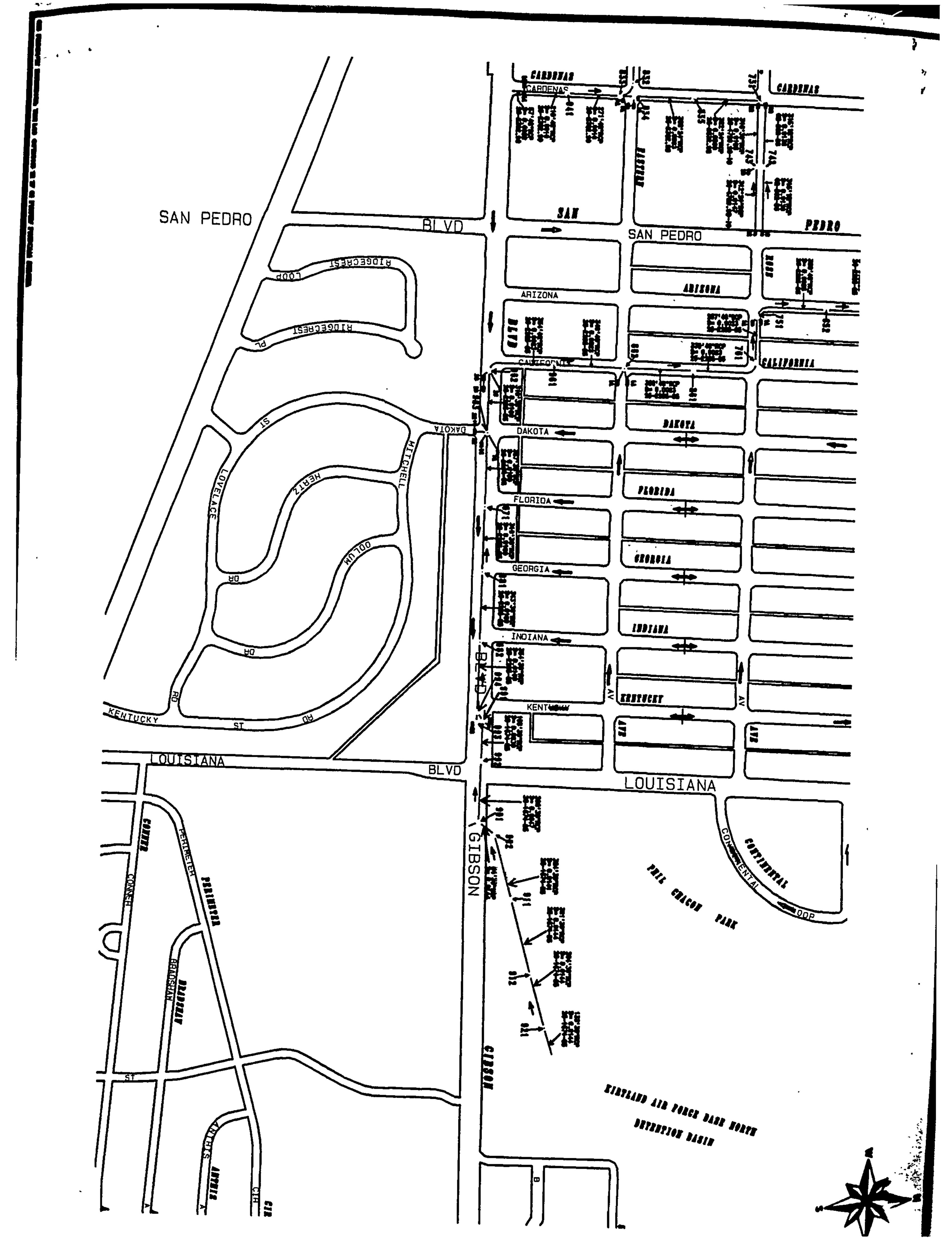
City Floodplain Administrator

Mat Cline, Arroyo Maintenance w/attached plan Pam Lujan, Excavation Permits





PRINCE THE LAD COUNTS TO TO BE FRIEND! STRUCKLE ADQUART



DRAINAGE INFORMATION SHEET

ATTN TERRI MARTIN

PROJECT TITLE: LOVELACE - PALOMAS SATELLI DRB # EPC#	TE PARKINI		MAP/DRG. FILE #: <u>L/8 / D 43</u> ORDER #:
LEGAL DESCRIPTION: LOT A- BLOCK 20 CITY ADDRESS: 5401 EASTERN AVE	VIRGINA	PLACE	ADDITION
ENGINEERING FIRM: CLAUDIO VIGIL ARCHIT ADDRESS: 1801 RIO GRADE I CITY, STATE:	SLOY.		CONTACT: ARTHUR BLESSEN PHONE: 842-1113 ZIP CODE: 87104
OWNER: ADDRESS:CITY, STATE:			CONTACT:PHONE:ZIP CODE:
ARCHITECT: ADDRESS:CITY, STATE:	*		CONTACT:PHONE:ZIP CODE:
SURVEYOR: ADDRESS: CITY, STATE			CONTACT:PHONE: ZIP CODE:
CONTRACTOR: ADDRESS: CITY, STATE:			CONTACT:PHONE:
TYPE OF SUBMITTAL: DRAINAGE REPORT DRAINAGE PLAN CONCEPTUAL GRADING & DRAINAGE PLAN GRADING PLAN EROSION CONTROL PLAN ENGINEER'S CERTIFICATION CLOMR/LOMR X OTHER (PLAN FOR 5019) WAS A PRE-DESIGN CONFERENCE ATTENDED: YES NO COPY PROVIDED	CHE	SIA / F PRELI S. DE\ S. DE\ SECTO FINAL FOUNI BUILD CERTI GRAD PAVIN WORK	F APPROVAL SOUGHT: INANCIAL GUARANTEE RELEASE MINARY PLAT APPROVAL /. PLAN FOR SUB'D APPROVAL /. PLAN FOR BLDG. PERMIT APPROVAL DR PLAN APPROVAL PLAT APPROVAL DATION PERMIT APPROVAL ING PERMIT APPROVAL FICATE OF OCCUPANCY APPROVAL ING PERMIT APPROVAL G PERMIT APPROVAL C ORDER APPROVAL R (SPECIFY)
DATE SUBMITTED 16-1.01	BY: /AR	TU12- 130	LESSEN

Requests for approval of Site Development Plan and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels if submittal may be required based on the following:

- Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. **Drainage Plans**: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.

3. **Drainage Reports**: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

HYDROLOGY SECTION

PUBLIC WORKS DEPARTMENT

OCTOBER 2, 2001

INTEROFFICE CORRESPONDENCE

HYDROLOGY DIVISION

TO:

Pam Lujan, Permits

FROM

John Murray, Hydrology, PWD

SUBJECT:

PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHT-OF-WAY DRAINAGE FILE NUMBER (L18-D63). PALOMAS SATELITE PARKING, LOVELACE MEDICAL CENTER.

Transmitted herewith is a copy of the approved drainage plan for the referenced project incorporating the SO #19 design.

This plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed off SO #19 is required by this office for Certificate of Occupancy release; therefore your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation and if you should have any questions and/or comments, please feel free to call me at 924-3984.

Attachment



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Public Works Department Transportation Development Services Section

September 27, 2001

Art Blessen for Claudio Vigil, Registered Architect, Claudio Vigil Archtiects 1801 Rio Grande N.W. Albuquerque, New Mexico 87104

Re: T.C.L. submittal for building permit approval for Lovelace Health Systems-

Palomas Satellite Parking Site

5401 Easter Avenue S.E. [L18/D063], Architect Stamp dated 9/21/2001.

Dear Mr. Blessen,

The location referenced above is not acceptable and requires modification to the Traffic Circulation Layout (T.C.L.) prior to Building Permit release as stated on the attached TCL checklist, and red-lined T.C.L. markup with comments.

Please resubmit revised T.C.L. after addressing typed and marked up comments. Submit Plan along with typed comments and all red-lined, mark-up copies.

Sincerely,

Mike Zamora,

Commercial Plan Checker

cc: Engineer Terri Martin Office File

TRAFFIC CIRCULATION LAYOUT CHECKLIST

SITE ADDRESS:	•
AGENT: Art Blesson - Claudis II - Claudis III	
LEGAL DESCRIPTION: Virginia Place Addition, Black 20, Lot A-1 ZONE ATLAS PAGE: L-18	9/27/01
ZONE ATLAS PAGE: L-18	

The Traffic Circulation Layout (TCL) is a basic Site Plan that contains information on all new and existing elements involved in the development of the site including: buildings, street widths, street sidewalks and curb & gutter, parking lot features, driveways, landscaped areas, lot lines and easement limits, etc. It will be reviewed prior to submittal of plans for a building permit. The TCL must be reviewed and approved prior to the approval of the plans for building permit. In most all cases the TCL must be certified by the designer-of-record prior to the issuance of a Certificate of Occupancy for that site.

The design firm needs to comply with the TRAFFIC CIRCULATION LAYOUT CHECKLIST provided, along with requirements of Chapter 23 of the Development Process Manual (DPM).

GENERAL INFORMATION REQUIRED:

- 1. TCL must be stamped, signed and dated by N.M. registered architect or engineer.
- 2. Street address of site, also include the drainage plan reference number.
- 3. Provide legal description, name of subdivision, lot number and/or tract number on TCL.
- 4. Any infrastructure work on city property, as part of this development, must be complete before issuance of CO. If work is not completed, Financial Guarantee must be on file with City Engineer.
- Encroachment agreements are needed when structures, fences, walls or items of equal conflict are within City property.
- 6. Drainage and Landscape Plans must match the Site Plan.

SPECIFIC INFORMATION REQUIRED:

- State Highway Department approval is required at locations where access is being taken from a Highway Department roadway.
- 2. Delivery vehicle and refuse maneuvering area must be contained on the site.
- 3. State the design vehicle to be used for deliveries to this site.
- 4. Show new and existing infrastructure on TCL, clearly labeled, dimensioned and to scale. Clearly distinguish between the new and existing improvements.
- 5. Clearly show the phasing for this site.

- 6. Curb cuts need to be in accordance with Chapter 23.6.B of the DPM and COA standard dwg #2425 or #2426.
- 7. Parking stalls and drive aisles need to be in accordance with Chapter 23.7.A of the DPM.
- 28. Adequate queuing needs to be provided in accordance with Chapter 23.7.C of the DPM.
- 9. Label parking stalls for small car as "COMPACT" or equal.
- 10. Sidewalks are required to be 5ft when placed between a building and parking stall.
- 11. Drive-through facilities shall be designed in accordance with Chapter 23.7.E.
- 12. Clearly show both sides of the adjacent street to scale and all existing infrastructure, include the sidewalk, curb and gutter, median, etc. as applicable.
- 13. Handicap parking stalls must be in accordance with the New Mexico State Building code for accessibility.
- □ 14. Handicap ramps are required at street corners.
- 15. Cross access easements may be needed.

DRAINAGE INFORMATION SHEET

Loselace Modical GR-
PROJECT TITLE: PALOMAS SATELLITE PARKING SITE ZONE MAP/DRG. FILE #: L-18 D 63 DRB # EPC# WORK ORDER #:
LEGAL DESCRIPTION: LOT A-1 BLOCK 20 VIRGINA PLACE APPITION CITY ADDRESS: 5401 EASTERN AUE S.E.
ENGINEERING FIRM: CLAUDIO YIGIL ARCHITECTS CONTACT: ARTHUR BLESSEN ADDRESS: 1801 RIO GRANDE BLOY PHONE: 842-1113 CITY, STATE: ALBUQUER QUE, NEW MEXICO ZIP CODE: 87104
OWNER: LOYELACE HEALTH SYSTEMS CONTACT: PHONE: ZIP CODE:
ARCHITECT: CLAUDIO VIGIL ARCHITECTS CONTACT: PHONE: ZIP CODE: ZIP CODE:
SURVEYOR: CONTACT: PHONE: ZIP CODE:
CONTRACTOR: CONTACT: ADDRESS: PHONE: CITY, STATE: ZIP CODE:
TYPE OF SUBMITTAL: DRAINAGE REPORT DRAINAGE PLAN CONCEPTUAL GRADING & DRAINAGE PLAN GRADING PLAN EROSION CONTROL PLAN ENGINEER'S CERTIFICATION CLOMR/LOMR OTHER WAS A PRE-DESIGN CONFERENCE ATTENDED: YES NO COPY PROVIDED CHECK TYPE OF APPROVAL SOUGHT: SIA / FINANCIAL GUARANTEE RELEASE PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D APPROVAL SECTOR PLAN APPROVAL FINAL PLAT APPROVAL FOUNDATION PERMIT APPROVAL CERTIFICATE OF OCCUPANCY APPROVAL A GRADING PERMIT APPROVAL WORK ORDER APPROVAL OTHER (SPECIFY) OTHER (SPECIFY) OTHER (SPECIFY)
DATE SUBMITTED 8.1.01 BY: J Arthor Blessen
Requests for approval of Site Development Plan and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels if submittal may be required based on the following: 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans. 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres. 3. Drainage Reports: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 17, 2001

J. Arthur Blessen, P.E. Claudio Vigil Architects 1801 Rio GrandeBlvd. NW, #2 Albuquerque, NM 87104

RE: LOVELACE MEDICAL CENTER - PALOMAS SATELLITE PAR (L18-D63).
GRADING AND DRAINAGE PLAN FOR GRADING AND PAVING PERMIT APPROVALS. ENGINEER'S STAMP DATED AUGUST 1, 2001.

Dear Mr.Blessen:

Based on the information provided on your August 1, 2001 submittal, the above referenced project is approved for both Grading and Paving Permits.

***Add the Standard SO#19 Construction Notes and Inspector's Signature Block to this Plan..

Provide a second copy of the plan for the SO#19 Process.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit is required for construction within the City right-of-way. A copy of this approval letter must be on hand when applying for the excavation permit.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,

John P. Murray, P.E.

Hydrology

c: Pam Lujan
Terri Martin
File

PUBLIC WORKS DEPARTMENT

OCTOBER 2, 2001

INTEROFFICE CORRESPONDENCE

HYDROLOGY DIVISION

TO:

Pam Lujan, Permits

FROM:

John Murray, Hydrology, PWD

SUBJECT:

': PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHT-OF-WAY DRAINAGE FILE NUMBER (L18-D63). PALOMAS SATELITE PARKING, LOVELACE MEDICAL CENTER.

Transmitted herewith is a copy of the approved drainage plan for the referenced project incorporating the SO #19 design.

This plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed off SO #19 is required by this office for Certificate of Occupancy release; therefore your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation and if you should have any questions and/or comments, please feel free to call me at 924-3984.

Attachment

********** ERROR TX REPORT

TX FUNCTION WAS NOT COMPLETED

TX/RX NO

0094

CONNECTION TEL

98421330

SUBADDRESS

CONNECTION ID

08/20 10:18

ST. TIME USAGE T

00'00

PGS.

RESULT

NG

#018

City of Albuquerque Public Works Department 505-924-3900 (main number) 505-924-3864 (fax number) Development and Building Services (One Stop Shop)
Plaza Del Sol Building, 2nd Floor
600 2nd Street NW Albuquerque, NM 87102

City of Albuquerque Public Works Dept. Dev. & Bldg. Srvcs.

A A

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Urgent For Review Please comme	nt Please Reply Please Recycle
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City of Albuquerque
Public Works Department
505-924-3900 (main number)
505-924-3864 (fax number)
Development and Building Services (One Stop Shop)
Plaza Del Sol Building, 2nd Floor
600 2nd Street NW
Albuquerque, NM 87102

City of Albuquerque Public Works Dept. Dev. & Bldg. Srvcs.

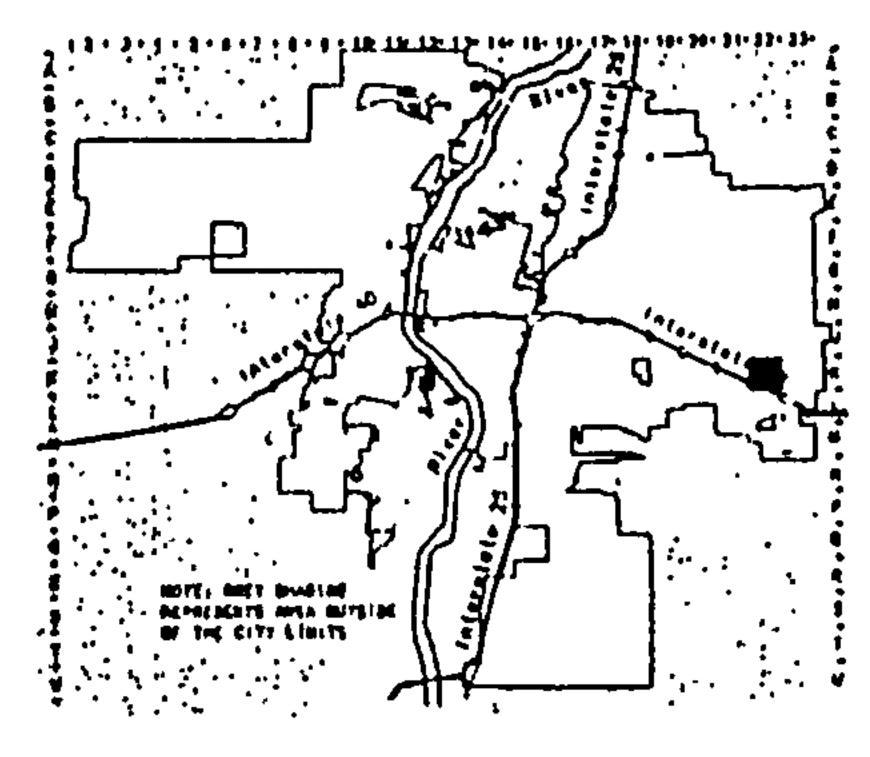
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Urgent For Review Please com Review Au Fort Cost All	ment Please Reply Please Recycle
Comments:	

- 3.) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 4.) ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORM-ED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PRC "LDURES.



LEGEND:

TOP OF CURB ELEVATION = 7C=40.54CURB FLOWLINE ELEVATION = 4=30.94EXISTING SPOT ELEVATION = 4=36.7EXISTING CONTOUR ELEVATION = 4=38.0PROPOSED SPOT ELEVATION = 4=38.0PROPOSED CONTOUR ELEVATION = 4=38.0PROPOSED OR EXISTING CONCRETE SURFACE = 4=36.0EXISTING FENCE LINE = 4=4.4



LOCATION MAP

NOTICE TO CONTRACTOR:

- 1.) AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THIS PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION OF THIS PERMIT.
- 2.) ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATION PUBLIC WORKS CONSTRUCTION 1985.
- 3.) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (765-1234) FOR LOCATION OF EXISTING UTILITIES.
- 35
- 4.) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS, SHOULD A CONFLICT EXIST, THE CONTARCTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 5.) BACKFILL COMPACTION SHALL BE ACCORDING TO AND STREET USE.
- 6.) MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

Jones De Sal		41 · A44
INSPECTOR		
CARTE SIGN		
APPROVALS	NAME	DATE:

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(C) * /.

NOTE: ALL WORK WITHIN PUBLIC EASEMENT SHALL BE PER-FORMED UNDER SEPARATE PERMIT.

7/0/2/01/2