



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Public Works Department

Transportation Development Services Section

August 19, 2002

Bob Hall, Registered Architect
Isaac Benton and Associates, AIA
624 Tijeras Ave N.W.
Albuquerque, NM 87102

Re: Certification Submittal for Final Building Certificate of Occupancy for
Tiny Bubbles Car Wash, [L-18 / D065]
1225 San Pedro S.E.
Architect's Stamp Dated 08/16/02

Dear Mr. Hall:

The TCL / Letter of Certification submitted on August 16, 2002 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to Building and Safety and final C.O. has been logged in by Vicki Chavez in the Building Safety Section downstairs.

On future submittals, please complete the Drainage and Transportation Information sheet fully and more legibly ("contractor" and "surveyor" are not so critical). This is so all pertinent parties needing notification can be contacted.

Sincerely,

Mike Zamora
Commercial Plan Checker
Development and Building Services
Public Works Department

c: Hydrology file
Mike Zamora

SANPED2NEW4BoHalB&A-CO

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/11/2002)

L-18/D65

PROJECT TITLE: Tiny Bubbles CAR WASH (L-18/D-65) ZONE MAP/DRG. FILE #: _____
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
CITY ADDRESS: 1225 SAN PEDRO SE.

ENGINEERING FIRM: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: ISAAC BENTON & ASSOCIATES
ADDRESS: 624 TILERS AVE
CITY, STATE: ASQ, N.M.

CONTACT: BOB HALL
PHONE: 243-3499
ZIP CODE: 87102

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

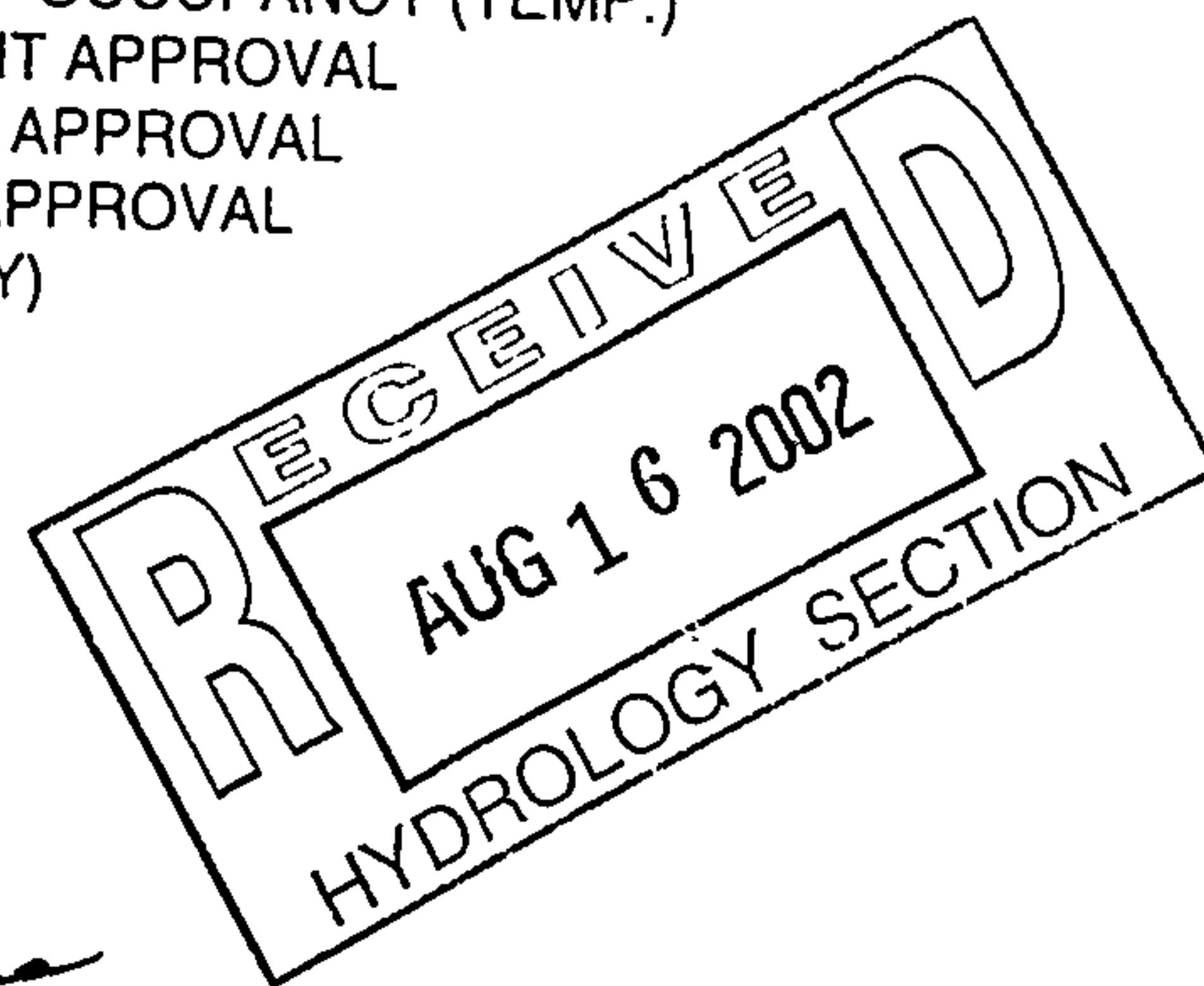
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: Aug. 15, 2002

BY: _____



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

8/19/02 - C'd in GT; 9/9/02 - Sent letter dated 8/19/02; 1/1/03 - No Engineer Named, No letter sent.

ISAAC
BENTON &
ASSOCIATES AIA

August 15, 2002

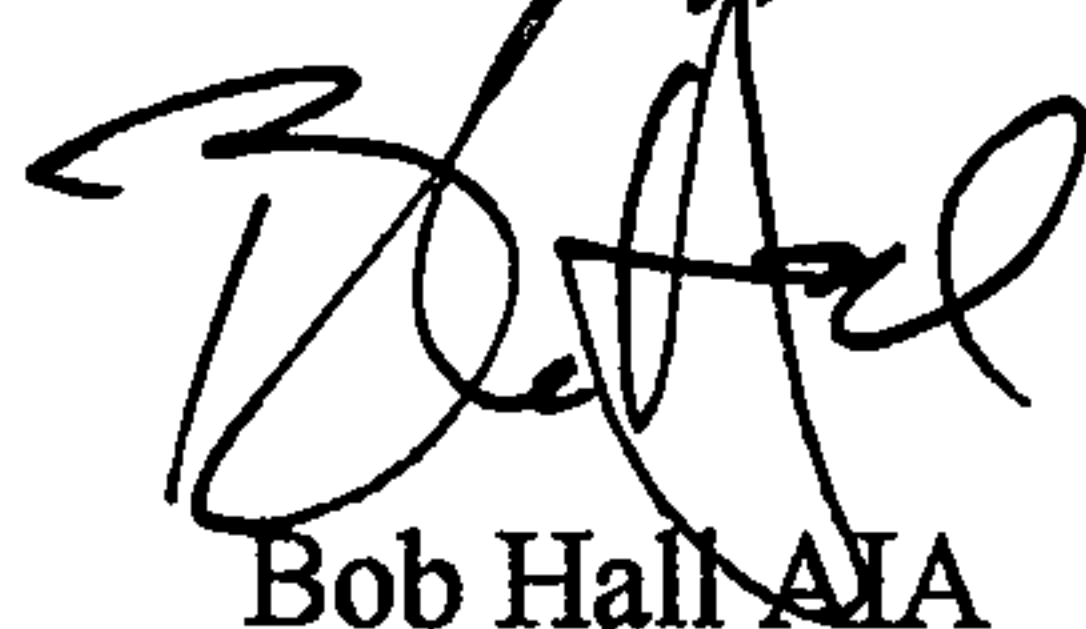
Mike Zamora
Development & Building Services
Transportation Development Section
Plaza Del Sol Building - 2nd Floor West
600 2nd Street NW
Albuquerque, NM 87102

Re: TCL Letter of Certification
Tiny Bubbles Car Wash
1225 San Pedro NE, Albuquerque

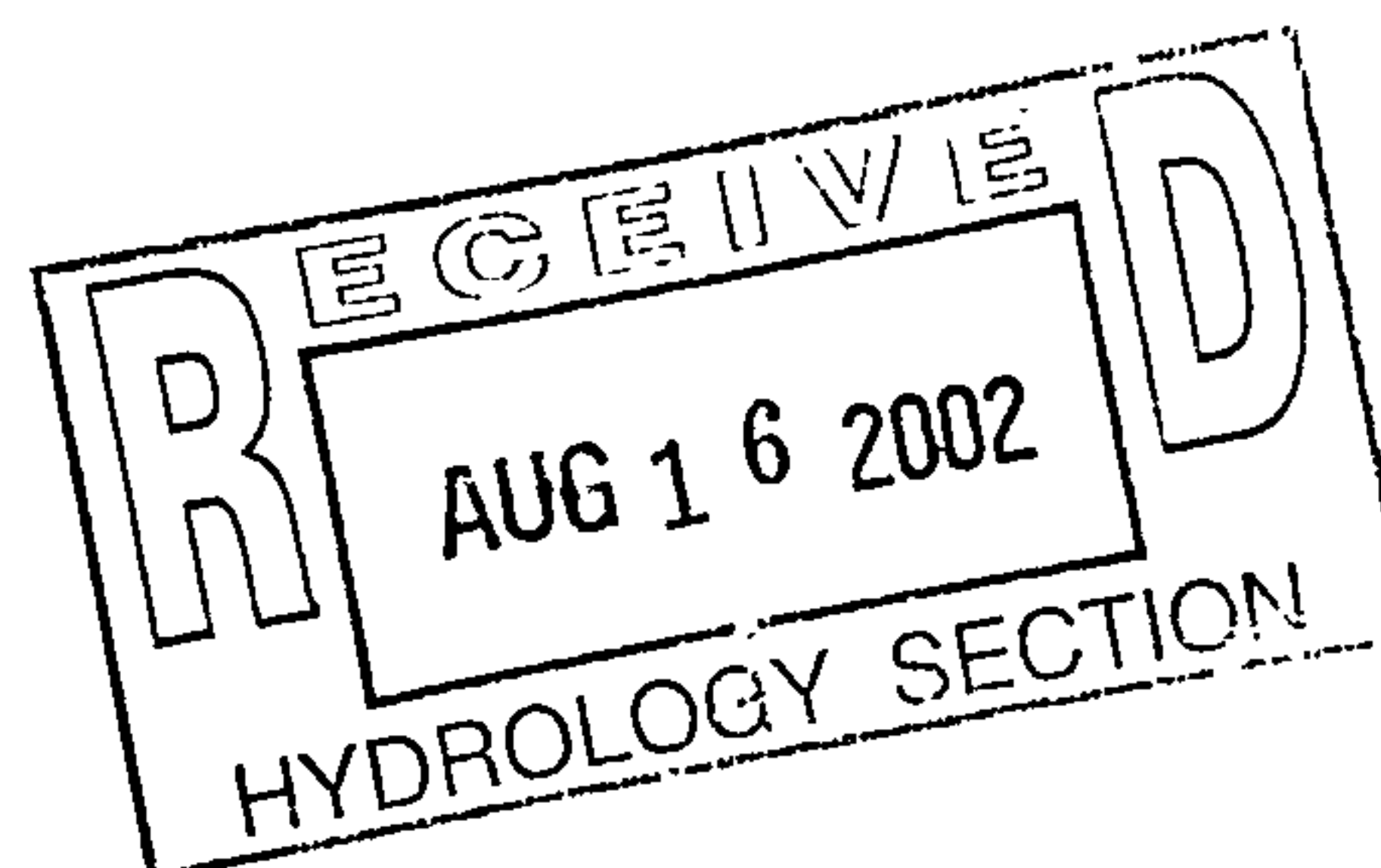
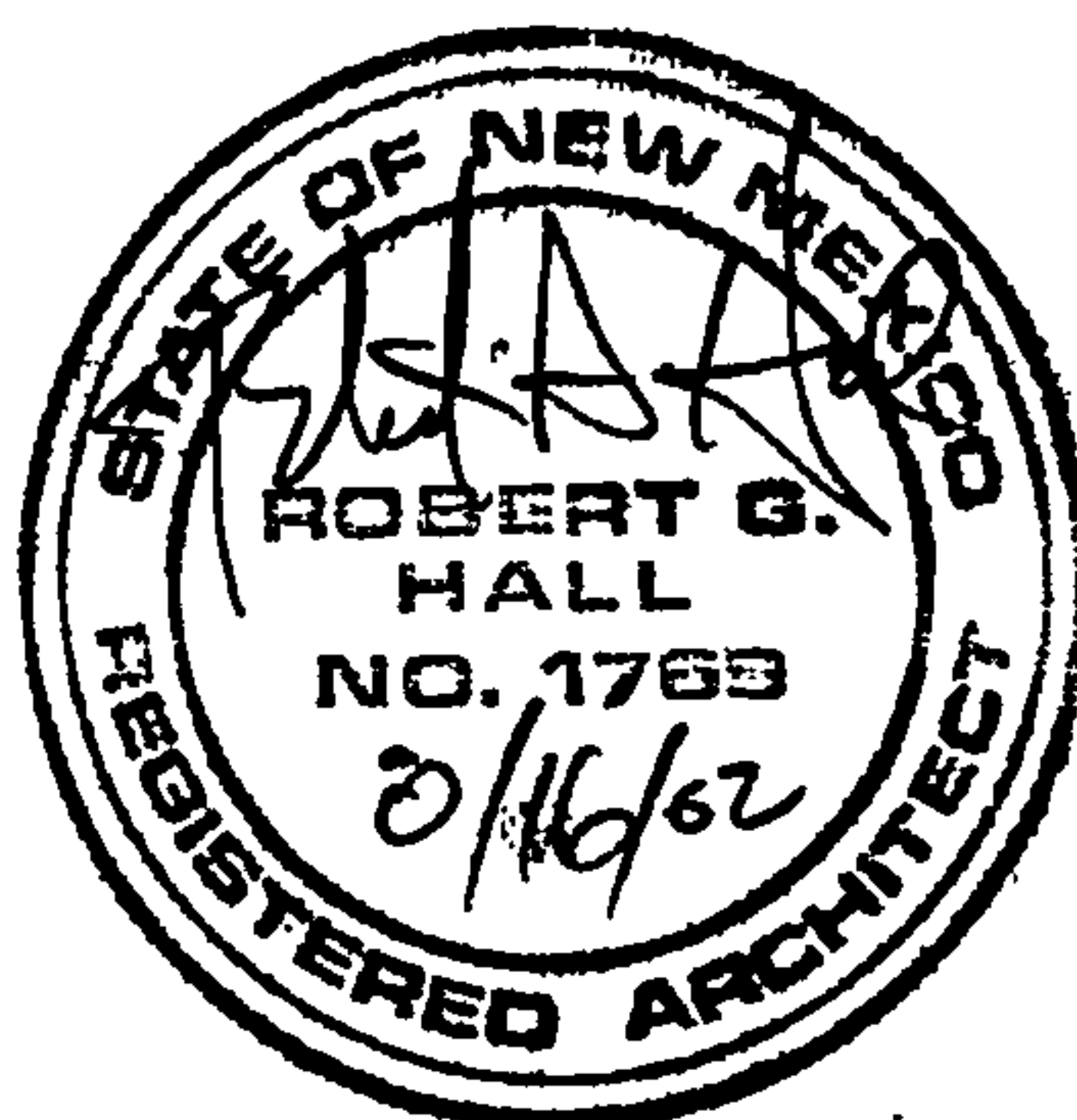
Dear Mr. Zamora:

The purpose of this letter is to certify that, from visual observations, the site for Tiny Bubbles Car Wash (L18/D065), 1225 San Pedro NE, was constructed according to the approved site plan. The only exception is that the painted one-way directional arrows at the entrance and exit to the site located on the asphalt do not have the words "one way" painted on them. The Contractor will paint the wording. This is not an important deviation. Please note that this certification is not based on a survey and only represents our best estimation based on visual inspection and information provided by the contractor. Please call me (243-3499) if you have any questions.

Sincerely,



Bob Hall AIA



ISAAC BENTON & ASSOCIATES

TRANSMITTAL LETTER

622 TIJERAS AVE. N.W. • ALBUQUERQUE, NM 87102 • TEL: 505-243-3499 • FAX: 505-243-3583 • E-MAIL :iba@swcp.com

PROJECT: Tiny Bubbles Car Wash

DATE: August 16, 2002

TO: Dev. & Building Services
Transportation Dev. Section

If enclosures are not as noted, please inform us immediately.

ATTN: Mike Zamora

If checked below, please:
() Acknowledge receipt of enclosures.
() Return enclosures to us.

WE TRANSMIT:

(X) herewith () under separate cover via _____
FOR YOUR:

() approval () distribution to parties () information
() review & comment () record () signature
(X) use () _____

THE FOLLOWING:

() Drawings () Shop Drawing Prints () Cert. & Appl. For Payment () Diskette
() Specifications () Submittals () Product Literature (X) Other
() Change Order () _____

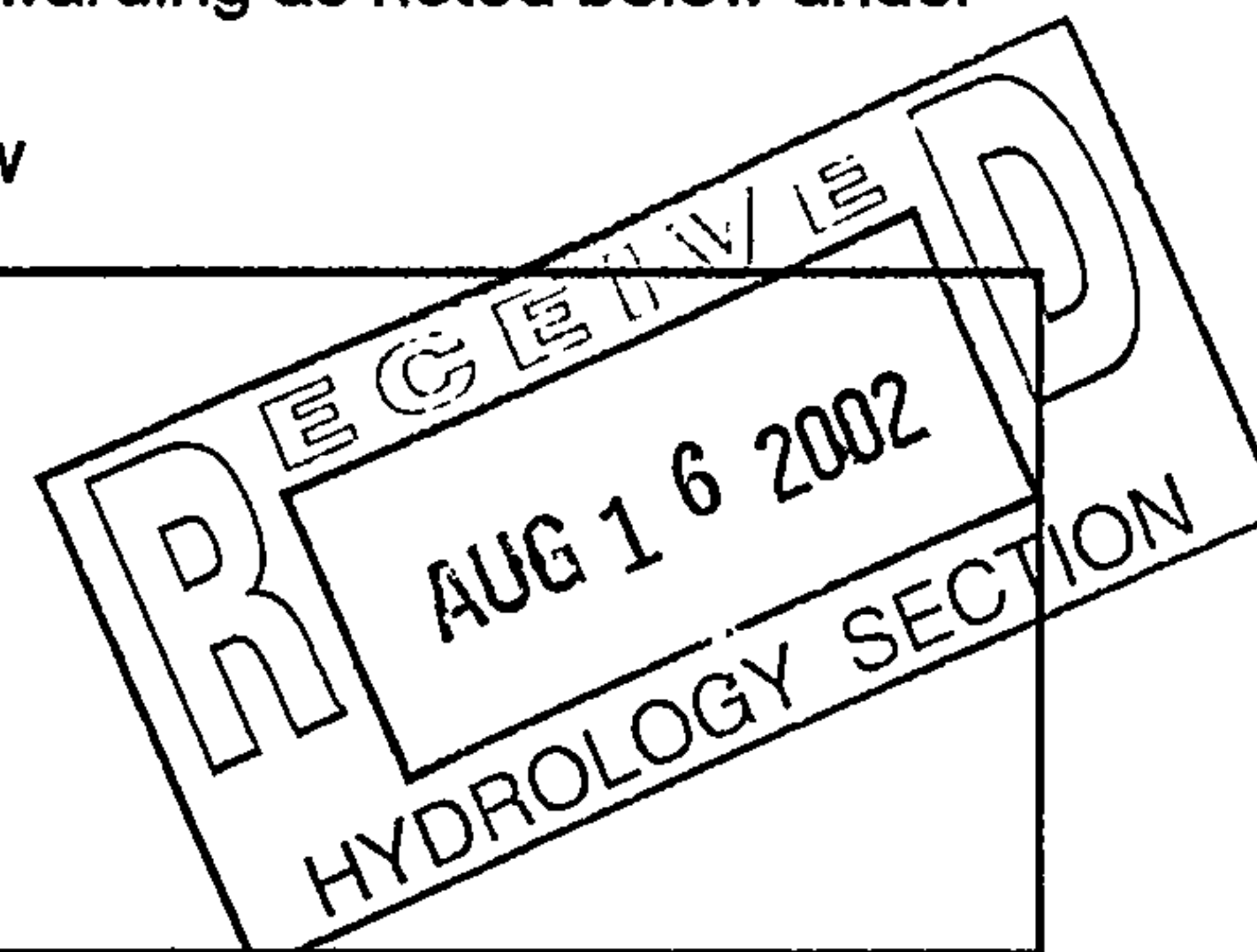
COPIES	DATE	DESCRIPTION	ACTION CODE
1	8-15-02	TCL Letter of Certification	
1	1-22-02	Drawing: Traffic Circulation Layout	

ACTION
CODE

A. Action indicated on item transmitted
B. No action required
C. For signature and return to this office

D. For signature and forwarding as noted below under
REMARKS
E. See REMARKS below

COPIES TO: (with enclosures) File <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	BY: Bob Hall AIA
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City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

February 1, 2002

Robert Hall, Registered Architect
Isaac Benton & Assoc.
624 Tijeras Ave. NW
Albuquerque, NM 87102

Re: Traffic Circulation Layout (TCL) Submittal for Building Permit Approval for
Tiny Bubbles Car Wash, [L-18 / D-65]
1225 San Pedro SE
Architect's Stamp Date 2-01-02 Stamp Dated 2-01-02

Dear Mr. Hall:

The TCL submittal dated February 1, 2002, is approved. An approved TCL is attached, Three copies will be required: two for submittal of building permit plans (one copy per plan set) and one to be kept by you to be used for certification of the site for final C.O. for Hydrology/Transportation.

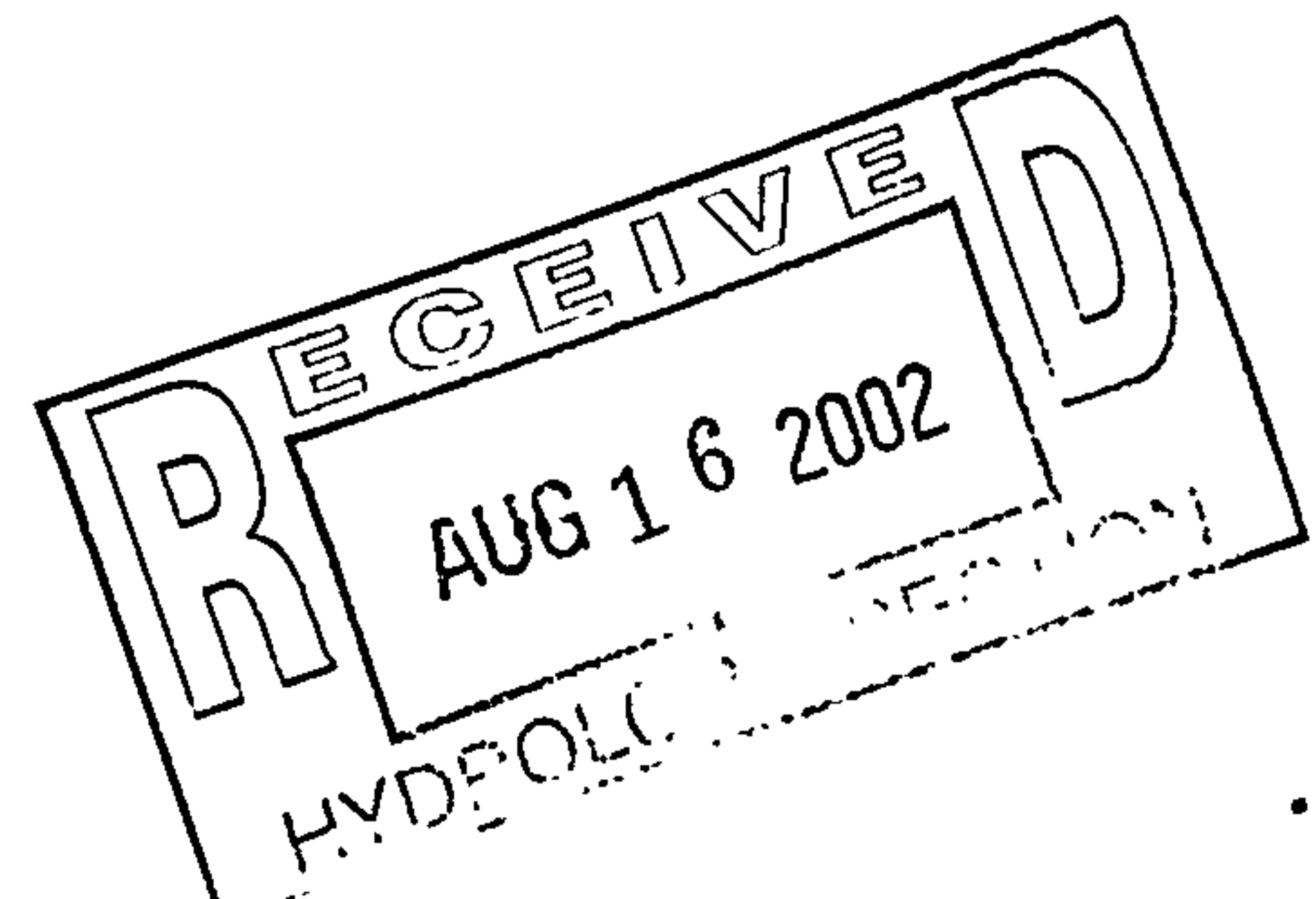
When site is complete and a Final C.O. is needed, a Letter of Certification, stating site was built in substantial compliance, needs to be attached to your stamped, approved TCL letter or TCL must be stamped with the designer's seal for the certification. Seal must be signed and dated for that submittal. This and all documentation must be submitted with a completed Drainage Information Sheet (also used for the Grading and Drainage submittal) to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that Final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Richard Dourte, PE
Traffic Engineer
Development and Building Services
Public Works Department

c: Engineer
Hydrology file
Mike Zamora





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 20, 2002

Gilbert Aldaz, P.E.
Applied Engineering
1605 Blair Dr. NE
Albuquerque, New Mexico 87112

RE: TINY BUBBLES CAR WASH (L-18/D65)
(1225 San Pedro NE)
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
ENGINEERS STAMP DATED 12/26/2001 Rev. 1/25/2002
ENGINEERS CERTIFICATION DATED 8/16/2002

Dear Mr. Aldaz:

Based upon the information provided in your Engineers Certification submittal dated 8/19/2002, the above referenced site is approved for a Permanent Certificate of Occupancy.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

Teresa A. Martin
Hydrology Plan Checker
Development & Bldg. Ser. Division
BvB

C: Certificate of Occupancy Clerk, COA
drainage file
approval file

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Tiny Bubbles Car Wash ZONE MAP/DRG. FILE #: L-18/D65
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tract "C", Block 32, Virginia Place
 CITY ADDRESS: North of Northwest Corner of San Pedro Drive and Gibson Blvd.

ENGINEERING FIRM: Applied Engineering & Surveying, Inc. CONTACT: Gilbert Aldaz
 ADDRESS: 1605 Blair Drive NE PHONE: 237-1456
 CITY, STATE: Albuquerque, NM ZIP CODE: 87112

OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: Isaac Benton CONTACT: Bob Hall
 ADDRESS: 624 Tijeras Av. NW PHONE: 243-3499
 CITY, STATE: Albuquerque, NM ZIP CODE: 87102

SURVEYOR: Applied Engineering & Surveying, Inc. CONTACT: Gilbert Aldaz
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION
- ☐ CLOMP/LOMR
- ☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

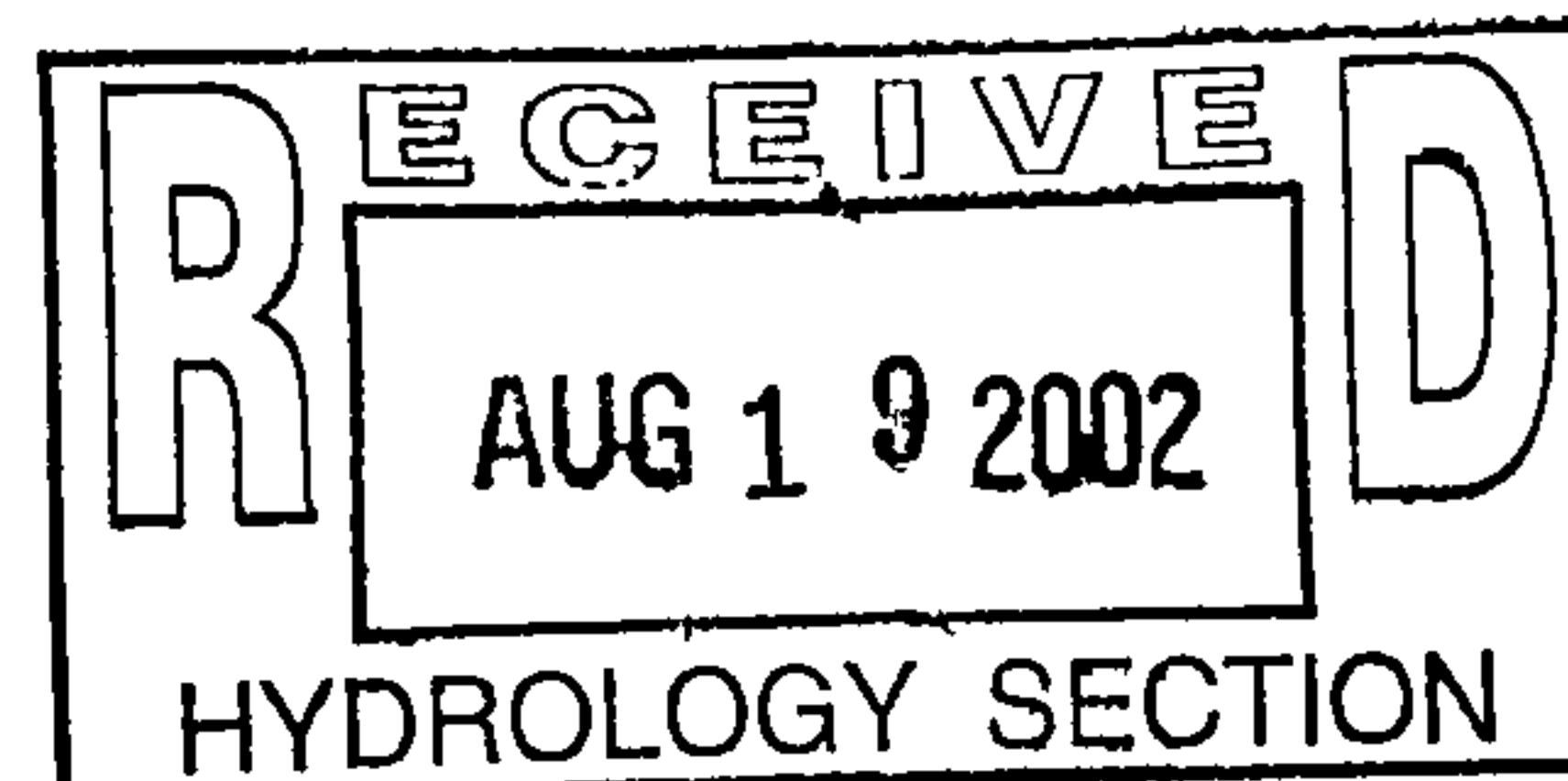
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUBD. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

DATE SUBMITTED: 08-19-02 BY: Gilbert Aldaz

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 4, 2002

Gilbert Aldaz, PE
Applied Engineering & Surveying, Inc.
1605 Blair Drive NE
Albuquerque, NM 87112

**Re: Grading and Drainage for Tiny Bubbles Car Wash
Engineer's Stamp Dated 1-25-02, (L18/D65)**

Dear Mr. Aldaz,

Based on your submittal dated 1/29/02, you are re-approved for Building Permit based on the new changes to the grading and drainage plan.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3984.

Sincerely,

Leslie Romero

Engineering Associate, PWD
Development and Building Services

c: Terri Martin, Hydrology
File (2)

DRAINAGE INFORMATION SHEET
(REV. 11/01/2001)

PROJECT TITLE: Tiny Bubbles Car Wash ZONE MAP/DRG. FILE #: L-18/D65
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: "Tract C", Block 32, Virginia Place
CITY ADDRESS: North of northwest corner of San Pedro Drive & Gibson Blvd.

ENGINEERING FIRM: Applied Engineering & Surveying Inc CONTACT: Gilbert Aldaz
ADDRESS: 1605 Blair Drive NE PHONE: 480-8125
CITY, STATE: Albuquerque, NM 87112 ZIP CODE: _____

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: Isaac Benton CONTACT: Bob Hall
ADDRESS: 624 Tijeras Av. NW PHONE: 243-3499
CITY, STATE: Albuquerque, NM ZIP CODE: 87102

SURVEYOR: Applied Engineering & Surveying Inc. CONTACT: Gilbert Aldaz
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

- CHECK TYPE OF SUBMITTAL:**
- ☒ DRAINAGE REPORT
 - ☒ DRAINAGE PLAN (Revised)
 - ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
 - ☐ GRADING PLAN
 - ☐ EROSION CONTROL PLAN
 - ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
 - ☐ CLOMP/LOMP
 - ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
 - ☐ ENGINEERS CERTIFICATION (TCL)
 - ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
 - ☐ OTHER

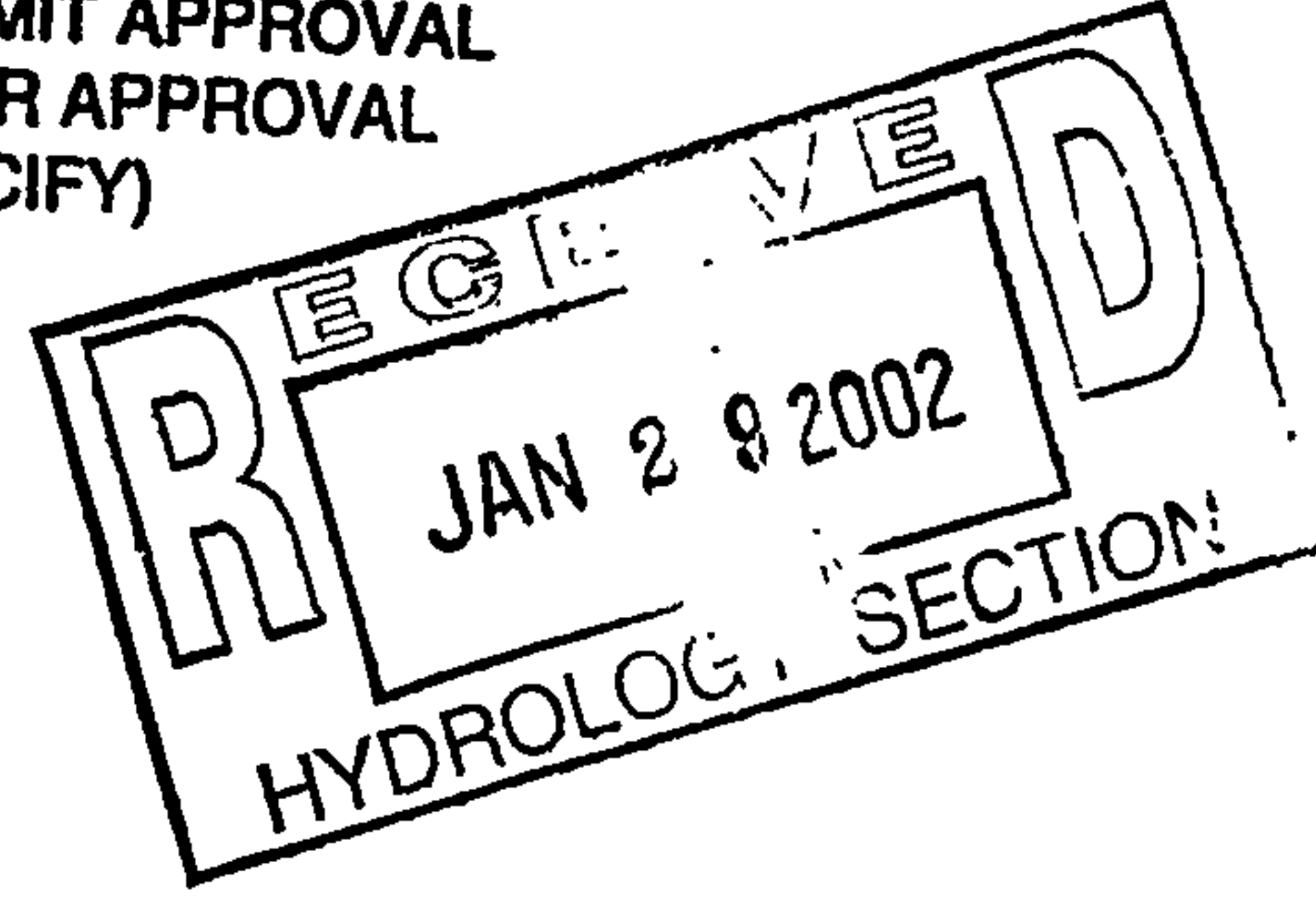
- CHECK TYPE OF APPROVAL SOUGHT:**
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
 - ☐ PRELIMINARY PLAT APPROVAL
 - ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
 - ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
 - ☐ SECTOR PLAN APPROVAL
 - ☐ FINAL PLAT APPROVAL
 - ☒ FOUNDATION PERMIT APPROVAL
 - ☒ BUILDING PERMIT APPROVAL
 - ☐ CERTIFICATE OF OCCUPANCY (PERM.)
 - ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
 - ☐ GRADING PERMIT APPROVAL
 - ☐ PAVING PERMIT APPROVAL
 - ☐ WORK ORDER APPROVAL
 - ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☒ YES

☐ NO

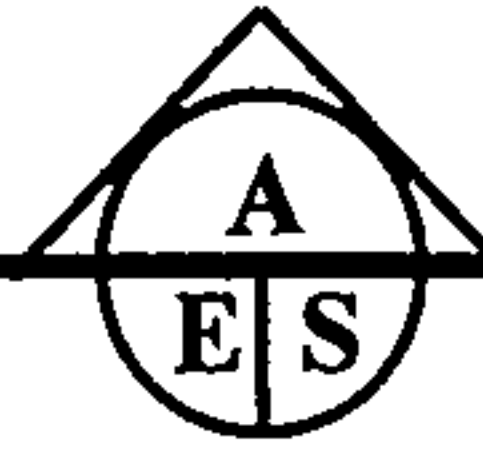
☐ COPY PROVIDED



DATE SUBMITTED: 01-29-02 BY: Gilbert Aldaz

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or



TRANSMITTAL LETTER

DATE: 01-29-02

TO: (ATTENTION) Bradley Bingham

(OFFICE) City of Albuq.

(ADDRESS) _____

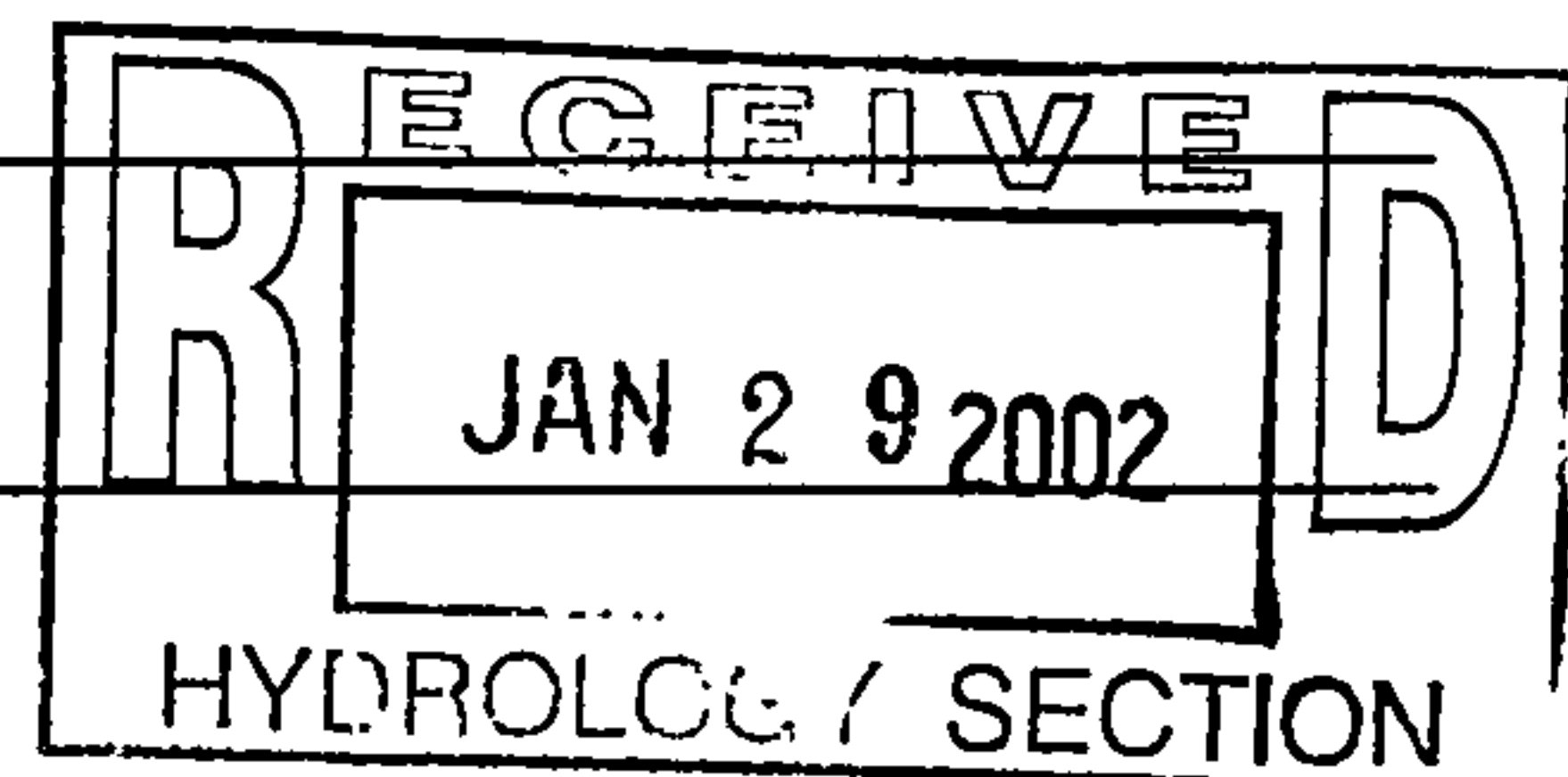
FROM: Gilbert Aldaz

TRANSMITTED ARE THE FOLLOWING:

Revised Plan that relocated Vacuum
Locations & the Size of Equipment
Room Changed from your approval
dated January 7, 2002, Engineers
stamp dated 12-29-01

COMMENTS:

For your revised approval, thanks



IF YOU HAVE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CALL
US AT (505) 237-1456.

THANK YOU



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 7, 2002

Gilbert Aldaz, PE
Applied Engineering & Surveying, Inc.
1605 Blair Drive NE
Albuquerque, NM 87112

**Re: Drainage Calculations for Tiny Bubbles Car Wash
Engineer's Stamp Dated 12-29-01, (L18/D65)**

Dear Mr. Aldaz,

Based on your submittal dated 12/28/01, you are approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Please be advised that a minor correction be made to your plan indicating that the downstream capacity flow will head west on Gibson Blvd rather than San Pedro Drive.

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, PWD
Development and Building Services

c: Terri Martin, Hydrology
File(2) ➤

DRAINAGE INFORMATION SHEET

L-18/D65

PROJECT TITLE: Tiny Bubbles Car Wash ZONE MAP/DRG. FILE #: L-18
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tract "C", Block 32, Virginia Place
 CITY ADDRESS: North of Northwest Corner of San Pedro Drive and Gibson Blvd.

ENGINEERING FIRM: Applied Engineering & Surveying, Inc. CONTACT: Gilbert Aldaz
 ADDRESS: 1605 Blair Drive NE PHONE: 237-1456
 CITY, STATE: Albuquerque, NM ZIP CODE: 87112

OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: Isaac Benton CONTACT: Bob Hall
 ADDRESS: 624 Tijeras Av. NW PHONE: 243-3499
 CITY, STATE: Albuquerque, NM ZIP CODE: 87102

SURVEYOR: Applied Engineering & Surveying, Inc. CONTACT: Gilbert Aldaz
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ CLOMPLOMR
- ☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☒ NO
- ☐ COPY PROVIDED

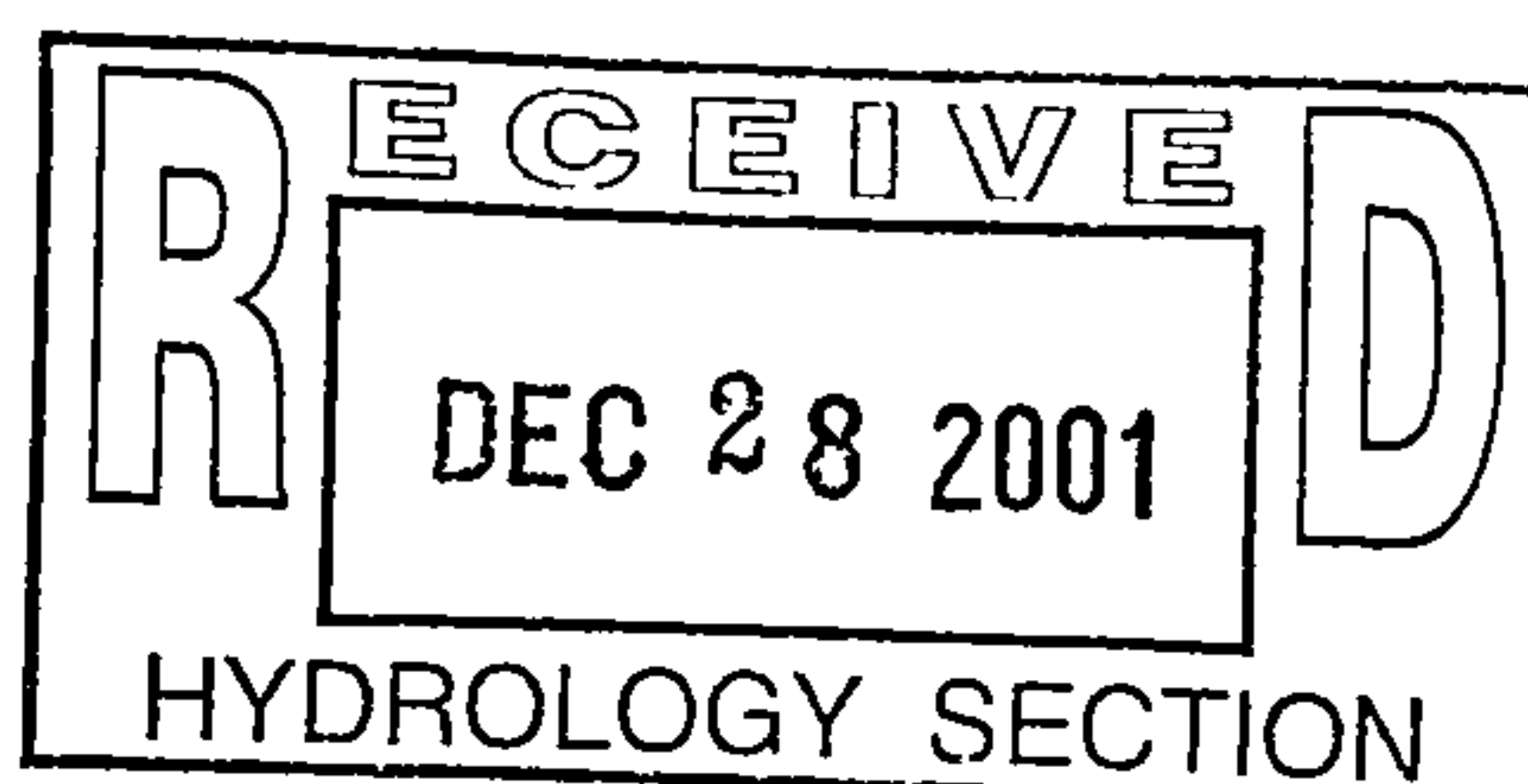
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- ☐ OTHER (SPECIFY)

DATE SUBMITTED: 12-28-01 BY: Gilbert Aldaz

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[Signature]
 12/28/01

DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

L-18/D65

- PROJECT TITLE: Tiny Bubbles Car Wash ZONE MAP/DRG. FILE #: _____
DRB #: _____ EPC#: _____ WORK ORDER#: _____
- LEGAL DESCRIPTION: Lot C, of Block 32, Virginia Place Addition, City of Albq. Bernalillo Co., NM
• CITY ADDRESS: 1225 San Pedro NE
- ENGINEERING FIRM: Applied Engineering CONTACT: Gilbert Aldez
ADDRESS: 1605 Blair Drive NE PHONE: 237-1456
CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87112
- OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____
- ARCHITECT: Isaac Benton & Associates AIA CONTACT: Bob Hall
ADDRESS: 624 Tijeras Ave. NW PHONE: 505-243-3499
CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87102
- SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____
- CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

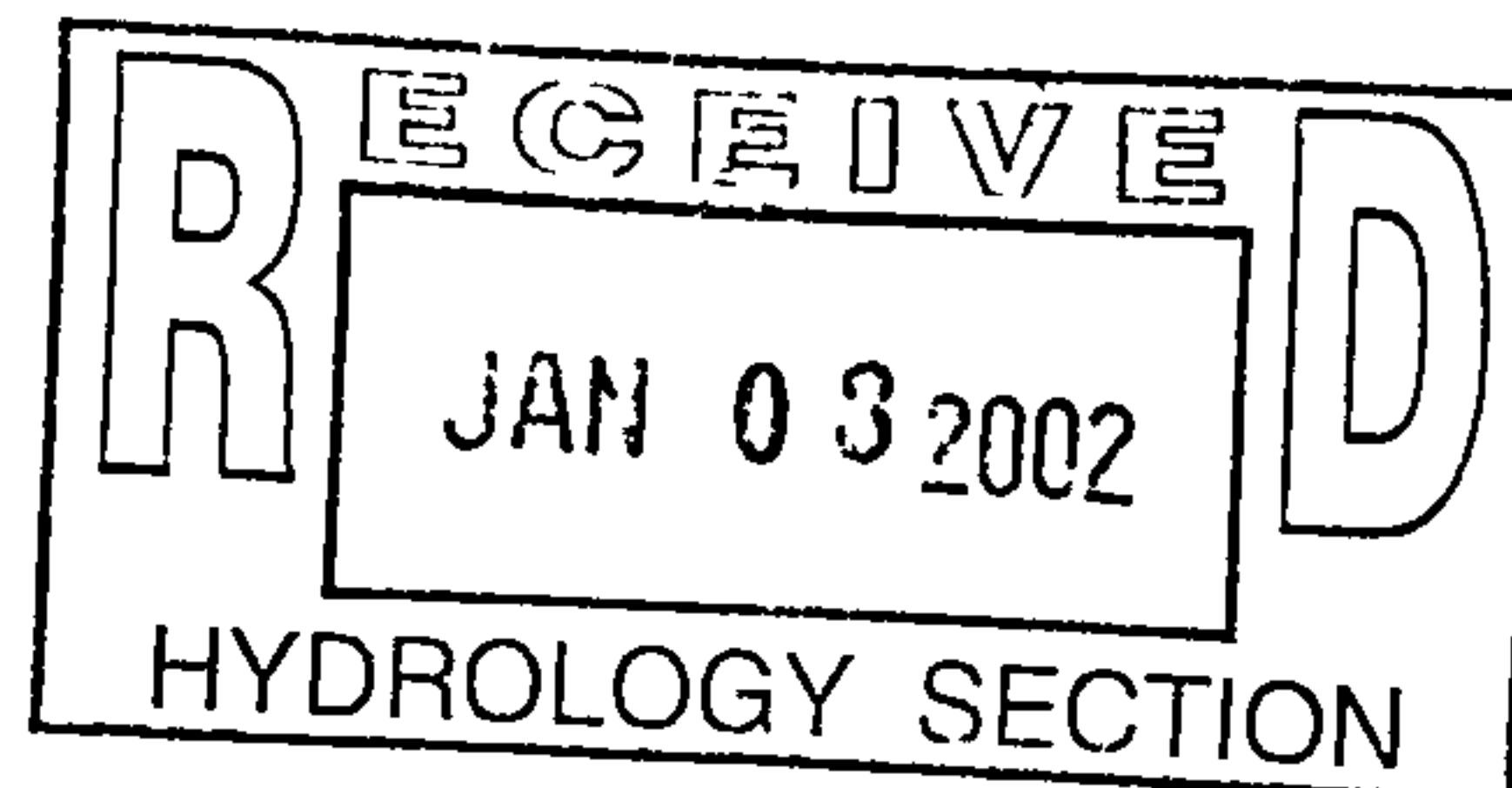
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☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

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☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
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☐ SECTOR PLAN APPROVAL
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☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

• WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
☐ NO
☐ COPY PROVIDED



DATE SUBMITTED: _____ BY: _____

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City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

January 11, 2002

Bob Hall, Registered Architect
Isaac Benton & Associates AIA
624 Tijeras Ave. N.W.
Albuquerque, NM 87102

Re: TCL Submittal for Building Permit Approval for
Tiny Bubbles Car Wash, [L18 / D065]
1225 San Pedro S.E.
Architect's Stamp Dated None

Dear Mr. Hall:

The location referenced above is not acceptable and requires modification to the Traffic Circulation Layout (TCL) prior to Building Permit release as stated on the attached TCL checklist, and red-lined TCL markup with comments.

Please resubmit revised TCL after addressing typed and marked up comments. Submit plan along with typed comments and all red-lined, mark-up copies.

Sincerely,

Mike Zamora
Commercial Plan Checker
Development and Building Services
Public Works Department

c: Engineer
Hydrology
Mike Zamora

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TRAFFIC CIRCULATION LAYOUT SITE PLAN CHECKLIST
REVISED DRAFT 9/18/01

PRELIMINARY

The City Zoning Code requires the design of access and circulation for parking areas and drive through facilities to be satisfactory to the Traffic Engineer. The design of these parking areas is a melding of a number of objectives of a development including safety, efficiency, aesthetics, etc. From a vehicular transportation point of view, one of the most critical areas of concern is the location and manner of access from the adjacent street. The interface of the development adjacent to these areas also plays a major role in how safely and efficiently they operate. These guidelines for the layout of the parking areas represent engineering design standards that will result in good operational and safety characteristics. However, with the many variables in design and unique characteristics that can be encountered, the designer may need to investigate other means of satisfying desirable operational and safety characteristics. Prior to embarking on a design for these unusual conditions, the designer should contact the Traffic Engineer to reach agreement on the modifications to these guidelines. Traffic Circulation Layout (TCL) Site Plans are required for commercial and institutional buildings, multi-family residential buildings and commercial additions of 500 square feet or more.

NOTE: The following checklist is intended to be used as a guide for preparing your Traffic Circulation Layout Plan to meet any or all of the traffic requirements. It is only a guide. Some items may not be applicable to your particular project; some items may require more detail.

I. General Information:

- A. Completed Drainage/TCL Information Sheet-(DPM Volume 1, Chapter 17)
- ~~B.~~ Planning History-Relationship to approved site plans, masterplans, and/or sector plans site
- ☒ C. Description:
 - ☒ 1. Vicinity map (zone atlas map) showing location of the development in relation to well-known landmarks, municipal boundaries and zone atlas map index number
 - ☒ 2. Address and legal description or copy of current plat
 - ~~3.~~ All requests for variances from policies, ordinances or resolutions which are necessary to implement this plan must be specifically identified
 - ☒ 4. Type of development (restaurants, banks, convenience markets, service station, super markets, auto car wash, etc.)
 - ~~5.~~ Size of development
 - ~~6.~~ Parking spaces required by Zoning Code or prior EPC approved Site Development Plan
 - ☒ 7. Executive Summary-Provide a brief yet comprehensive discussion of the following:
 - ☒ a. General project location
 - ☒ b. Development concept for the site
 - ☒ c. Traffic circulation concept for the site
 - ☒ d. Impact on the adjacent sites
 - ~~e.~~ Reference any applicable Traffic Impact Studies (TIS) or previously approved plans
 - ~~f.~~ Variance required to accommodate unusual site constraints

Ting Bubbles Car Wash - 1225 San Pedro S.E. - L18/D065

II. Plan Drawings:

- A. Professional Architect's/Engineer's stamp with signature and date
- B. Drafting standards: (Reference City Standards, DPM Volume 2, Chapter 27)
 - 1. North Arrow
 - 2. Scales-recommended engineer scales:
 - a. 1" = 20' for sites less than 5 acres
 - b. 1" = 50' for sites 5 acres or more
 - 3. Legend-see DPM manual, Volume 2, Tables 27.3a-27.3d for recommended standard symbols
 - 4. Plan drawings size: 24" x 36"
 - 5. Notes defining property line, rights-of-way, signs, street lights, fire hydrants, medians, water meter boxes, pavement limits and types, sidewalks, landscape areas, project limits, and all other areas whose definition would increase clarity
- C. Existing Conditions:
 - 1. On-site
 - a. Identification of all existing buildings, doors, structures, sidewalks, curbs, drivepads, walls, etc., and anything that influences parking and circulation of the site
 - b. Indication of all access existing easements and rights-of-way on or adjacent to the site with dimensions and purpose shown
 - 2. Off-site
 - a. Identification of the right-of-way width, medians, curb cuts, street widths, etc. (both sides of street)
- D. Proposed Conditions: Proposed conditions should generally be superimposed on the drawings showing existing on-site and off-site conditions. Separate sheets may be used for on-site and off-site areas depending upon circumstances.
 - 1. On-site
 - a. Indication of all proposed access easements and rights-of-way on or adjacent to the site with dimensions and purpose shown
 - b. Slopes
 - (1) Parking areas 1% min to 8% max
 - (2) Parking areas adjacent to major circulation aisles or adjacent to major entrances 1% min to 6% max
 - ~~(3) Handicap parking 1% min to 2% max~~
 - (4) ? Handicap ramps with slope of 12:1 must be provided where the sidewalk area where curbs intersect the pedestrian access to the building
 - ~~c.~~
 - d. ? Clearly delineate project phasing. A key map is recommended.
 - 2. Parking stall sizes: (Reference City Standards, DPM, Figure 23.7.1)

Chptr 23, Section 7

c. Circulation:

- (1) General layout dimensions: Figure 23.7.1 provides the layout relationships between parking stalls and aisle widths for both large and small car parking areas
- (2) Treatment of access points-Discuss how the curb cuts and/or drivepads comply with Chapter 23, Section 6
- (3) Internal aisle connection:
 - (a) Parking lots with parking spaces, spaces greater than or equal to 100 must have landscaped islands at the ends of each row of parking
 - (b) Landscape island radius for passenger car is 15 feet (see DPM Figure 23.7.2)
 - (c) Landscape island radius for delivery trucks, fire trucks, etc. is 25 feet or larger (see DPM figure 23.7.2)
- (4) Maximum aisle lengths: Aisle lengths required: 300-400 feet without internal circulation between aisles
- (5) Sidewalk connections:
 - (a) ~~Provide a 4' sidewalk from the public sidewalk to the buildings within the development~~
 - (b) Provide a min 5' wide sidewalk when the stall will overhang the sidewalk
 - (c) Clear pedestrian route accessible should be provided when the parking space may overhang the sidewalk
- (6) Curbing: Provide a min 6" or max 8" high concrete barrier curb between landscaping and parking areas and/or drive aisles
- (7) Fire and emergency access: Provision for access by fire and emergency vehicles needs to be in accordance with the Albuquerque Fire Plan Checking Division
- (8) Service Areas:
 - (a) Circulation:
 - 1) Design vehicle route needs to be shown
 - 2) No truck ramps, refuse/compactors or similar facilities permitted within circulation aisle
 - (b) No backing into or from public street allowed
 - (c) Service vehicle and/or refuse vehicle maneuvering must be contained on-site
 - (d) Aisle width required:
 - 1) Two-way traffic is 30'
 - 2) One-way traffic is 20'

- (9) Layout of large parking area: (400 spaces or more)
- (a) Main aisles should provide good pedestrian and vehicle visibility and access
- 1) Parking spaces shall not back into the main aisle
 - 2) Provide good pedestrian/vehicle visibility at main aisle
 - 3) Twenty-eight foot (28') is the maximum width for main aisle adjacent to building frontages
- (b) Ring roads or partial ring roads are required for shopping centers larger than 250,000 square feet of building area
- 1) Widths shall be determined based on traffic volumes
 - 2) Centers of 500,000 square feet may require turning lanes or additional lanes to accommodate projected traffic volumes

(10) Signing, Striping: Adequate signing and striping needs to be incorporated into the design of the parking area which will help to convey to the motorist the proper use of the facility

- E. Access point lanes and queuing: (See Table 23.7.1)
- F. Drive through facilities-Discuss compliance with Chapter 23, Section 7
1. Off-site
 - a. Rights-of-way and easements to accommodate existing or proposed public street infrastructures shall be provided when necessary to support this development
 - b. Handicap ramps are required at street corners if site abuts the corners-

CORNERS



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

February 1, 2002

Robert G. Hall, Registered Architect
Isaac Benton & Associates, AIA
Albuquerque, NM 87102

Re: Traffic Circulation Layout (TCL) Submittal for Building Permit Approval for
Tiny Bubbles Car Wash, [L18 / D065]
1225 San Pedro N.E.
Architect's Stamp Dated 01/22/02

Dear Mr. Hall:

The TCL submittal, dated Feb. 01, 2002, is sufficient for acceptance by this office and is stamped and signed as such. Four copies will be required: two for submittal of building permit plans, one for this office and one to be kept by you to be used for certification of the site for final C.O. for Hydrology/Transportation.

When the superintendent of this project calls for a Temporary C.O. immediate issuance is no longer possible at that time. An exact copy of the approved TCL, marked up, showing incomplete work remaining, along with a letter of certification is required prior to issuance of Temporary C.O. If project is one of multiple phases, Barricading Plan is needed clearly illustrating how vehicles and pedestrians using this site will be separated from coming phases, not completed or yet begun.

When site is complete and a Final C.O. is needed, a Letter of "Certification", stating that the site was built in substantial compliance with the approved plan, needs to be included with your copy of the TCL. A second option would be to place a typed or stamped Statement of Certification on the approved TCL copy, with the designer's seal, signed and dated for that certification. All documentation must be submitted with a completed Drainage Information Sheet (also used for the Grading and Drainage submittal) to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that the Final C.O. has been issued for this address call Building Safety at 924-3306.

Sincerely,

Mike Zamora, Commercial Plan Checker
Development and Building Services
Public Works Department

c: Engineer
Hydrology file
Mike Zamora

DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

L-18/D65
~~SAN PEDRO 2 NEU3~~

PROJECT TITLE: Tiny Bubbles Car Wash

ZONE MAP/DRG. FILE #:

3 #: _____ EPC#:

WORK ORDER#:

AL DESCRIPTION: Lot C, of Block 32, Virginia Place Addition, City of Albq. Bernalillo Co., NM

ADDRESS: 1225 San Pedro NE

ENGINEERING FIRM: Applied Engineering

ADDRESS: 1605 Blair Drive NE

CITY, STATE: Albuquerque, New Mexico

CONTACT: Gilbert Aldez

PHONE: 237-1456

ZIP CODE: 87112

VER:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

HITECT: Isaac Benton & Associates AIA

ADDRESS: 624 Tijeras Ave. NW

CITY, STATE: Albuquerque, New Mexico

CONTACT: Bob Hall

PHONE: 505-243-3499

ZIP CODE: 87102

VEYOR:

ADDRESS

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

TRACTOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

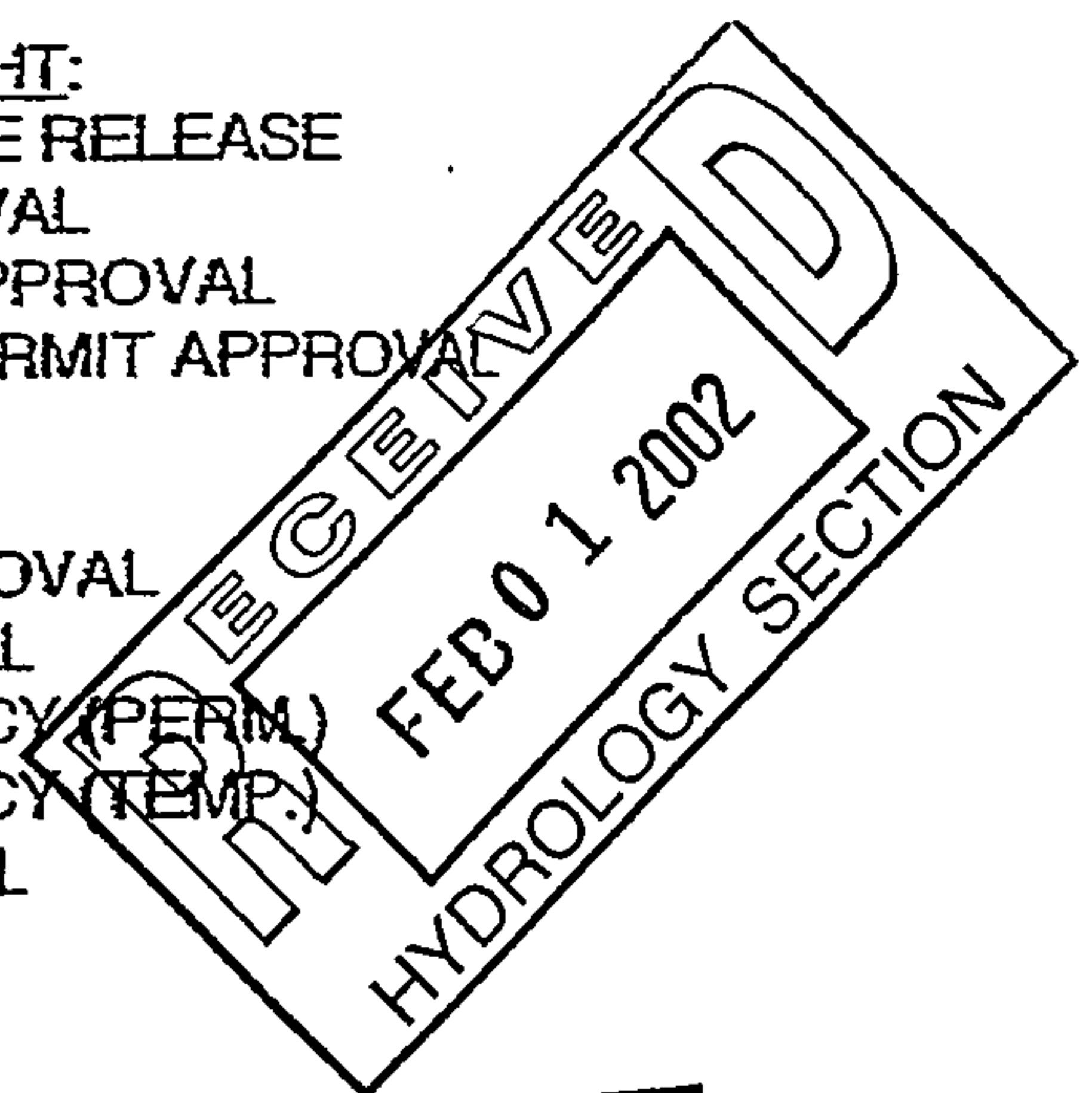
ZIP CODE:

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

2/1/02

IS SUBMITTED:

1/25/02

BY:

T. A. Hall BOB HALL

2/1/02 - T.C.L. App'd
Arch. canoin.
2/25/02 - Santelmo
Dated 2/1/02
Logged in

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)

TRAFFIC CIRCULATION LAYOUT SITE PLAN CHECKLIST

REVISED DRAFT 9/18/01

PRELIMINARY

The City Zoning Code requires the design of access and circulation for parking areas and drive through facilities to be satisfactory to the Traffic Engineer. The design of these parking areas is a melding of a number of objectives of a development including safety, efficiency, aesthetics, etc. From a vehicular transportation point of view, one of the most critical areas of concern is the location and manner of access from the adjacent street. The interface of the development adjacent to these areas also plays a major role in how safely and efficiently they operate. These guidelines for the layout of the parking areas represent engineering design standards that will result in good operational and safety characteristics. However, with the many variables in design and unique characteristics that can be encountered, the designer may need to investigate other means of satisfying desirable operational and safety characteristics. Prior to embarking on a design for these unusual conditions, the designer should contact the Traffic Engineer to reach agreement on the modifications to these guidelines. Traffic Circulation Layout (TCL) Site Plans are required for commercial and institutional buildings, multi-family residential buildings and commercial additions of 500 square feet or more.

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 - ~~5.~~ Size of development
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 - ☒ 7. Executive Summary-Provide a brief yet comprehensive discussion of the following:
 - ☒ a. General project location
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 - ~~e.~~ Reference any applicable Traffic Impact Studies (TIS) or previously approved plans
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Ting Bubbles Car Wash - 1225 San Pedro S.E. - 4/18/2005

II. Plan Drawings:

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 - 3. Legend-see DPM manual, Volume 2, Tables 27.3a-27.3d for recommended standard symbols
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- C. Existing Conditions:
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 - a. Identification of all existing buildings, doors, structures, sidewalks, curbs, drivepads, walls, etc., and anything that influences parking and circulation of the site
 - b. Indication of all access existing easements and rights-of-way on or adjacent to the site with dimensions and purpose shown
 - 2. Off-site
 - a. Identification of the right-of-way width, medians, curb cuts, street widths, etc. (both sides of street)
- D. Proposed Conditions: Proposed conditions should generally be superimposed on the drawings showing existing on-site and off-site conditions. Separate sheets may be used for on-site and off-site areas depending upon circumstances.
 - 1. On-site
 - a. Indication of all proposed access easements and rights-of-way on or adjacent to the site with dimensions and purpose shown
 - b. Slopes
 - (1) Parking areas 1% min to 8% max
 - (2) Parking areas adjacent to major circulation aisles or adjacent to major entrances 1% min to 6% max
 - (3) ~~Handicap parking 1% min to 2% max~~
 - (4) ? Handicap ramps with slope of 12:1 must be provided where the sidewalk area where curbs intersect the pedestrian access to the building
 - c. Clearly delineate project phasing. A key map is recommended.
 - d. ? Parking stall sizes: (Reference City Standards, DPM, Figure 23.7.1)

Chptr 23, Section 7

- e. Circulation:
- (1) General layout dimensions: Figure 23.7.1 provides the layout relationships between parking stalls and aisle widths for both large and small car parking areas
 - (2) Treatment of access points-Discuss how the curb cuts and/or drivepads comply with Chapter 23, Section 6
 - (3) Internal aisle connection:
 - (a) Parking lots with parking spaces, spaces greater than or equal to 100 must have landscaped islands at the ends of each row of parking
 - (b) Landscape island radius for passenger car is 15 feet (see DPM Figure 23.7.2)
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 - (4) Maximum aisle lengths: Aisle lengths required: 300-400 feet without internal circulation between aisles
 - (5) Sidewalk connections:
 - (a) ~~Provide a 4' sidewalk from the public sidewalk to the buildings within the development~~
 - (b) Provide a mini 5' wide sidewalk when the stall will overhang the sidewalk
 - (c) Clear pedestrian route accessible should be provided when the parking space may overhang the sidewalk
 - (6) Curbing: Provide a min 6" or max 8" high concrete barrier curb between landscaping and parking areas and/or drive aisles
 - (7) Fire and emergency access: Provision for access by fire and emergency vehicles needs to be in accordance with the Albuquerque Fire Plan Checking Division
 - (8) Service Areas:
 - (a) Circulation:
 - 1) Design vehicle route needs to be shown
 - 2) No truck ramps, refuse/compactors or similar facilities permitted within circulation aisle
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 - (c) Service vehicle and/or refuse vehicle maneuvering must be contained on-site
 - (d) Aisle width required:
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- (9) Layout of large parking area: (400 spaces or more)
- (a) Main aisles should provide good pedestrian and vehicle visibility and access
 - 1) Parking spaces shall not back into the main aisle
 - 2) Provide good pedestrian/vehicle visibility at main aisle
 - 3) Twenty-eight foot (28') is the maximum width for main aisle adjacent to building frontages
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 - 1) Widths shall be determined based on traffic volumes
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(10) Signing, Striping: Adequate signing and striping needs to be incorporated into the design of the parking area which will help to convey to the motorist the proper use of the facility

- E. Access point lanes and queuing: (See Table 23.7.1)
 - F. Drive through facilities-Discuss compliance with Chapter 23, Section 7
 - 1. Off-site
 - a. Rights-of-way and easements to accommodate existing or proposed public street infrastructures shall be provided when necessary to support this development
 - b. Handicap ramps are required at street corners if site abuts the corners
- CORNERS

TRAFFIC CIRCULATION LAYOUT SITE PLAN CHECKLIST

REVISED DRAFT 9/18/01

PRELIMINARY

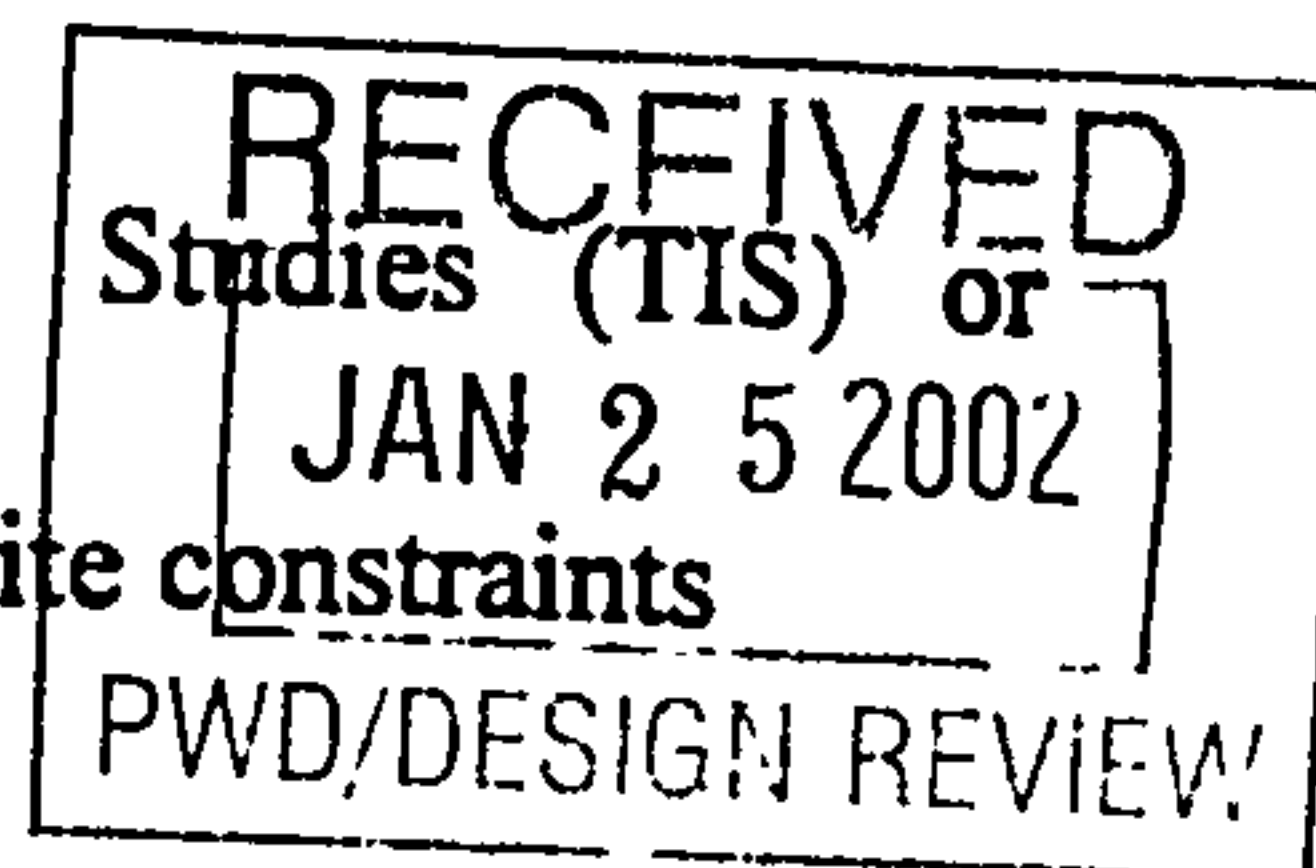
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 - ☒ 5. Size of development
 - ☒ 6. Parking spaces required
 - ☒ 7. Development Plan
 - ☒ 8. Executive Summary-Provide following:
 - ☒ a. General project location
 - ☒ b. Development concept
 - ☒ c. Traffic circulation concept for the site
 - ☒ d. Impact on the adjacent sites
 - ☒ e. Reference any applicable Traffic Impact previously approved plans
 - ☒ f. Variance required to accommodate unusual site constraints

Look for Yes
Approval in
File to Mark
off log book



Ting Bubbles Car Wash - 1225 San Pedro S.E. - L13/D065

2/30/02

II. Plan Drawings:

- ✓ 1. Professional Architect's/Engineer's stamp with signature and date
- ✓ 2. Drafting standards: (Reference City Standards, DPM Volume 2, Chapter 27)

✓ 3. North Arrow

✓ 4. Scales-recommended engineer scales:

a. 1" = 20' for sites less than 5 acres

b. 1" = 50' for sites 5 acres or more

✓ 5. Legend-see DPM manual, Volume 2, Tables 27.3a-27.3d for recommended standard symbols

✓ 6. Plan drawings size: 24" x 36"

✓ 7. Notes defining property line, rights-of-way, signs, street lights, fire hydrants, medians, water meter boxes, pavement limits and types, sidewalks, landscape areas, project limits, and all other areas whose definition would increase clarity

✓ 8. Existing Conditions:

1. On-site

✓ a. Identification of all existing buildings, doors, structures, sidewalks, curbs, drivepads, walls, etc., and anything that influences parking and circulation of the site

✓ b. Indication of all access existing easements and rights-of-way on or adjacent to the site with dimensions and purpose shown

2. Off-site

✓ a. Identification of the right-of-way width, medians, curb cuts, street widths, etc. (both sides of street)

D. Proposed Conditions: Proposed conditions should generally be superimposed on the drawings showing existing on-site and off-site conditions. Separate sheets may be used for on-site and off-site areas depending upon circumstances.

1. On-site

✓ a. Indication of all proposed access easements and rights-of-way on or adjacent to the site with dimensions and purpose shown

b. Slopes

✓ (1) Parking areas 1% min to 8% max

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✓ (3) Handicap parking 1% min to 2% max

✓ (4) Handicap ramps with slope of 12:1 must be provided where the sidewalk area where curbs intersect the pedestrian access to the building

✓ 3. Clearly delineate project phasing. A key map is recommended.

✓ 4. Parking stall sizes: (Reference City Standards, DPM, Figure 23.7.1)

e.

Circulation:

(1)

General layout dimensions: Figure 23.7.1 provides the layout relationships between parking stalls and aisle widths for both large and small car parking areas

(2)

Treatment of access points-Discuss how the curb cuts and/or drivepads comply with Chapter 23, Section 6

(3)

Internal aisle connection:

(a)

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(b)

Landscape island radius for passenger car is 15 feet (see DPM Figure 23.7.2)

(c)

Landscape island radius for delivery trucks, fire trucks, etc. is 25 feet or larger (see DPM figure 23.7.2)

(4)

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(5)

Sidewalk connections:

(a)

~~Provide a 4' sidewalk from the public sidewalk to the buildings within the development.~~

(b)

Provide a min 5' wide sidewalk when the stall will overhang the sidewalk

(c)

Clear pedestrian route accessible should be provided when the parking space may overhang the sidewalk

(6)

Curbing: Provide a min 6" or max 8" high concrete barrier curb between landscaping and parking areas and/or drive aisles

(7)

Fire and emergency access: Provision for access by fire and emergency vehicles needs to be in accordance with the Albuquerque Fire Plan Checking Division

(8)

Service Areas:

(a)

Circulation:

1)

Design vehicle route needs to be shown

2)

No truck ramps, refuse/compactors or similar facilities permitted within circulation aisle

(b)

No backing into or from public street allowed

(c)

Service vehicle and/or refuse vehicle maneuvering must be contained on-site

(d)

Aisle width required:

1)

Two-way traffic is 30'

2)

One-way traffic is 20'

Chptr 23, Section 7

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10

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- E. Access point lanes and queuing: (See Table 23.7.1)
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City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

February 1, 2002

Robert Hall, Registered Architect
Isaac Benton & Assoc.
624 Tijeras Ave. NW
Albuquerque, NM 87102

Re: Traffic Circulation Layout (TCL) Submittal for Building Permit Approval for
Tiny Bubbles Car Wash, [L-18 / D-65]
1225 San Pedro SE
Architect's Stamp Date 2-01-02 Stamp Dated 2-01-02

Dear Mr. Hall:

The TCL submittal dated February 1, 2002, is approved. An approved TCL is attached, Three copies will be required: two for submittal of building permit plans (one copy per plan set) and one to be kept by you to be used for certification of the site for final C.O. for Hydrology/Transportation.

When site is complete and a Final C.O. is needed, a Letter of Certification, stating site was built in substantial compliance, needs to be attached to your stamped, approved TCL letter or TCL must be stamped with the designer's seal for the certification. Seal must be signed and dated for that submittal. This and all documentation must be submitted with a completed Drainage Information Sheet (also used for the Grading and Drainage submittal) to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that Final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Richard Dourte, PE
Traffic Engineer
Development and Building Services
Public Works Department

c: Engineer
Hydrology file
Mike Zamora



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

February 1, 2002

Robert G. Hall, Registered Architect
Isaac Benton & Associates, AIA
624 Tijeras N.W.
Albuquerque, NM 87102

Re: Traffic Circulation Layout (TCL) Submittal for Building Permit Approval for
Tiny Bubbles Car Wash, [L18 / D065]
1225 San Pedro N.E.
Architect's Stamp Dated 01/22/02

Dear Mr. Hall:

The TCL submittal, dated Feb. 01, 2002, is sufficient for acceptance by this office and is stamped and signed as such. Four copies will be required: two for submittal of building permit plans, one for this office and one to be kept by you to be used for certification of the site for final C.O. for Hydrology/Transportation.

When the superintendent of this project calls for a Temporary C.O. immediate issuance is no longer possible at that time. An exact copy of the approved TCL, marked up, showing incomplete work remaining, along with a letter of certification is required prior to issuance of Temporary C.O. If project is one of multiple phases, Barricading Plan is needed clearly illustrating how vehicles and pedestrians using this site will be separated from coming phases, not completed or yet begun.

When site is complete and a Final C.O. is needed, a Letter of "Certification", stating that the site was built in substantial compliance with the approved plan, needs to be included with your copy of the TCL. A second option would be to place a typed or stamped Statement of Certification on the approved TCL copy, with the designer's seal, signed and dated for that certification. All documentation must be submitted with a completed Drainage Information Sheet (also used for the Grading and Drainage submittal) to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that the Final C.O. has been issued for this address call Building Safety at 924-3306.

Sincerely,


Mike Zamora, Commercial Plan Checker
Development and Building Services
Public Works Department

c: Engineer
Hydrology file



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

February 1, 2002

Robert Hall, Registered Architect
Isaac Benton & Assoc.
624 Tijeras Ave. NW
Albuquerque, NM 87102

Re: Traffic Circulation Layout (TCL) Submittal for Building Permit Approval for
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1225 San Pedro SE
Architect's Stamp Date 2-01-02 Stamp Dated 2-01-02

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Sincerely,

Richard Dourte, PE
Traffic Engineer
Development and Building Services
Public Works Department

c: Engineer
Hydrology file
Mike Zamora



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

January 30, 2002

Robert G. Hall, Registered Architect
Isaac Benton & Assoc's.
624 Tijeras Ave. N.W.
Albuquerque, NM 87102

Re: Certification Submittal for Final Building Certificate of Occupancy for
Tiny Bubbles Car Wash, [L18 / D06S]
1225 San Pedro S.E.
Architect's Stamp Dated 01/22/02

Dear Mr. Hall:

The TCL submitted for second review, dated Jan. 25, 2002 is not yet sufficient for acceptance by this office. It requires completion of the items not yet addressed on the checklist or the original mark up and items called out on the TCL revised by the designer.

Please submit the corrected TCL again to Hydrology along with all documentation and mark-up copies.

Sincerely,

Mike Zamora
Commercial Plan Checker
Development and Building Services
Public Works Department

c: Engineer
Hydrology file
Mike Zamora



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

January 30, 2002

Robert G. Hall, Registered Architect
Isaac Benton & Assoc's.
624 Tijeras Ave. N.W.
Albuquerque, NM 87102

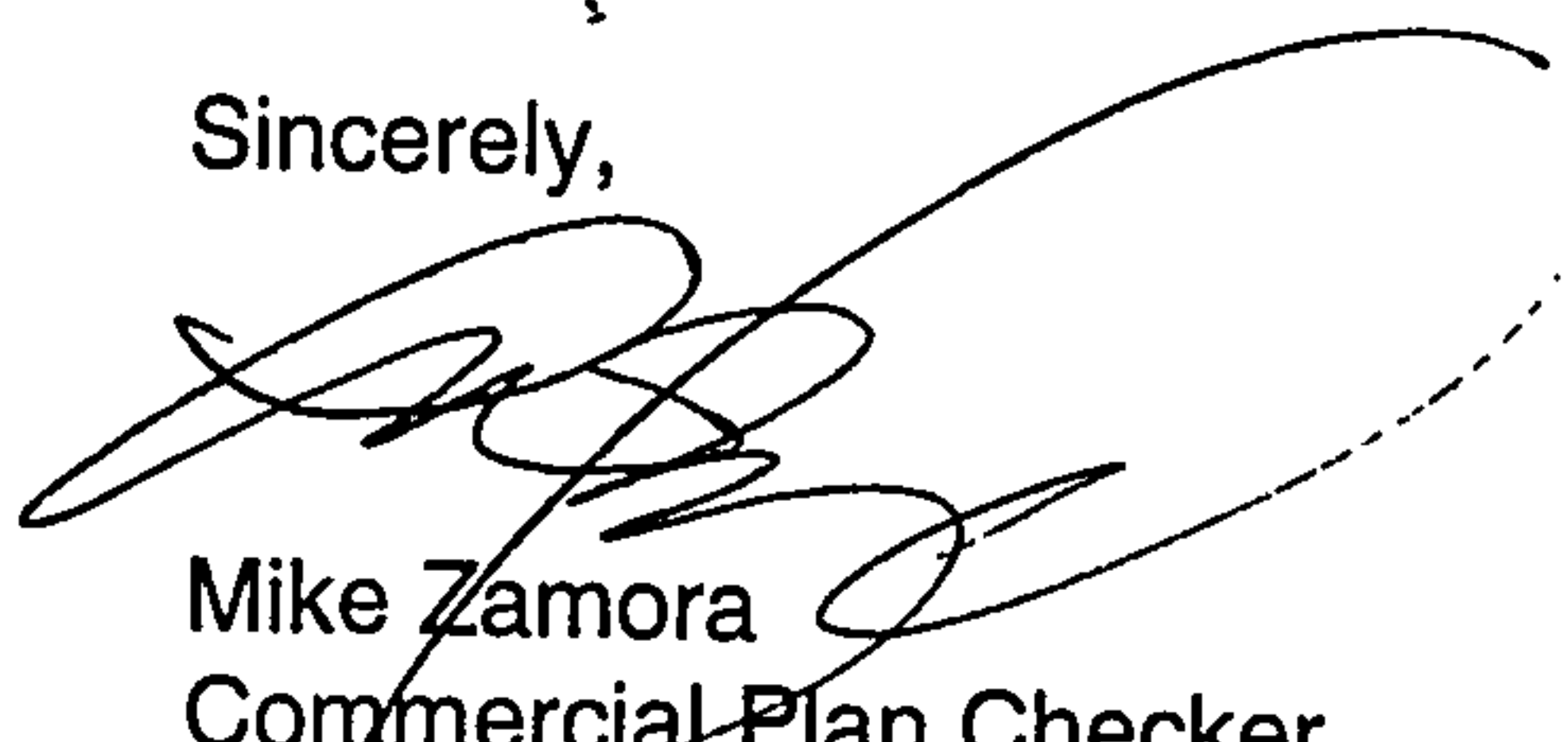
Re: Certification Submittal for Final Building Certificate of Occupancy for
Tiny Bubbles Car Wash, [L18 / D06S]
1225 San Pedro S.E.
Architect's Stamp Dated 01/22/02

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Sincerely,



Mike Zamora
Commercial Plan Checker
Development and Building Services
Public Works Department

c: Engineer
Hydrology file
Mike Zamora

DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

PROJECT TITLE: Tiny Bubbles Car Wash ZONE MAP/DRG. FILE #: 418/2065
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot C, of Block 32, Virginia Place Addition, City of Albq. Bernalillo Co., NM
CITY ADDRESS: 1225 San Pedro NE

ENGINEERING FIRM: Applied Engineering CONTACT: Gilbert Aldez
ADDRESS: 1605 Blair Drive NE PHONE: 237-1456
CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87112

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: Isaac Benton & Associates AIA CONTACT: Bob Hall
ADDRESS: 624 Tijeras Ave. NW PHONE: 505-243-3499
CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87102

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

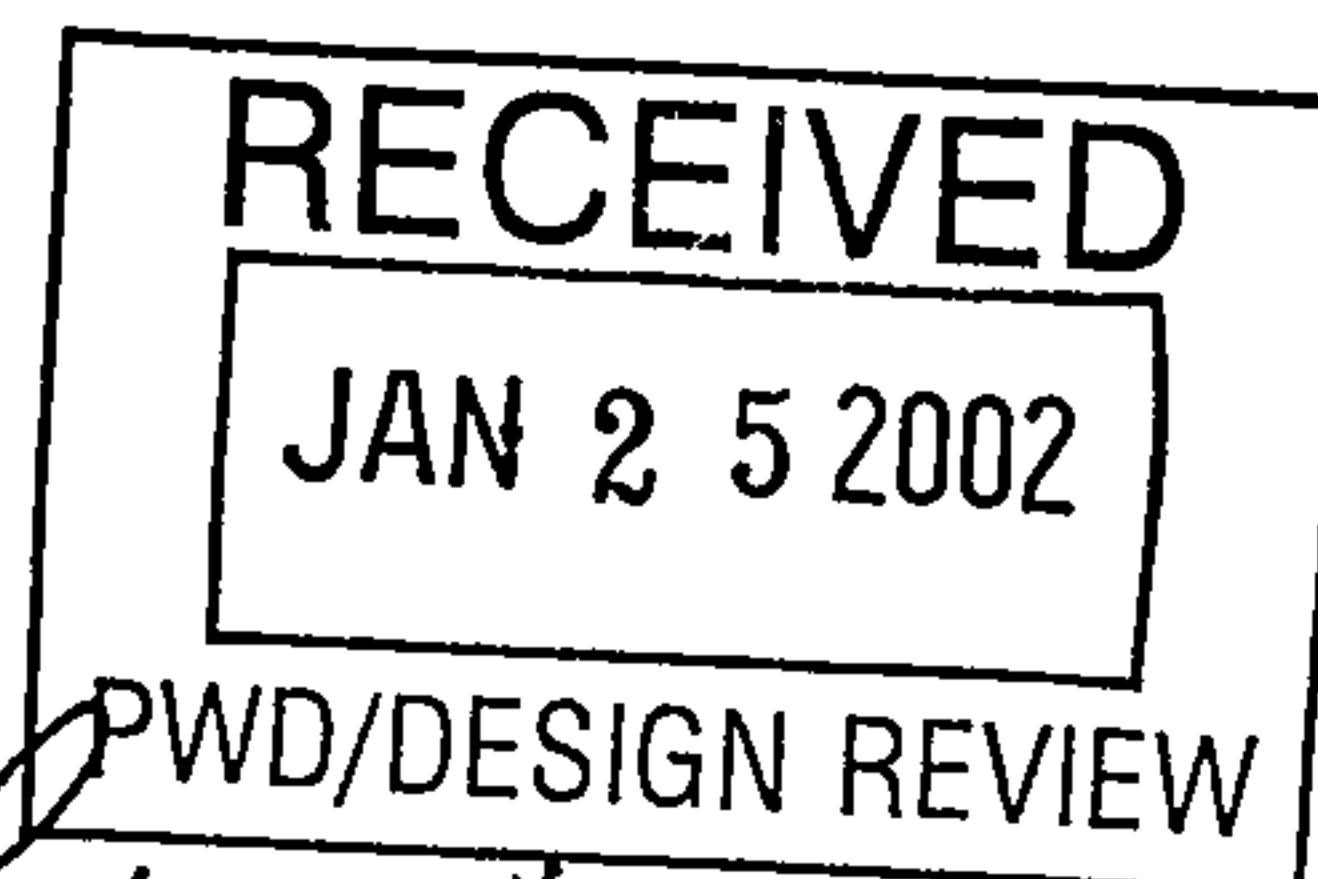
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 1/25/02 BY: Bob Hall



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or