

LEGEND: (SITE PLAN)

- NEW CONSTRUCTION:
- CONCRETE:
- BITUMINOUS PAVING: (WITHIN SHADED AREA)
- WATER SERVICE LINE:
- SEWER SERVICE LINE:
- NATURAL GAS SERVICE LINE:
- ELECTRICAL SERVICE LINE:
- TELEPHONE SERVICE LINE:
- ROSE BIBB:
- LANDSCAPE ITEM: (SEE LANDSCAPE PLAN SHEET 2)
- FIRE HYDRANT:
- KEYED NOTE: (SEE THIS SHEET)

- 1. SITE PLAN:
- 2. LANDSCAPING PLAN:
- 3. GRADING / DRAINAGE PLAN:
- 4. SPECIFICATIONS:
- 5. SPECIFICATIONS:
- 6. FOUNDATION PLAN:
- 7. FOUNDATION DETAILS:
- 8. ROOF FRAMING DETAILS:
- 9. FLOOR PLAN:
- 10. ROOM FINISH SCHEDULE:
- 11. EXTERIOR ELEVATIONS:
- 12. SECTIONS:
- 13. SECTIONS:
- 14. SECTIONS:
- 15. ROOF PLAN:
- 16. PLUMBING PLAN:
- 17. PLUMBING / HVAC:
- 18. HVAC PLAN:
- 19. ELECTRICAL: LIGHTING:
- 20. ELECTRICAL:
- 21. ELECTRICAL: POWER:

SITE:

- DESCRIPTION: TRACT "B-1", BLOCK 30 VIRGINIA PLACE ADDITION ALBUQUERQUE, NEW MEXICO
- ADDRESS: 1410 VALENCIA DRIVE SE ALBUQUERQUE, NEW MEXICO
- AREA: 22,275 SF: (0.51 ACRE)
- ZONED: C-2:
- SEISMIC ZONE: 2B:
- ZONE ATLAS: L-18-2:

PROJECT:

- OCCUPANCY: B/H4/S1: (OFFICE / AUTOMOTIVE BODY SHOP)
- CONSTRUCTION: VN: ALLOWABLE 8,000 SF: (3) = 24,000 SF: (SPRINKLERED)
- AREA: OFFICE: 1,194 SF; BODY SHOP: 2,350 SF; PAINT SHOP: 1,500 SF; TOTAL: 5,044 SF:

NOTES: (SITE PLAN)

- NEW CONCRETE DRIVE: (REMOVE EXISTING); EXISTING CONCRETE DRIVE TO REMAIN:
- TRASH RECEPTACLE ENCLOSURE AS PER CITY OF ALBUQUERQUE REQUIREMENTS: (CMU TO MATCH BUILDING) SEE DETAIL 1/2.
- LANDSCAPING AREA:
- CONCRETE CURB: (SEE GRADING / DRAINAGE PLAN)
- EXISTING CHAIN LINK FENCE:
- EXISTING POWER POLE:
- EASEMENT: (PUE)
- BITUMINOUS PAVING: (SEE SPECIFICATIONS & GRADING / DRAINAGE PLAN)
- CONCRETE DRAINAGE TROUGH: (SEE GRADING / DRAINAGE PLAN)
- CONCRETE APRON:
- CONCRETE WALK:
- WROUGHT IRON FENCE: (6'-0" HIGH); SLIDING OR ROLLING GATE: (23' WIDE); PEDESTRIAN GATE: (3'-6" WIDE)
- EXISTING ELECTRICAL SERVICE:
- COMPRESSOR LOCATIONS:
- ELECTRICAL METER: (SEE ELECTRICAL)
- EXISTING WATER METER:
- EXISTING WATER METER LOCATION: (SEE PLUMBING)
- WATER METER: FIRE SUPPRESSION SYSTEM: (SEE PLUMBING)
- NATURAL GAS METER: (SEE PLUMBING)

PARKING:

- REQUIRED: 31 SPACES;
- PROVIDED: 34 SPACES: (2 HANDICAPPED)

LANDSCAPING:

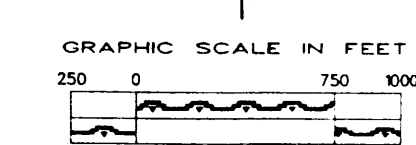
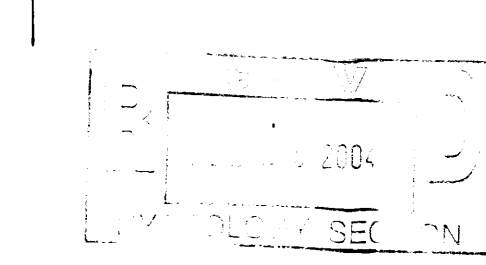
- REQUIRED: 2,140 SF;
- PROVIDED: 3,788 SF:

TRASH RECEPTACLE ENCLOSURE:

- LOCATION IS AS DIRECTED BY SOLID WASTE DEPARTMENT: (TERESA BACA: 4/13/02)

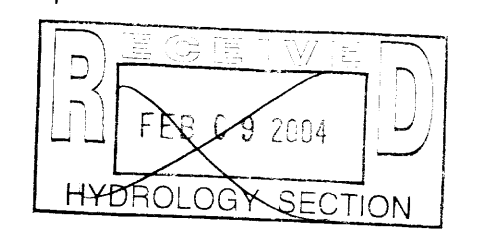
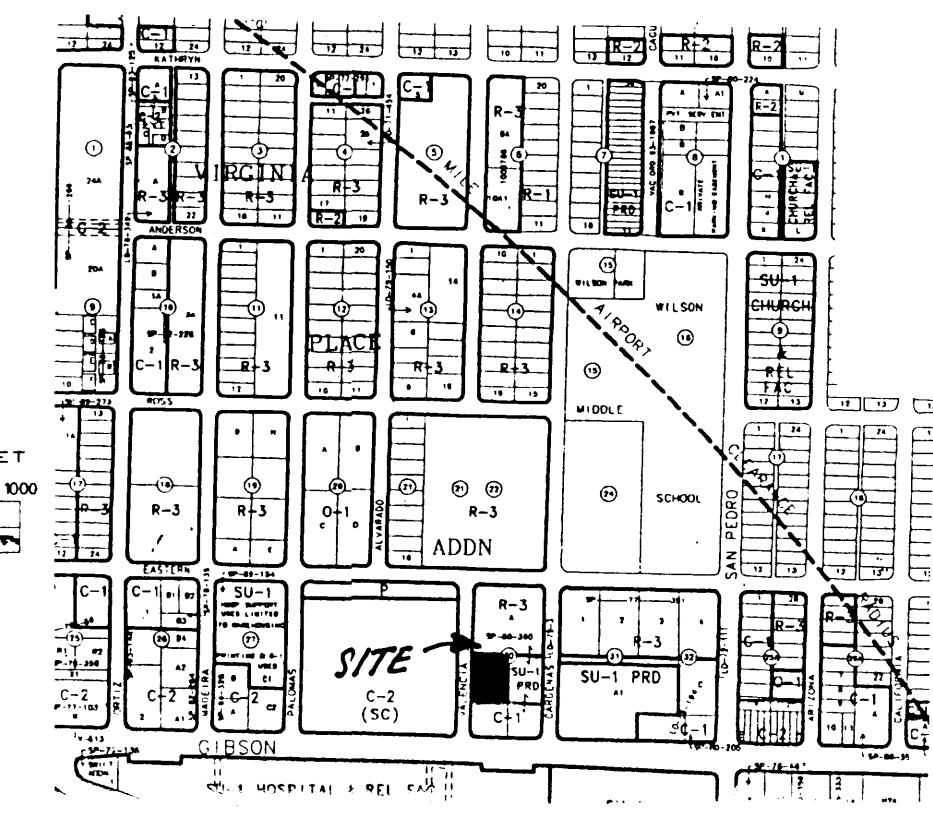
SIDEWALKS:

- SIDEWALKS MATCH EXISTING SIDEWALKS: (6'-0" WIDE) IN ACCORDANCE WITH CITY OF ALBUQUERQUE REQUIREMENTS;
- HANDICAPPED RAMPS IN ACCORDANCE WITH CITY OF ALBUQUERQUE AS PER "GRADING / DRAINAGE PLAN"
- CURB CUTS APPROVED BY TRAFFIC ENGINEERING DEPARTMENT: (JOSEPH P. HOHTANO: 11/13/01)

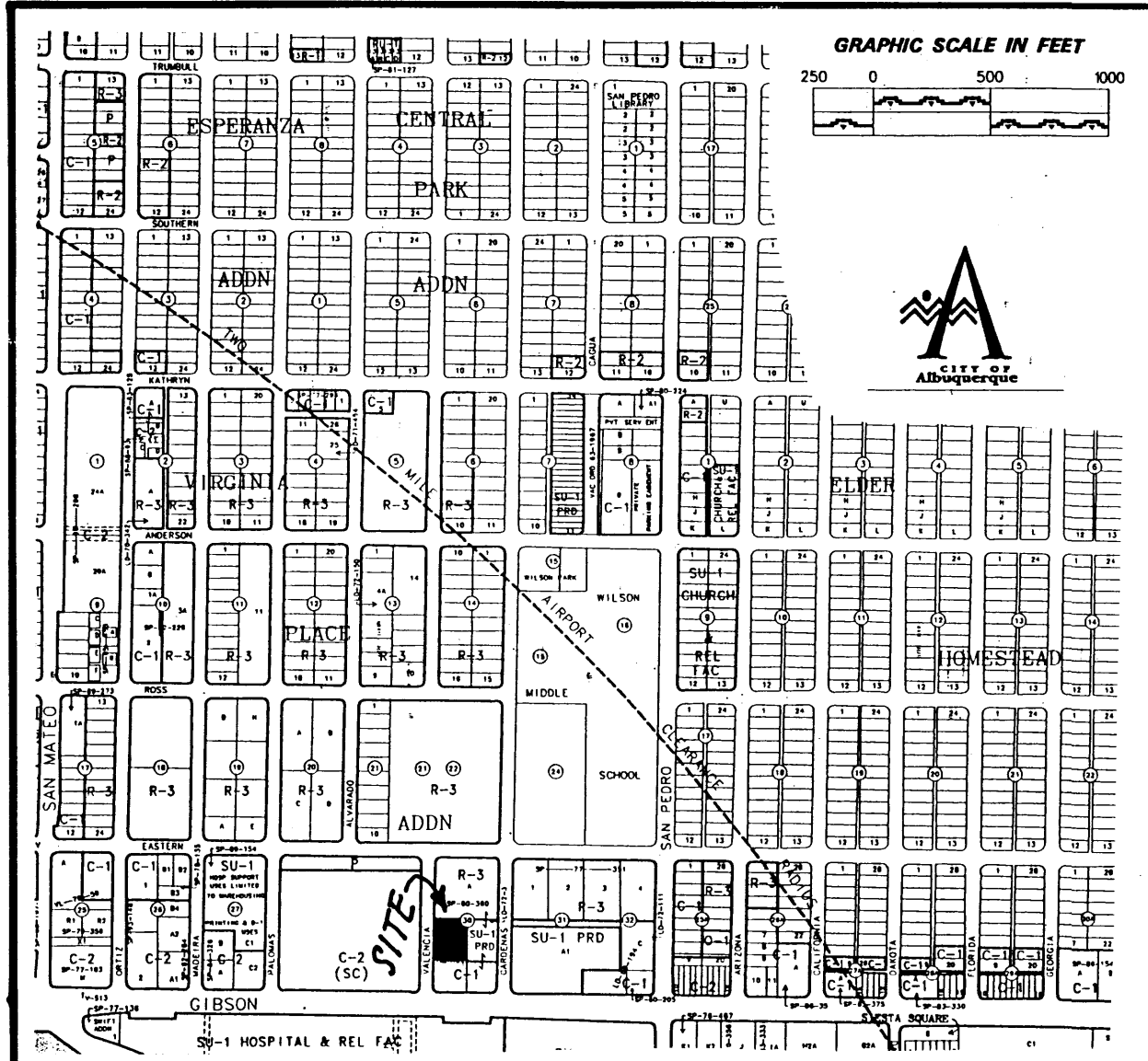


L-18-Z

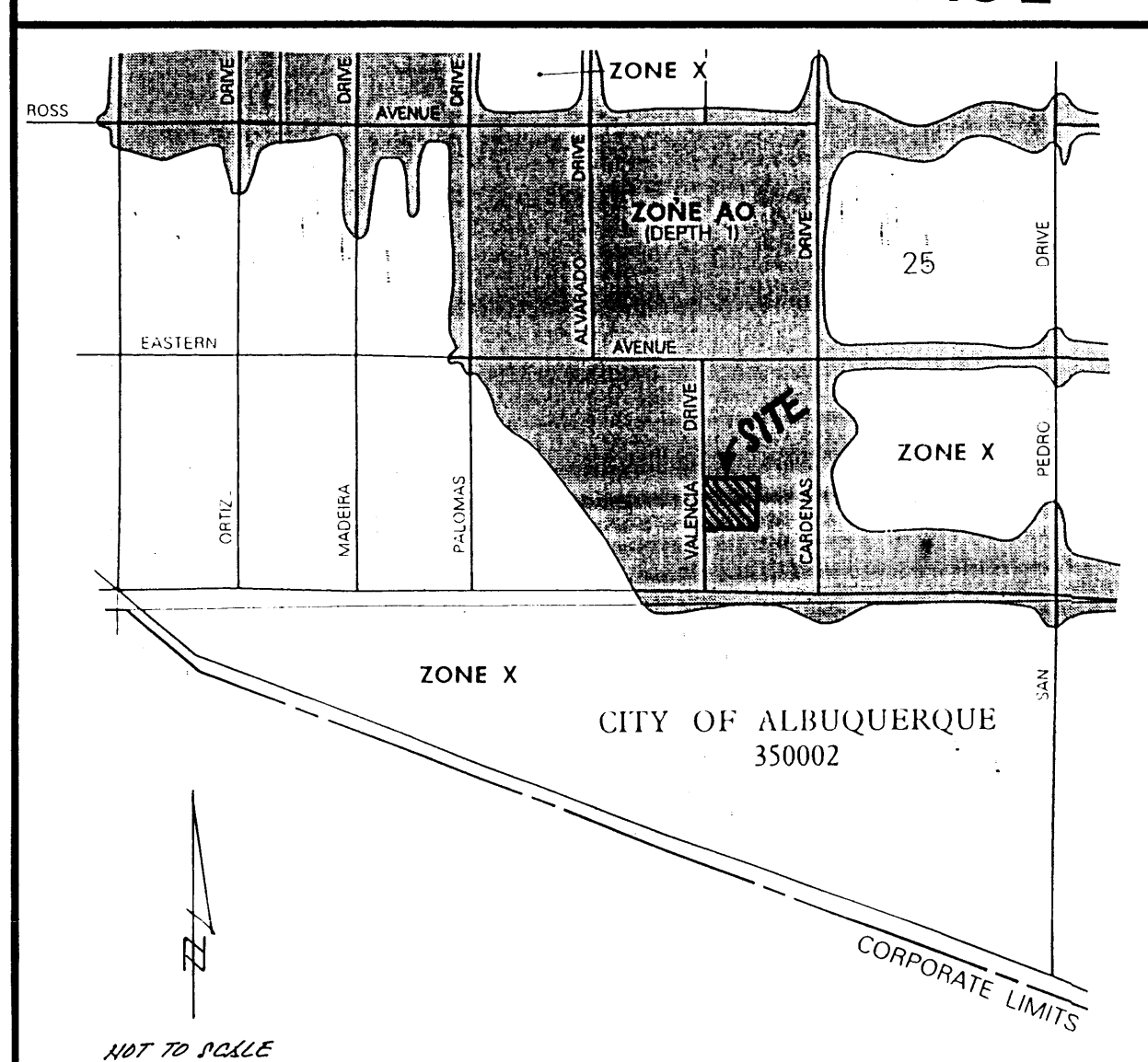
AREA MAP







VICINITY MAP L-18-Z



F.E.M.A. PANEL 362 OF 825

EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION. HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

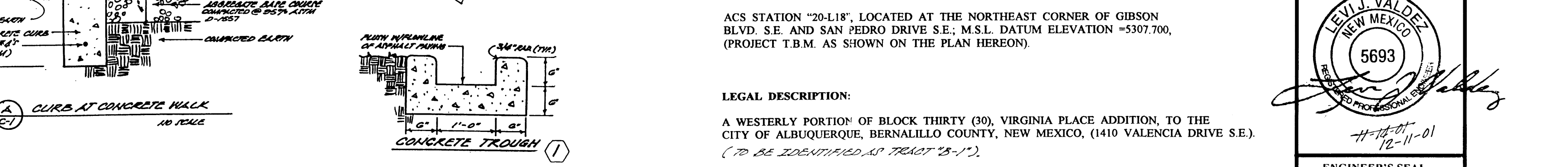
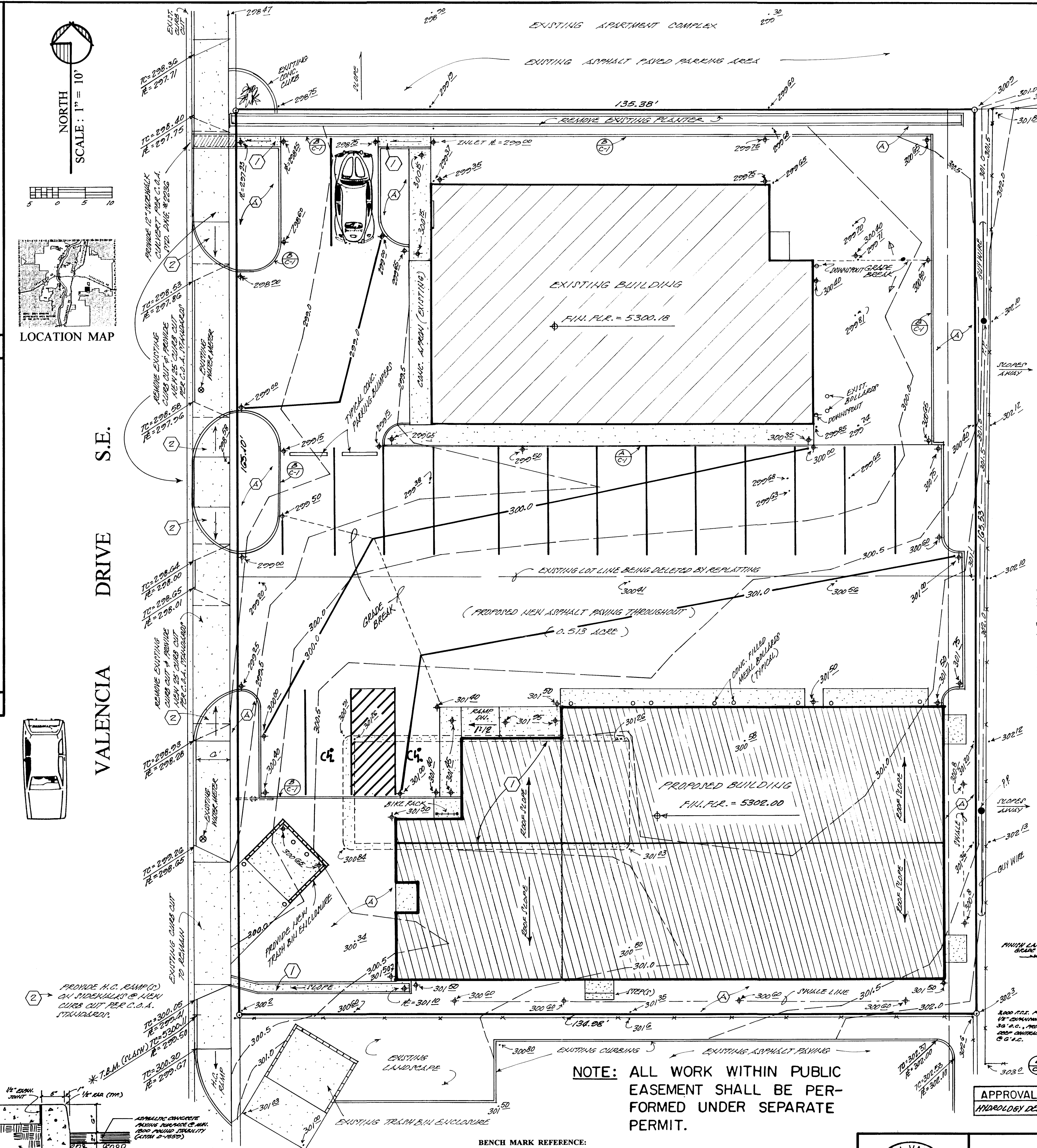
- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 266-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OR SUB-SURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

LEGEND:  
TOP OF CURB ELEVATION =  $TD = 298.64$   
CURB FLOWLINE ELEVATION =  $EL = 298.00$   
EXISTING SPOT ELEVATION =  $AS = 299.92$   
EXISTING CONTOUR ELEVATION =  $299.5$   
PROPOSED SPOT ELEVATION =  $AS = 301.22$   
PROPOSED CONTOUR ELEVATION =  $299.0$   
PROPOSED OR EXISTING CONCRETE SURFACE =  $CONCRETE$   
EXISTING FENCE LINE =  $FENCE$

- GENERAL NOTES:
- NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
  - NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.



A.1 PRECIPITATION ZONES

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

ZONE	LOCATION
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40, and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40, and East of the East boundary of Range 4 East, South of Interstate 40

Zone	Intensity	100-YR (2-YR, 10-YR)
1	4.70	(1.84, 3.14)
2	5.05	(2.04, 3.41)
3	3.38	(2.21, 3.65)
4	5.61	(2.34, 3.83)

Zone	Treatment	100-YR (2-YR, 10-YR)
1	A	1.29 (0.00, 0.24)
1	B	2.03 (0.33, 0.76)
1	C	2.87 (0.47, 1.49)
1	D	4.37 (1.69, 2.89)
2	A	1.50 (0.00, 0.38)
2	B	2.28 (0.60, 0.95)
2	C	3.14 (0.60, 1.71)
2	D	4.70 (1.86, 3.14)
3	A	1.87 (0.00, 0.58)
3	B	2.60 (0.21, 1.19)
3	C	3.45 (0.78, 2.00)
3	D	5.07 (2.04, 3.39)
4	A	2.30 (0.05, 0.87)
4	B	2.92 (0.38, 1.45)
4	C	3.73 (1.00, 2.26)
4	D	5.25 (2.17, 3.57)

DRAINAGE COMMENTS AND CALCULATIONS:

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED ON THE EAST SIDE OF VALENCIA DRIVE S.E. AND APPROXIMATELY 1/2 BLOCK NORTH OF GIBSON BLVD. S.E., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

THE SUBJECT SITE, 1) IS PRESENTLY A FULLY DEVELOPED COMMERCIAL SITE THAT CONTAINS TWO SEPARATE PARCELS AND BUSINESSES AND AT THE PRESENT TIME BEING REPLATED TO CONSOLIDATE BOTH PARCELS INTO ONE, 2) ACCORDING TO F.E.M.A. FLOODWAY AND FIRM PANEL 362 OF 825 THE SITE IS LOCATED WITHIN A DESIGNATED AO-1 DEPTH FLOODPLAIN; THEREFORE, THE PROPOSED FINISHED FLOOR ELEVATION OF THE NEW BUILDING IS TO BE ESTABLISHED AT 2.0' ABOVE THE HIGHEST CURB FLOWLINE ELEVATION ADJACENT TO THE PROPERTY WHERE POTENTIAL FLOODING CONDITIONS WOULD OCCUR. (FLOOD HAZARD INSURANCE MAY BE REQUIRED), 3) DOES NOT ACCEPT OFFSITE FLOWS FROM ADJACENT PROPERTIES, 4) DOES NOT CONTRIBUTE TO THE OFFSITE FLOWS OF ADJACENT PROPERTIES, 5) IS TO FREE DISCHARGE THE PROPOSED DEVELOPED FLOWS INTO VALENCIA DRIVE S.E.; SAID FLOWS WILL NOT AGGRAVATE THE FLOODING CONDITIONS DOWNSTREAM CONSIDERING THAT THERE WILL BE A DECREASE IN THE DEVELOPED FLOWS COMPARED TO THE EXISTING CONDITIONS.

CALCULATIONS:  
PER SECTION 22.2, HYDROLOGY OF THE DEVELOPED PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED JANUARY 1993.

SITE AREA: 0.51 ACRE  
PRECIPITATION ZONE: THREE (3)  
PEAK INTENSITY: IN/HR. AT  $t_c$  = TWELVE (12) MINUTES, 100-YR. = 5.38

LAND TREATMENT METHOD FOR CALCULATION OF "Qp", TABLES A-8 and A-9.

"LAND TREATMENT FACTORS", TABLE A-4.

EXISTING CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.03	X 3.45	= 0.10
D	0.48	X 5.02	= 2.41

"Qp" = 2.51 CFS

PROPOSED DEVELOPED CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.07	X 3.45	= 0.24
D	0.44	X 5.02	= 2.21

"Qp" = 2.45 DECREASE =  $2.51 - 2.45 = 0.06$  CFS

NOTICE TO CONTRACTOR:

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THIS PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION OF THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATION - PUBLIC WORKS CONSTRUCTION - 1985.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (765-1234) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO ARTICIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

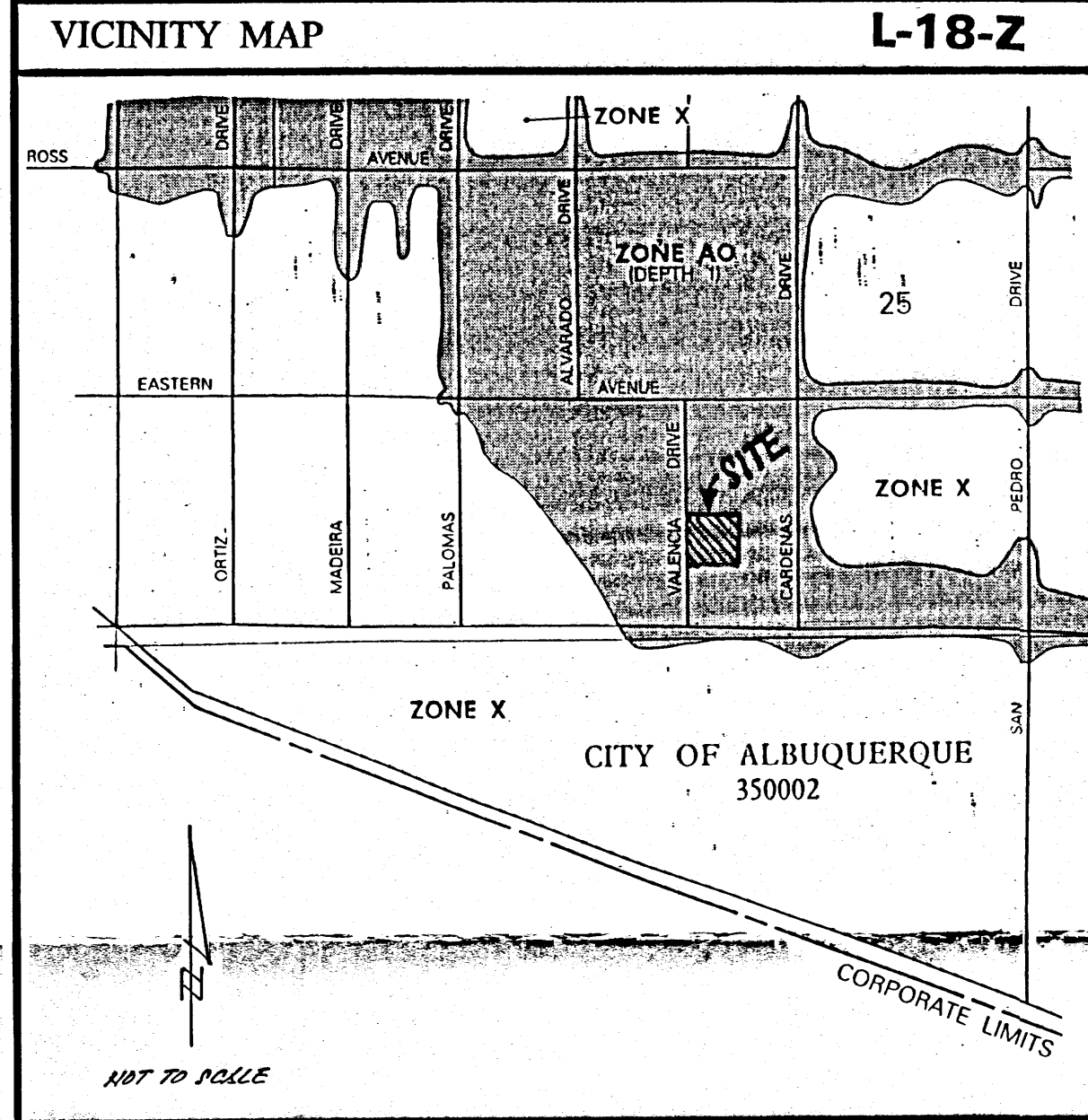
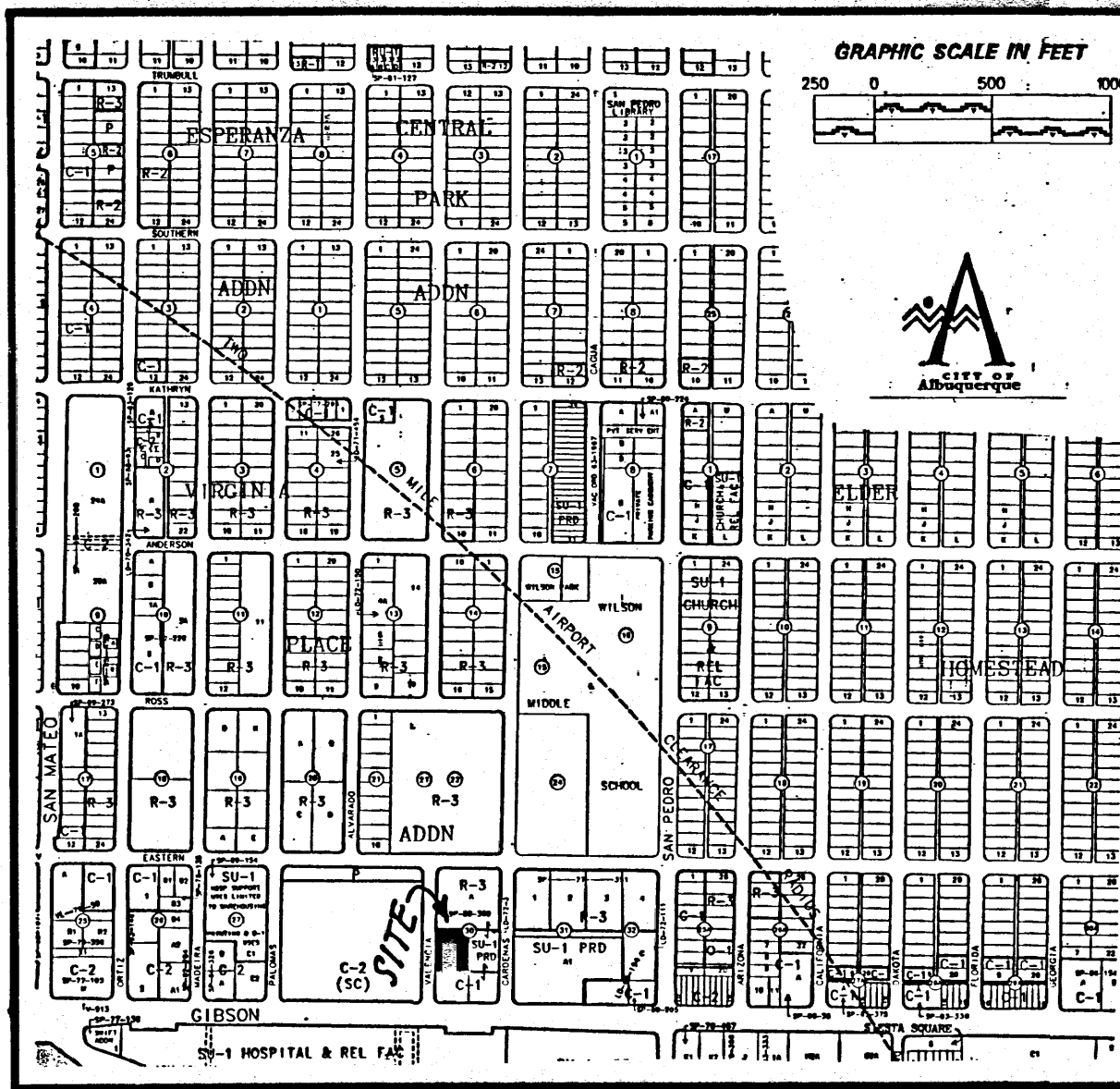
A PROPOSED GRADING AND DRAINAGE PLAN  
FOR  
MR. B's PAINT AND BODY SHOP, INC.  
(1410 VALENCIA DRIVE, S.E.)  
ALBUQUERQUE, NEW MEXICO  
OCTOBER, 2001  
(REVISION: DECEMBER, 2001)

APPROVALS  
NAME  
DATE

ENGINEER'S SEAL

RECEIVED  
DEC 11 2001  
HYDROLOGY SECTION





F.E.M.A. PANEL 362 OF 825

**EROSION CONTROL MEASURES:**  
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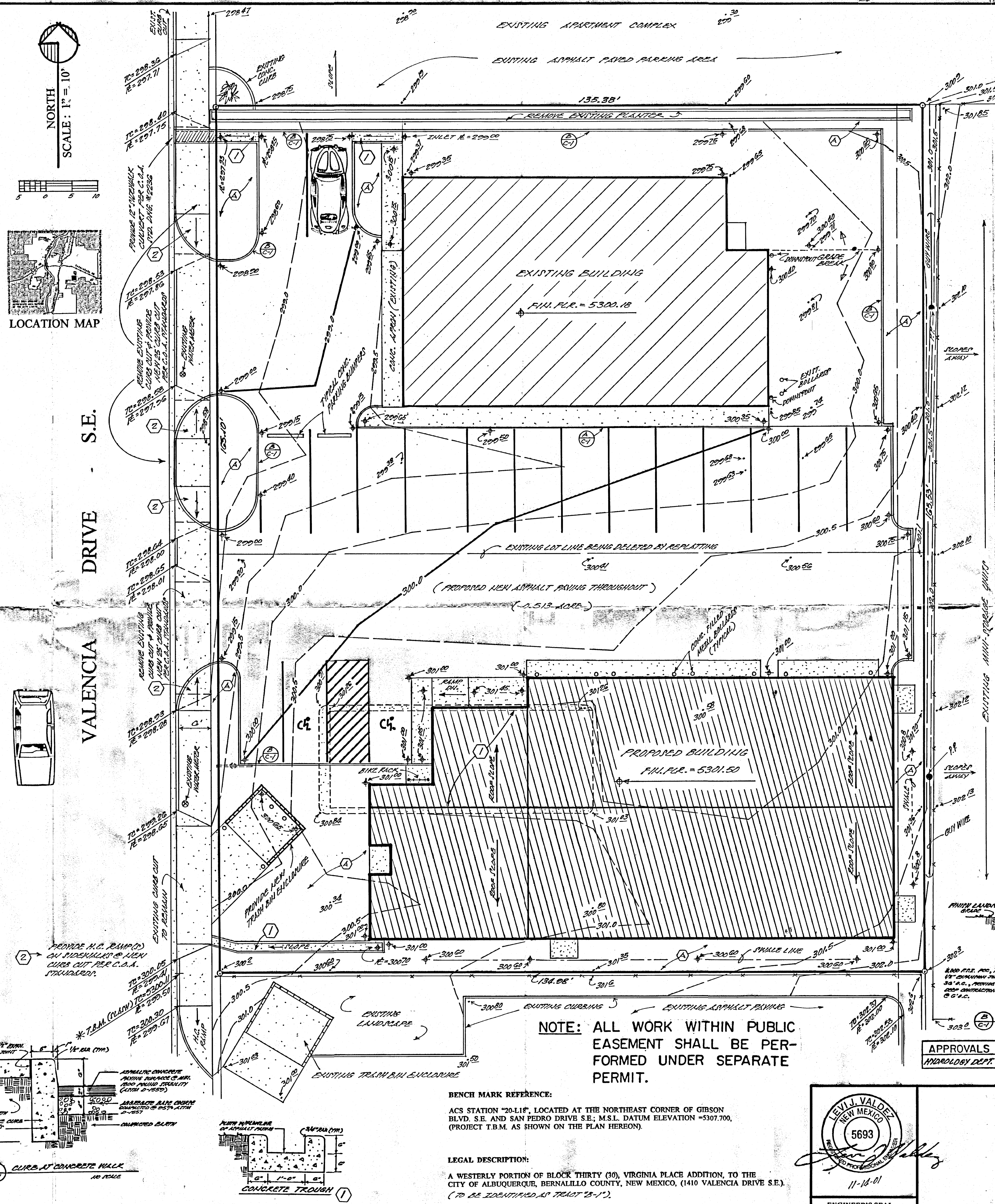
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**CONSTRUCTION NOTES:**

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OR SUB-SURFACE UTILITIES.
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**LEGEND:**  
TOP OF CURB ELEVATION =  $72 = 298.22$   
CURB FLOWLINE ELEVATION =  $A = 298.00$   
EXISTING SPOT ELEVATION =  $298.20$   
EXISTING CONTOUR ELEVATION =  $298.5$   
PROPOSED SPOT ELEVATION =  $301.22$   
PROPOSED CONTOUR ELEVATION =  $299.0$   
PROPOSED OR EXISTING CONCRETE SURFACE =  $299.0$   
EXISTING FENCE LINE =  $X$

- GENERAL NOTES:**
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**A.1 PRECIPITATION ZONES**  
Bernalillo County's four precipitation zones are depicted in TABLE A-1 and on FIGURE A-1.

ZONE	LOCATION
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4	East of Eubank, North of Interstate 40; and East of the East boundary of Range 4 East, South of Interstate 40

Zone	Intensity
1	4.30 (1.84, 3.14)
2	5.05 (2.04, 3.41)
3	5.38 (2.31, 3.65)
4	5.61 (2.34, 3.83)

Zone	Treatment	100-YR (2-YR, 10-TR)
1	A	1.29 (0.00, 0.24)
1	B	2.03 (0.33, 0.76)
1	C	2.87 (0.47, 1.49)
1	D	4.37 (1.69, 2.89)
2	A	1.56 (0.00, 0.38)
2	B	2.28 (0.08, 0.95)
2	C	3.14 (0.60, 1.71)
2	D	4.70 (1.86, 3.14)
3	A	1.87 (0.00, 0.58)
3	B	2.60 (0.21, 1.19)
3	C	3.45 (0.78, 2.09)
3	D	5.04 (2.04, 3.39)
4	A	2.20 (0.05, 0.87)
4	B	2.92 (0.38, 1.45)
4	C	3.73 (1.00, 2.26)
4	D	5.25 (2.17, 3.57)

**DRAINAGE COMMENTS AND CALCULATIONS:**

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**CALCULATIONS:**  
PER SECTION 222, HYDROLOGY OF THE DEVELOPED PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED JANUARY 1993.  
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PRECIPITATION ZONE: THREE (3)  
PEAK INTENSITY: IN/Hr. AT  $T_c$  = TWELVE (12) MINUTES, 100-YR = 5.38  
LAND TREATMENT METHOD FOR CALCULATION OF "Qp", TABLES A-8 and A-9.  
"LAND TREATMENT FACTORS", TABLE A-4.  
EXISTING CONDITIONS:  
TREATMENT AREA/ACRES FACTOR CFS  
C 0.48 X 3.45 = 0.10  
D 0.48 X 5.02 = 2.41  
"Qp" = 2.51 CFS  
PROPOSED DEVELOPED CONDITIONS:  
TREATMENT AREA/ACRES FACTOR CFS  
C 0.07 X 3.45 = 0.24  
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"Qp" = 2.45 DECREASE = 2.51 - 2.45 = 0.06 CFS

**NOTICE TO CONTRACTOR:**

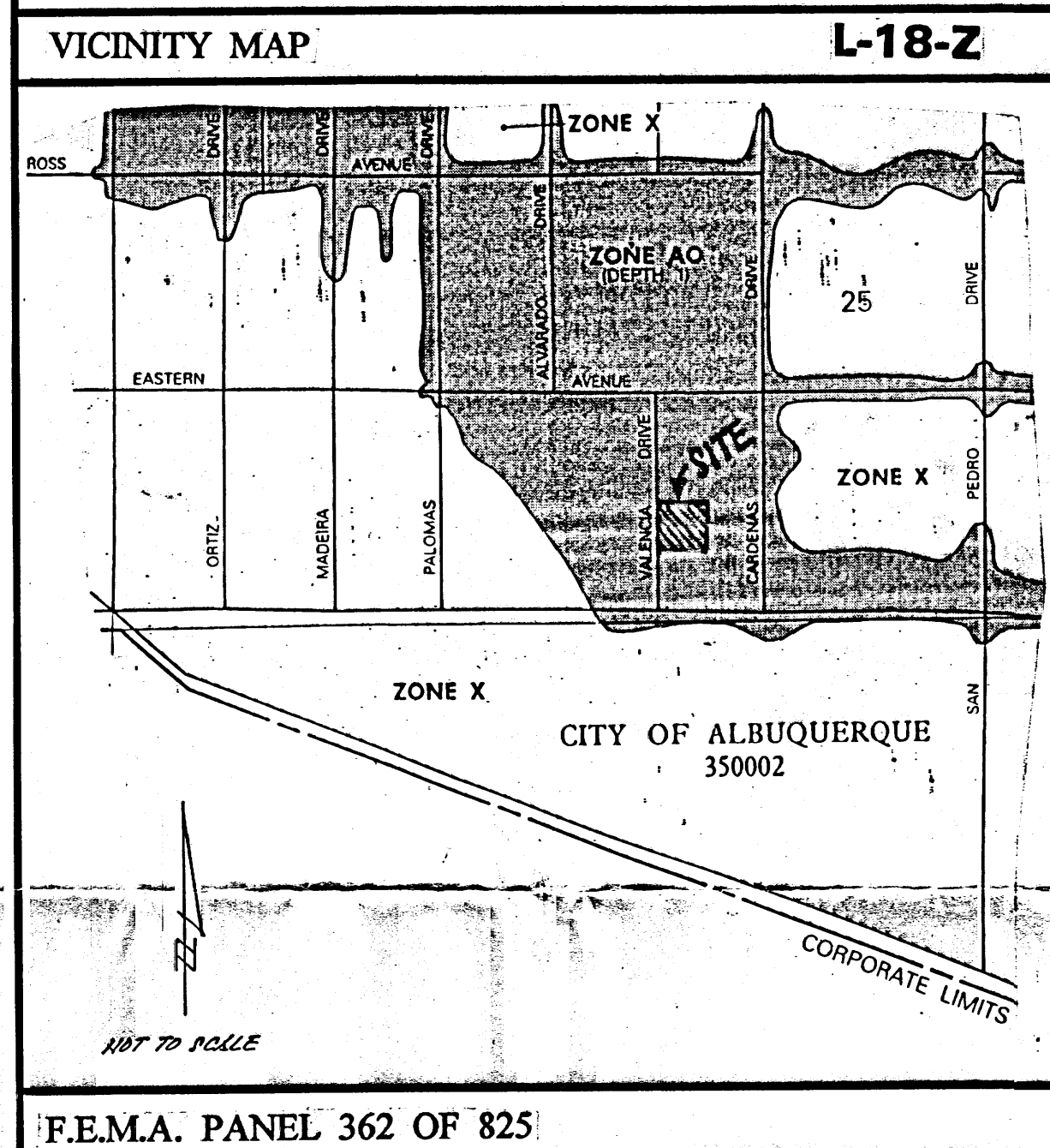
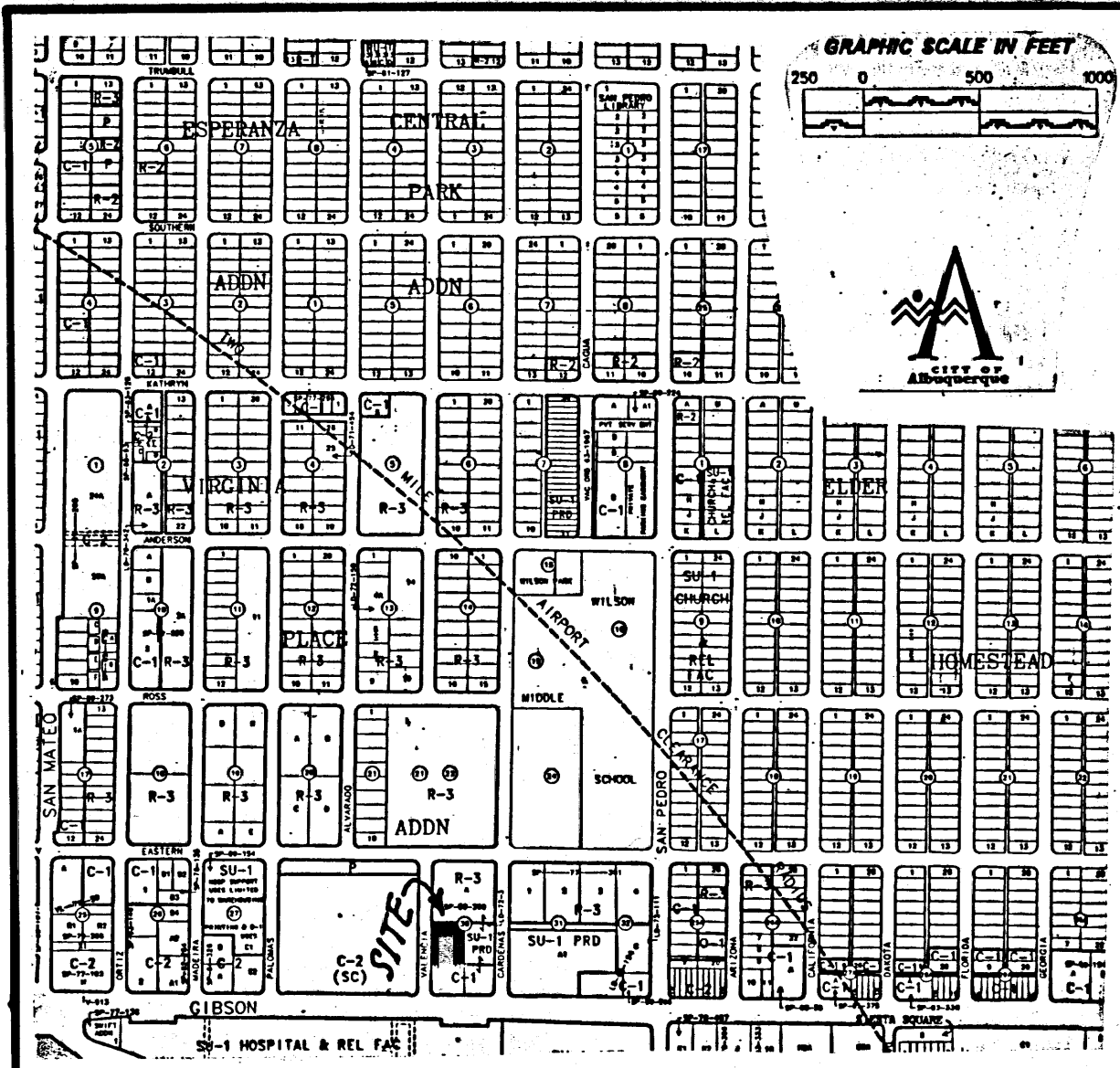
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- BACKFILL COMPACTION SHALL BE ACCORDING TO AS PER STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

**APPROVALS** NAME DATE

**ENGINEER'S SEAL**

**A PROPOSED GRADING AND DRAINAGE PLAN FOR MR. B's PAINT AND BODY SHOP, INC. (1410 VALENCIA DRIVE, S.E.) ALBUQUERQUE, NEW MEXICO OCTOBER, 2001**





**EROSION CONTROL MEASURES:**

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION. HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
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**CONSTRUCTION NOTES:**

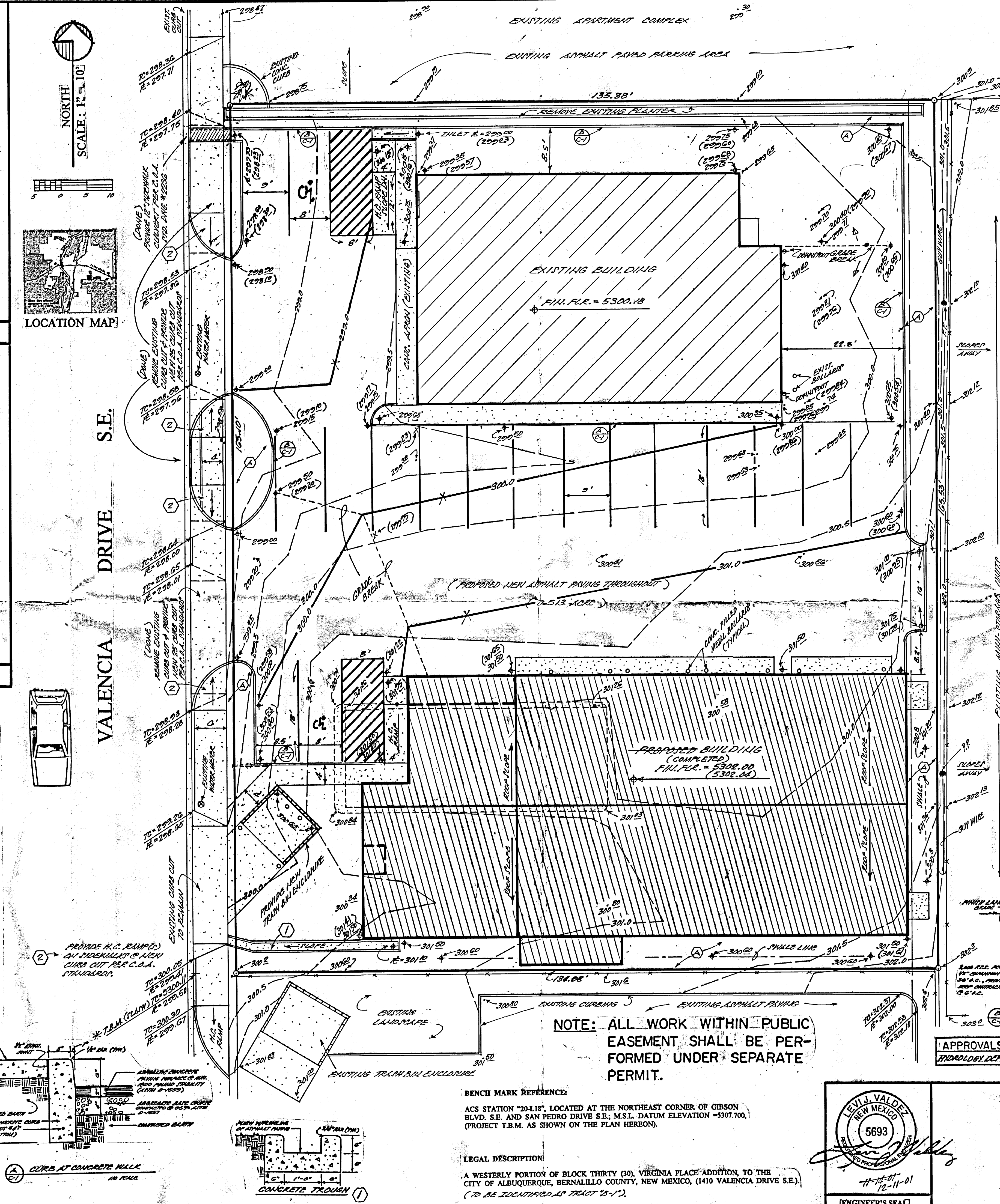
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**LEGEND:**

TOP OF CURB ELEVATION = 200.00  
CURB FLOWLINE ELEVATION = 200.00  
EXISTING SPOT ELEVATION = 200.00  
EXISTING CONTOUR ELEVATION = 200.00  
PROPOSED SPOT ELEVATION = 200.00  
PROPOSED CONTOUR ELEVATION = 200.00  
PROPOSED OR EXISTING CONCRETE SURFACE = 200.00  
EXISTING FENCE LINE = 200.00

**GENERAL NOTES:**

- NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.



**A-1 PRECIPITATION ZONES**

Bernalillo County's five precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

ZONE	LOCATION
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40, and between San Mateo and the East boundary of Range 4 East; South of Interstate 40
4	East of Eubank, North of Interstate 40, and East of the East boundary of Range 4 East, South of Interstate 40

**TABLE A-4. LAND TREATMENTS**

Treatment	Land Condition
A	Soil unaffected by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundcover and infiltration capacity. Croplands, Unirrigated Arrows.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil uncompacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (desert landscaping), irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds, and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

**DRAINAGE CERTIFICATION:**

I, LEVI J. VALDEZ, N.M.P.E. NO. 5693, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADUATED AND DRAINAGE DESIGN COMPLIES WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED DECEMBER 11, 2001. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY (PERMITS).

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSES.

Levi J. Valdez  
LEVI J. VALDEZ, N.M.P.E. NO. 5693  
DATE 02-02-04

**DRAINAGE COMMENTS AND CALCULATIONS:**

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED ON THE EAST SIDE OF VALENCIA DRIVE S.E. AND APPROXIMATELY 1/2 BLOCK NORTH OF GIBSON BLVD. S.E., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

THE SUBJECT SITE, 1) IS PRESENTLY A FULLY DEVELOPED COMMERCIAL SITE THAT CONTAINS TWO SEPARATE PARCELS AND BUSINESSES AND AT THE PRESENT TIME BEING REPLANTED TO CONSOLIDATE BOTH PARCELS INTO ONE, 2) ACCORDING TO F.E.M.A. FLOODWAY AND FIRM PANEL 362 OF 825 THE SITE IS LOCATED WITHIN A DESIGNATED AO-1 DEPTH FLOODPLAIN; THEREFORE, THE PROPOSED FINISHED FLOOR ELEVATION OF THE NEW BUILDING IS TO BE ESTABLISHED AT 20' ABOVE THE HIGHEST CURB FLOWLINE ELEVATION ADJACENT TO THE PROPERTY WHERE POTENTIAL FLOODING CONDITIONS WOULD OCCUR, (FLOOD HAZARD INSURANCE MAY BE REQUIRED), 3) DOES NOT ACCEPT OFFSITE FLOWS FROM ADJACENT PROPERTIES, 4) DOES NOT CONTRIBUTE TO THE OFFSITE FLOWS OF ADJACENT PROPERTIES, 5) IS TO FREE DISCHARGE THE PROPOSED DEVELOPED FLOWS INTO VALENCIA DRIVE S.E., SAID FLOWS WILL NOT AGGRAVATE THE FLOODING CONDITIONS DOWNSTREAM CONSIDERING THAT THERE WILL BE A DECREASE IN THE DEVELOPED-FLOWS COMPARED TO THE EXISTING CONDITIONS.

**CALCULATIONS:**

PER SECTION 22.2, HYDROLOGY OF THE DEVELOPED PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED JANUARY 1993.

SITE AREA: 0.51 ACRE

PRECIPITATION ZONE: THREE (3)

PEAK INTENSITY: IN/HR. AT  $T_c$  = TWELVE (12) MINUTES, 100-YR. = 5.38

LAND TREATMENT METHOD FOR CALCULATION OF "Qp", TABLES A-8 AND A-9.

"LAND TREATMENT FACTORS", TABLE A-4.

EXISTING CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.03	X 3.45	= 0.10
D	0.48	X 5.02	= 2.41

"Qp" = 2.51 CFS

PROPOSED DEVELOPED CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.07	X 3.45	= 0.24
D	0.44	X 5.02	= 2.21

"Qp" = 2.45 DECREASE = 2.51 - 2.45 = 0.06 CFS

**NOTICE TO CONTRACTOR:**

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THIS PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION OF THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATION - PUBLIC WORKS CONSTRUCTION - 1985.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (765-1234) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO ARIZONA STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

**APPROVALS**

NAME	DATE
LEVI J. VALDEZ	02-02-04

**A PROPOSED GRADING AND DRAINAGE PLAN**

FOR

**MR. B's PAINT AND BODY SHOP, INC.**

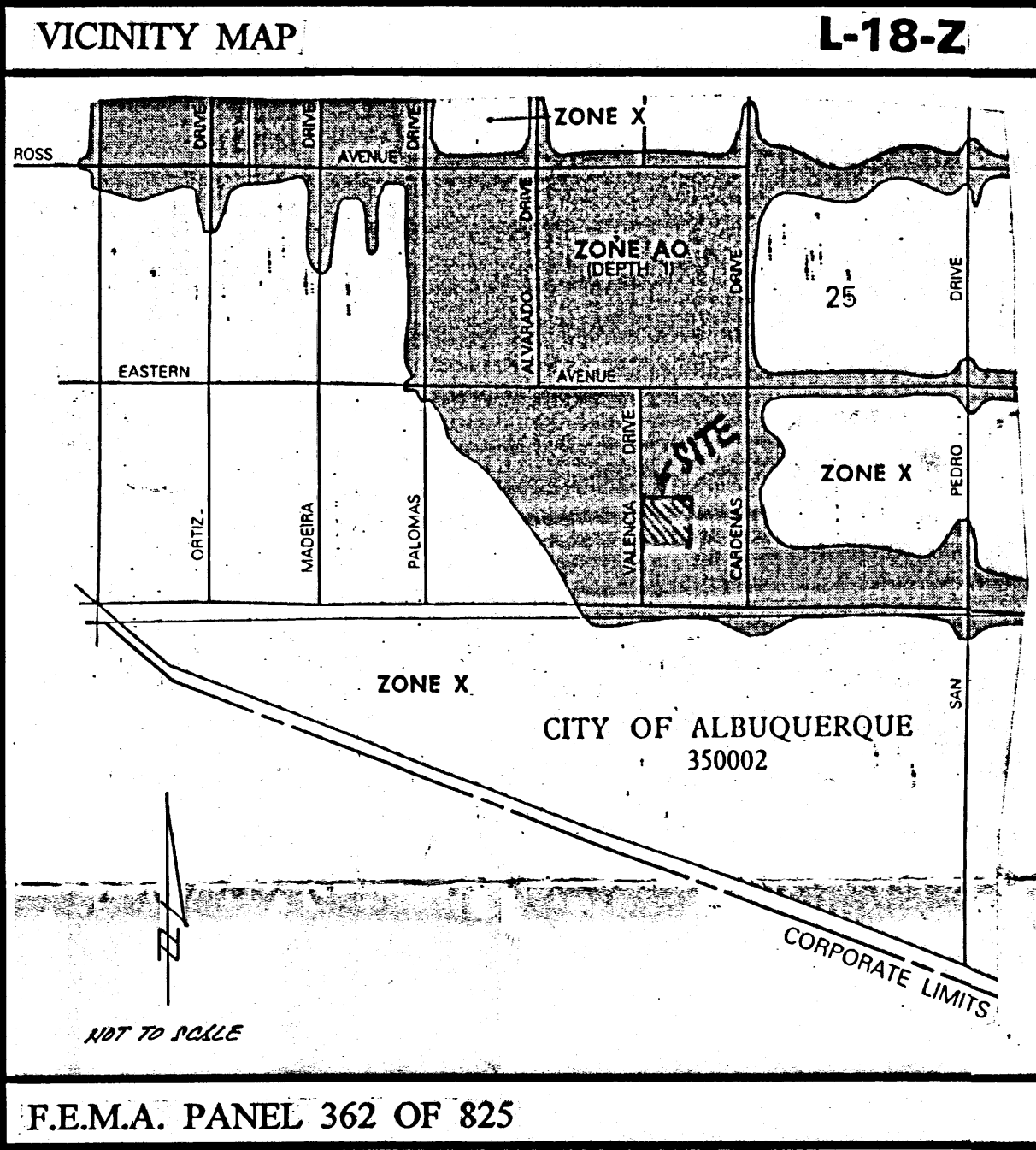
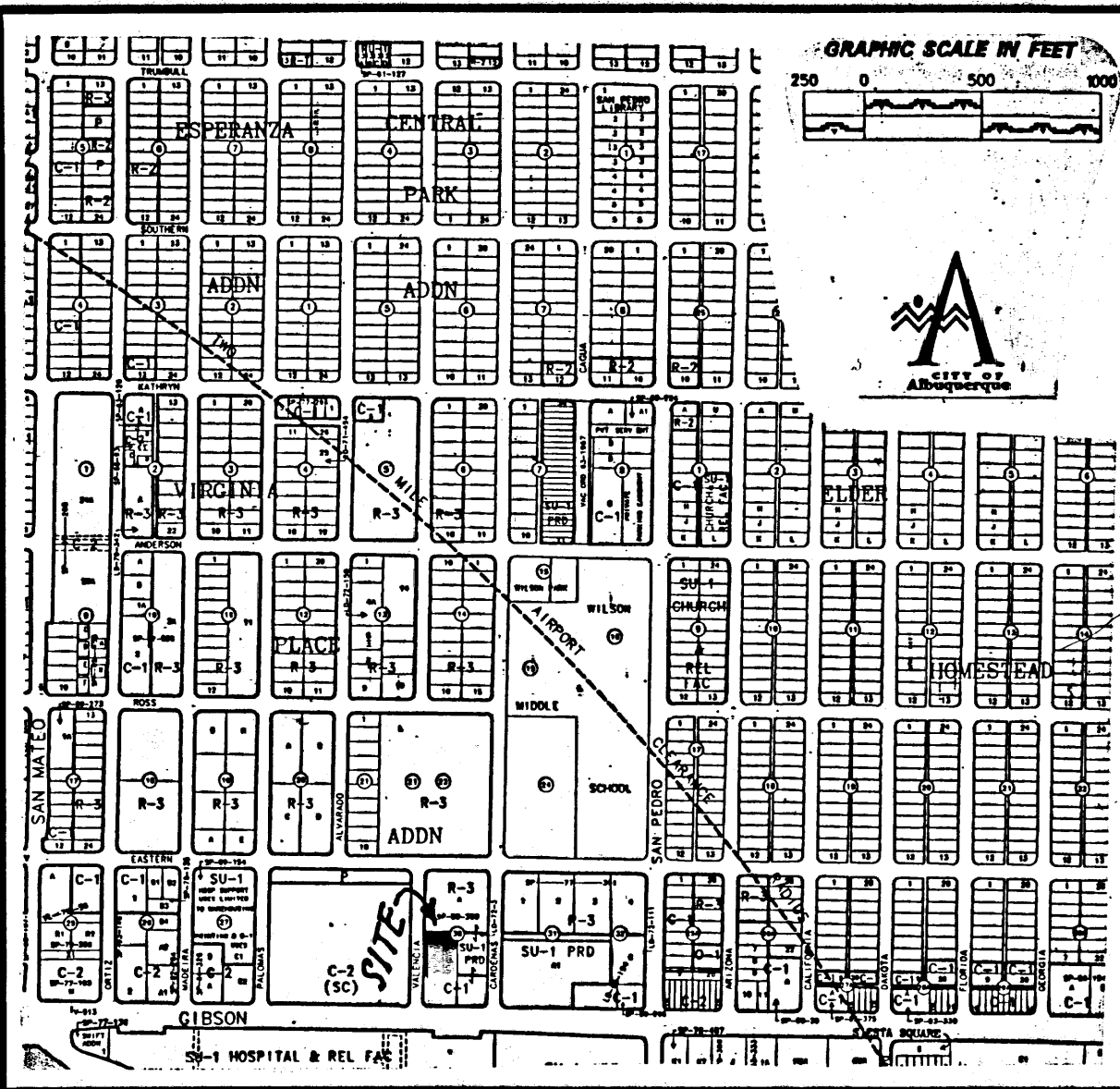
( 1410 VALENCIA DRIVE, S.E. )

ALBUQUERQUE, NEW MEXICO

OCTOBER, 2001

( REVISION: DECEMBER, 2001 )





**EROSION CONTROL MEASURES:**

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION. HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

**CONSTRUCTION NOTES:**

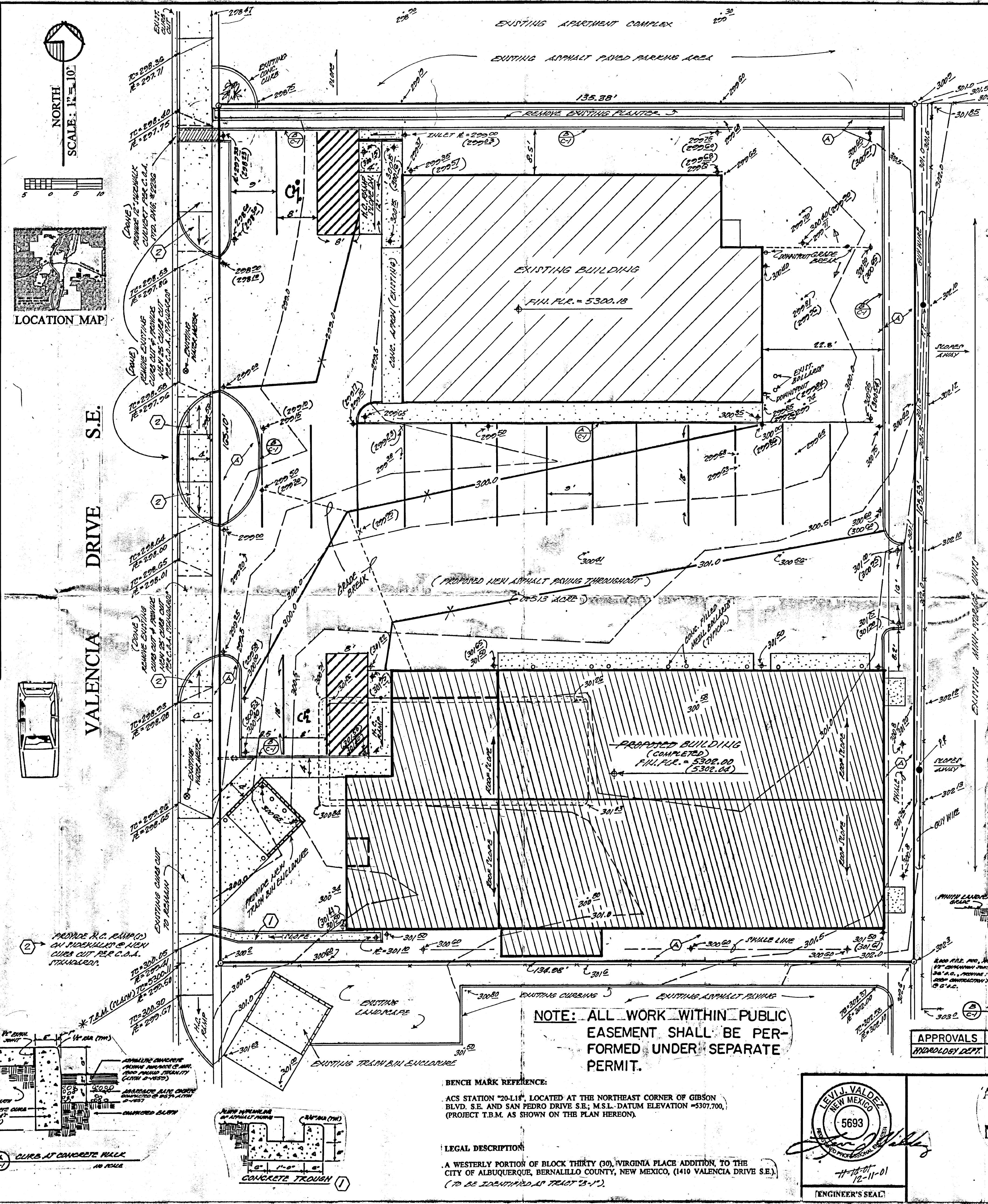
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OR SUB-SURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

**LEGEND:**

TOP OF CURB ELEVATION =  $TS = 298.00$   
CURB FLOWLINE ELEVATION =  $FL = 298.00$   
EXISTING SPOT ELEVATION =  $SP = 298.00$   
EXISTING CONTOUR ELEVATION =  $298.0$   
PROPOSED SPOT ELEVATION =  $SP = 301.00$   
PROPOSED CONTOUR ELEVATION =  $301.0$   
PROPOSED OR EXISTING CONCRETE SURFACE =  $CONC$   
EXISTING FENCE LINE =  $FENCE$

**GENERAL NOTES:**

- NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.



**A.1 PRECIPITATION ZONES**

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

ZONE	LOCATION
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Edwark, North of Interstate 40, and between San Mateo and the East boundary of Range 4 East; South of Interstate 40
4	East of Edwark, North of Interstate 40, and East of the East boundary of Range 4 East, South of Interstate 40

Treatment	Land Condition
A	Soil unaffected by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundcover and infiltration capacity. Croplands. Unaltered Arroyos.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil uncompacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (desert landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds, and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

**DRAINAGE CERTIFICATION:**

I, LEVI J. VALDEZ, N.M.P.E. NO. 5693, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12-11-01. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY (PERMANENT).

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSES.

*Levi J. Valdez*  
LEVI J. VALDEZ, N.M.P.E. NO. 5693  
DATE 02-02-06

**DRAINAGE COMMENTS AND CALCULATIONS:**

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED ON THE EAST SIDE OF VALENCIA DRIVE S.E. AND APPROXIMATELY 1/2 BLOCK NORTH OF GIBSON BLVD. S.E., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

THE SUBJECT SITE, 1) IS PRESENTLY A FULLY DEVELOPED COMMERCIAL SITE THAT CONTAINS TWO SEPARATE PARCELS AND BUSINESSES AND AT THE PRESENT TIME BEING REPLATTED TO CONSOLIDATE BOTH PARCELS INTO ONE, 2) ACCORDING TO F.E.M.A. FLOODWAY AND FIRM PANEL 362 OF 825 THE SITE IS LOCATED WITHIN A DESIGNATED AO-1 DEPTH FLOODPLAIN; THEREFORE, THE PROPOSED FINISHED FLOOR ELEVATION OF THE NEW BUILDING IS TO BE ESTABLISHED AT 2' ABOVE THE HIGHEST CURB FLOWLINE ELEVATION ADJACENT TO THE PROPERTY WHERE POTENTIAL FLOODING CONDITIONS WOULD OCCUR, (FLOOD HAZARD INSURANCE MAY BE REQUIRED), 3) DOES NOT ACCEPT OFFSITE FLOWS FROM ADJACENT PROPERTIES, 4) DOES NOT CONTRIBUTE TO THE OFFSITE FLOWS OF ADJACENT PROPERTIES, 5) IS TO FREE DISCHARGE THE PROPOSED DEVELOPED FLOWS INTO VALENCIA DRIVE S.E.; SAID FLOWS WILL NOT AGGRAVATE THE FLOODING CONDITIONS DOWNSTREAM CONSIDERING THAT THERE WILL BE A DECREASE IN THE DEVELOPED FLOWS COMPARED TO THE EXISTING CONDITIONS.

**CALCULATIONS:**

PER SECTION 22.2, HYDROLOGY OF THE DEVELOPED PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED JANUARY 1993.

SITE AREA: 0.51 ACRE

PRECIPITATION ZONE: THREE (3)

PEAK INTENSITY: IN/HR. AT  $T_c$  = TWELVE (12) MINUTES, 100-YR. = 5.38

LAND TREATMENT METHOD FOR CALCULATION OF "Qp", TABLES A-8 AND A-9.

"LAND TREATMENT FACTORS", TABLE A-4.

**EXISTING CONDITIONS:**

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.03	X 3.45	= 0.10
D	0.48	X 5.02	= 2.41

"Qp" = 2.51 CFS

**PROPOSED DEVELOPED CONDITIONS:**

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.07	X 3.45	= 0.24
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"Qp" = 2.45 DECREASE = 2.51 - 2.45 = 0.06 CFS

**NOTICE TO CONTRACTOR:**

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION OF THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATION - PUBLIC WORKS CONSTRUCTION - 1985.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (765-1234) FOR LOCATION OF EXISTING UTILITIES.
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- BACKFILL COMPACTION SHALL BE ACCORDING TO ARIZONA STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

**APPROVALS**

NAME	DATE
LEVI J. VALDEZ	12-11-01

**A PROPOSED GRADING AND DRAINAGE PLAN**

FOR

**MR. B's PAINT AND BODY SHOP, INC.**

(1410 VALENCIA DRIVE, S.E.)

ALBUQUERQUE, NEW MEXICO

OCTOBER, 2001

(REVISION: DECEMBER, 2001)

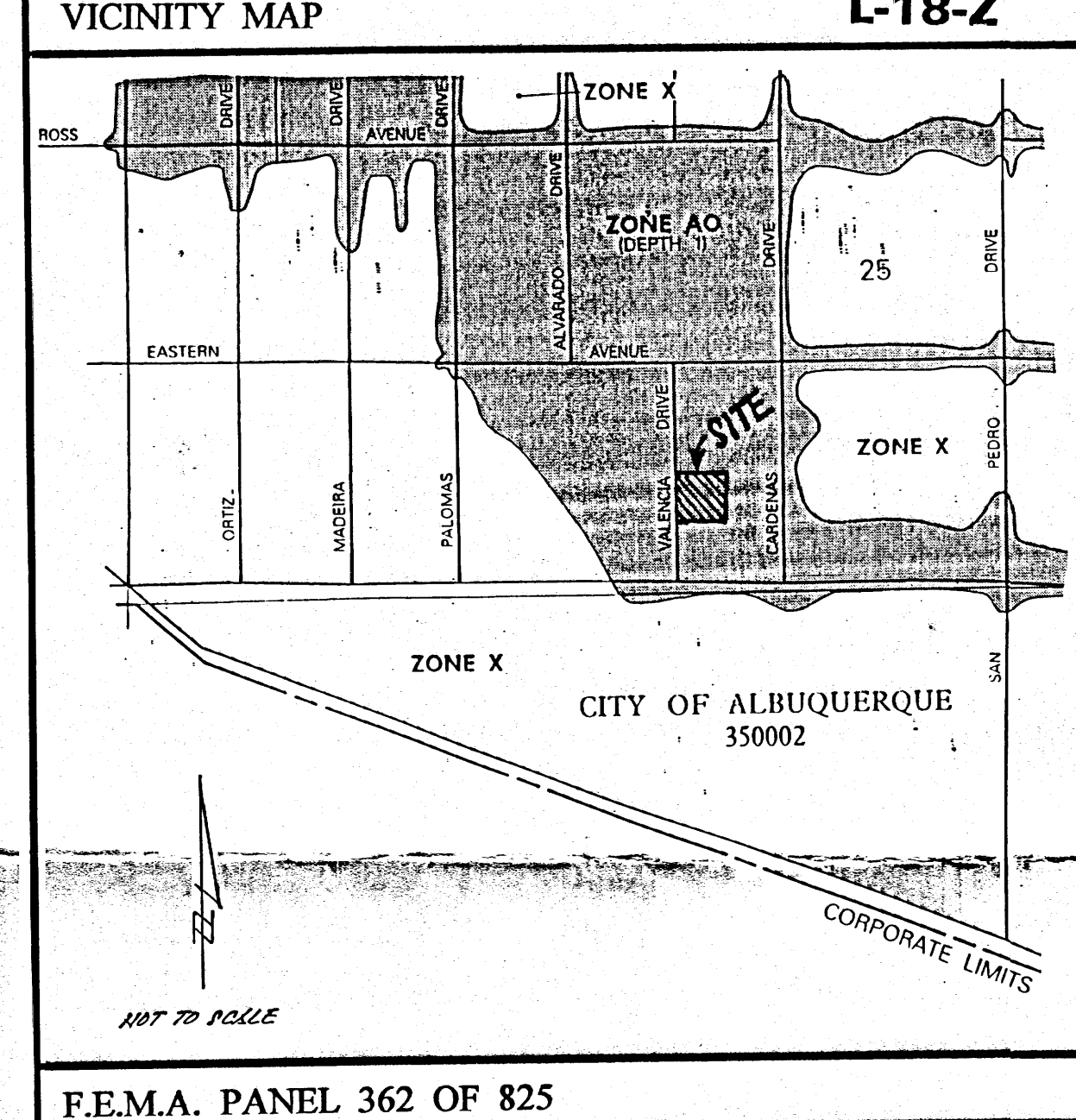
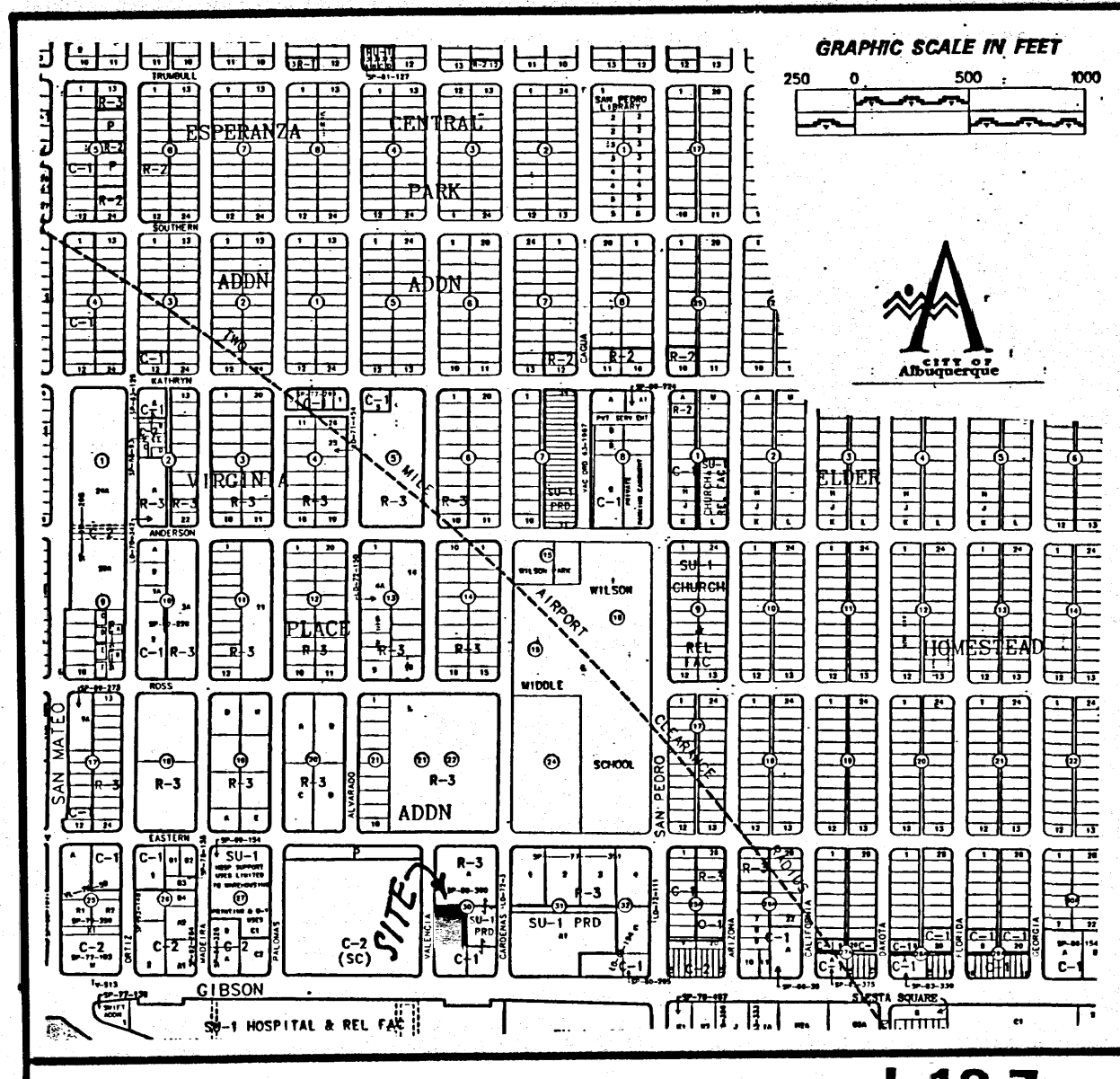
**LEGAL DESCRIPTION:**

A WESTERLY PORTION OF BLOCK THIRTY (30), VIRGINIA PLACE ADDITION, TO THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, (1410 VALENCIA DRIVE S.E.) (TO BE IDENTIFIED AS LOT 13-1).

**ENGINEER'S SEAL:**

LEVI J. VALDEZ  
N.M.P.E. NO. 5693  
12-11-01





**EROSION CONTROL MEASURES:**

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION; HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
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**CONSTRUCTION NOTES:**

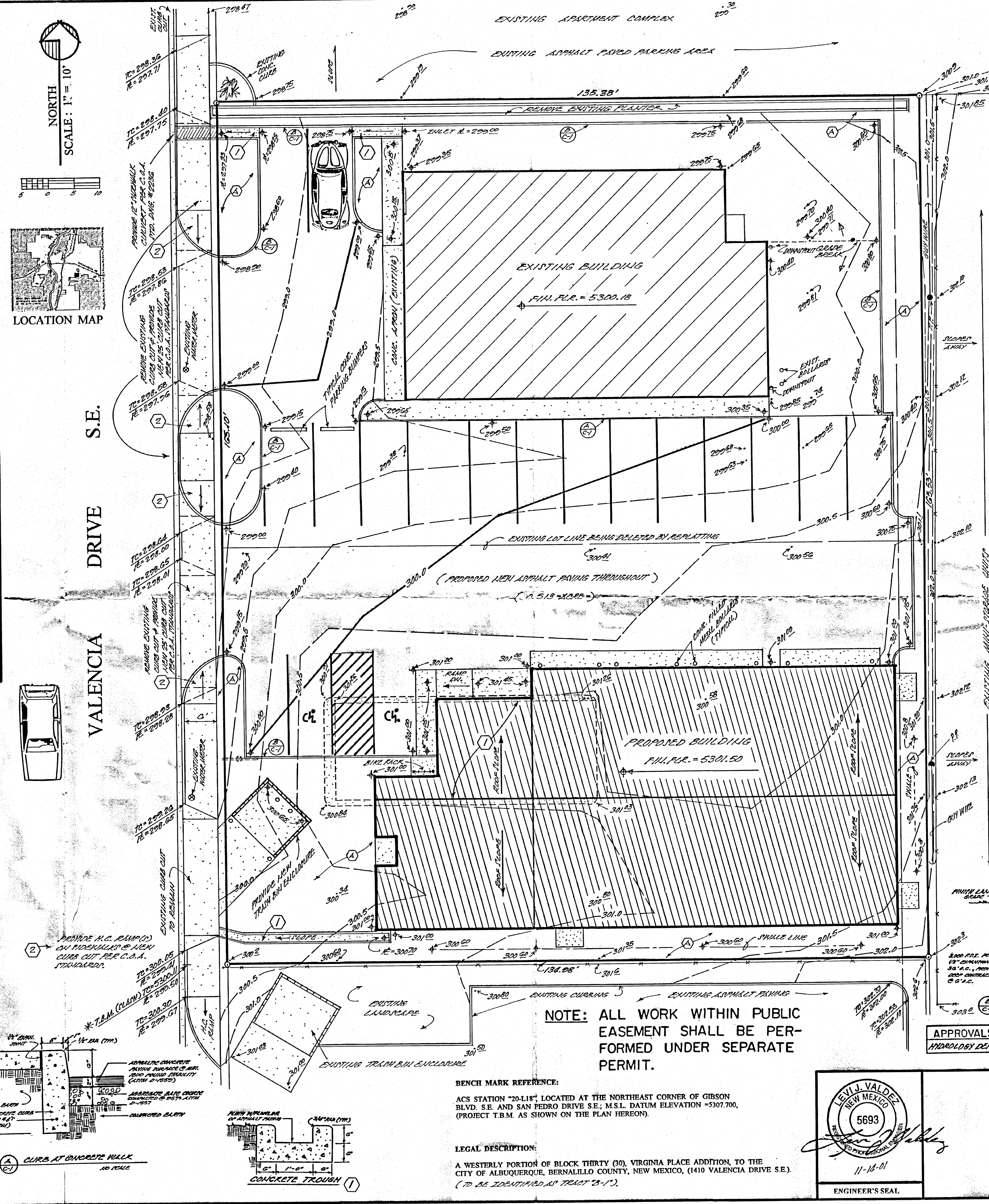
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 765-1234 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OR SUB-SURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

**LEGEND:**

TOP OF CURB ELEVATION = 298.00  
CURB FLOWLINE ELEVATION = 298.00  
EXISTING SPOT ELEVATION = 298.00  
EXISTING CONTOUR ELEVATION = 298.00  
PROPOSED SPOT ELEVATION = 301.00  
PROPOSED CONTOUR ELEVATION = 301.00  
PROPOSED OR EXISTING CONCRETE SURFACE = 301.00  
EXISTING FENCE LINE = 301.00

**GENERAL NOTES:**

- NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.



**PRECIPITATION ZONES**

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

ZONE	LOCATION
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40, and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40, and East of the East boundary of Range 4 East, South of Interstate 40

Zone	Intensity	100-YR	10-YR
1	4.70	(1.84, 3.14)	5.05
2	5.05	(2.04, 3.41)	5.38
3	5.38	(2.21, 3.65)	5.61
4	5.61	(2.34, 3.83)	5.94

Zone	Treatment	100-YR	10-YR
1	A	1.29	1.57
1	B	0.00, 0.24	0.00, 0.76
1	C	0.00, 0.39	0.08, 0.95
1	D	0.00, 0.59	0.21, 1.19
2	A	1.56	2.28
2	B	0.00, 0.39	0.08, 0.95
2	C	0.00, 0.59	0.21, 1.19
2	D	0.00, 0.87	0.38, 1.45
3	A	1.87	2.60
3	B	0.00, 0.59	0.21, 1.19
3	C	0.00, 0.87	0.38, 1.45
3	D	0.00, 1.19	0.50, 1.71
4	A	2.20	3.29
4	B	0.00, 0.87	0.38, 1.45
4	C	0.00, 1.19	0.50, 1.71
4	D	0.00, 1.51	0.62, 2.09

**DRAINAGE COMMENTS AND CALCULATIONS:**

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED ON THE EAST SIDE OF VALENCIA DRIVE S.E. AND APPROXIMATELY 1/2 BLOCK NORTH OF GIBSON BLVD. S.E., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

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**CALCULATIONS:**

PER SECTION 22.2, HYDROLOGY OF THE DEVELOPED PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED JANUARY 1993.

SITE AREA: 0.51 ACRE

PRECIPITATION ZONE: THREE (3)

PEAK INTENSITY: IN/H.R. AT  $t_r$  = TWELVE (12) MINUTES, 100-YR = 5.38

LAND TREATMENT METHOD FOR CALCULATION OF "Qp", TABLES A-8 and A-9.

"LAND TREATMENT FACTORS", TABLE A-4.

EXISTING CONDITIONS:

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"Qp" = 2.51 CFS

PROPOSED DEVELOPED CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
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"Qp" = 2.45 DECREASE = 2.51 - 2.45 = 0.06 CFS

**NOTICE TO CONTRACTOR:**

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION OF THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATION - PUBLIC WORKS CONSTRUCTION - 1995.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (765-1234) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

**APPROVALS**

NAME	DATE
LEVI J. VALDES	11-14-01

**ENGINEER'S SEAL**

6693

**A PROPOSED GRADING AND DRAINAGE PLAN FOR MR. B's PAINT AND BODY SHOP, INC. (1410 VALENCIA DRIVE, S.E.) ALBUQUERQUE, NEW MEXICO OCTOBER, 2001**

**RECEIVED**

NOV 26 2001

**HYDROLOGY SECTION**