

## Planning Department Transportation Development Services Section

September 22, 2009

Levi J. Valdez, P.E. George T. Rodriquez Land Use & Development Consultant 12800 San Juan NE Albuquerque, NM 87123

Re:

Approval for Final Building Certificate of Occupancy for

Ortiz 12-Plex, [L-18 / D077]

813 Ortiz Drive SE

Engineer Stamp Dated 09/18/09

PO Box 1293

Dear Mr. Valdez:

The TCL / Letter of Certification submitted on September 22, 2009 are sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

NM 87103

Nilo/E. Salgado-Fernandez, P.E.

Senior Traffic Engineer

www.cabq.gov

Development and Building Services

Planning Department

C:

Engineer
Hydrology file
CO Clerk

12800 San Juan NE Albuquerque, NM 87123

City Of Albuquerque
Transportation Development Section
Plaza Del Sol Building
Albuquerque, New Mexico

Re: TCL Certification of ORTIZ 12-PLEX, (ORTIZ DRIVE S.E.)

#### TRAFFIC CERTIFICATION

HEREBY CERTIFY THAT THIS PROJECT HAS IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10-17-08. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY THOMAS JOHNSTON OF THE FIRM WAXTON SURVEYING, I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 09-17-09. AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC LAYOUT ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Signature of Engineer

3000

Date

ENGINEER'S STAMP

5693

Land Use & Development Consultant

12800 San Juan NE Albuquerque, NM 87123

City Of Albuquerque
Transportation Development Section
Plaza Del Sol Building
Albuquerque, New Mexico

Re: TCL Certification of ORTIZ 12-PLEX, (ORTIZ DRIVE S.E.)

#### TRAFFIC CERTIFICATION

HEREBY CERTIFY THAT THIS PROJECT HAS IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10-17-08. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY THOMAS JOHNSTON OF THE FIRM WAYJOHN SURVEYING I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 09-17-09 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC LAYOUT ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE LINE FOR ANY OTHER PURPOSE.

SEP 22 2009

ENGINEER'S STANHYDROLOGY

SECTION

Signature of Engineer

09-18-09

Date

5693

9/22/09 (11:19 Am) Worting for Original Cert. Letter (This is a copy) Livitz

•

·

•

•

•

.

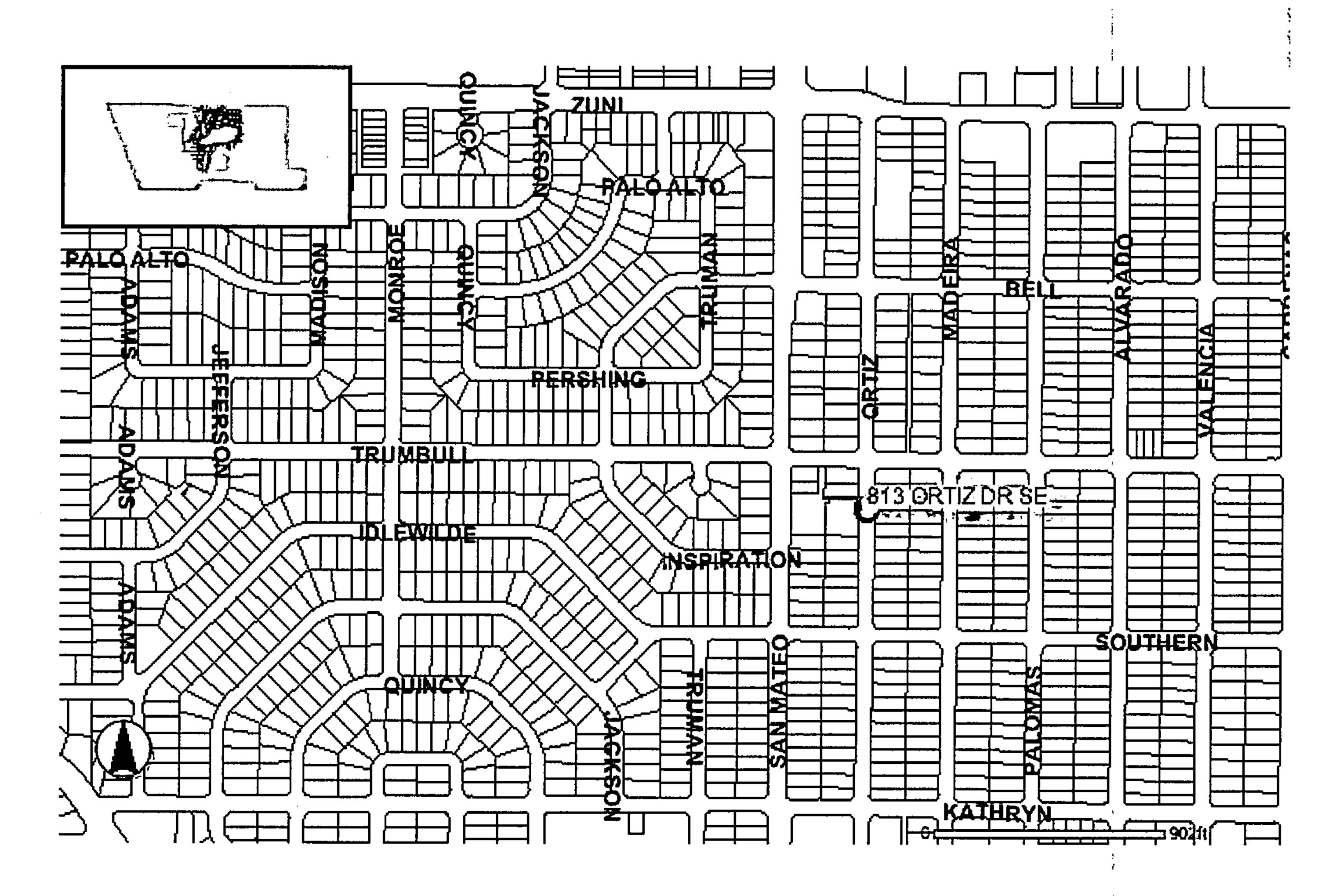
•

(REV 12/2005)

PROJECT TITLE:	712 12-PL		' ZONE	MAP:	10077
DRB#:			RK ORDER#:	j i	<del></del>
LEGAL DESCRIPTION:_	TXXCT 12-11	BLOCK 5, E	SPERSNZ	1 1001110	
CITY ADDRESS: 8/3	ORTIC D	RIVE S.E.		ţ	
	EVIJ-VALDE	Z PE	2000	EVI VALLE	2
ENGINEERING FIRM:	EKGE 1- KULKIC	HE	Z/Z_CONTACT: _C	10-0592	KIGUEZ
CITY STATE:	OU SAN JANY	NEXICO	TIP CODE:	37/72	<b>-</b>
	•	•			<b></b>
OWNER: JEROM	E ECKSTIEH	NEXMENCE	CONTACT: 💆	IEROME EL	ISTIEN
ADDRESS: 23	25 SAN JENO	N.E. J'Z-F"	PHONE:32	28-5050	· ·
CITY, STATE:	LEUQUERUIG	NEXMENCO	ZIP CODE:	8///	<del>_</del>
ARCHITECT: ZOV	MONTOYAL	ZSIGNS.	CONTACT:	FON MONT	70//
ADDRESS:	<del>-,-,-,</del>	<del></del>	PHONE:	; ;	
CITY, STATE:			ZIP CODE:	<u> </u>	
SURVEYOR: XXX	OHIN SURVEY/	46	CONTACT:	TON TOHUS	ZXI
ADDRESS: 33	O LOUISIANA.	BLYD- K-E-	PHONE:	55-2057	
	•	> KEKINEX/CC		<u> </u>	_
CONTRACTOR: 75	OWE ECKSTIE		CONTACT: \( \sqrt{2} \)	TEAME ECK	STIEN
ADDRESS: Z	325 SW PEDE	ONE-, "2-F"	PHONE:3	28-5050	_
CITY, STATE:	SLBUQUERQUE	SKEKKKEXCO	ZIP CODE:	87110	· 
TVDE OF CLIDATTAL.	• ,	CHECK TYPE OF API	DDOMAT COTICUT	•	
TYPE OF SUBMITTAL:  DRAINAGE REF	ORT		IAL GUARANTEE	•	
DRAINAGE PLA		<del></del>	RY PLAT APPROV	1	
	N RESUBMITTAL	<del></del>	N FOR SUB'D API	1	
CONCEPTUAL O	3 & D PLAN	S. DEV. FOR	BLDG. PERMIT A	PPROVAL	
GRADING PLAN	<b>J</b>	<del></del>	AN APPROVAL		
EROSION CONT			APPROVAL		
ENGINEER'S CE	RT (HYDROLOGY)		ON PERMIT APPRO	3	
CLOMR/LOMR	JLATION LAYOUT	<del></del>	PERMIT APPROVATE OF OCCUPANC	<b>'</b>	
ENGINEER'S CH		CEDTIFICAT	PERSONAL PROPERTY OF THE PARTY	ACSOLUTE VILLE VIL	7
	ERT (DRB SITE PLAN)	GRADING P	E ATT APPROVA		
OTHER (SPECIF		PAVING PE	E MITAPPROVAL		
		WORK ORD	ER APPROVAL SEP 2	- a\ 2000	
•		OTHER (SPE	ECIFY) SEL 2	2 ZUUD	
TILLO A DDE DEGICAL CO	A TOTAL A CONTRACTOR A	· T ~ .			
WAS A PRE-DESIGN CO	NFERENCE ATTENDE	ED:		OLOGY	
NO			ŞEC	TION	
COPY PROVIDE	D				
	. <b>-</b>	20-10-00			
DATE SUBMITTED:		09-18-09	BY: CENE	E/- Kase	16462

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





September 22, 2009

Levi J. Valdez, P.E. c/o George T. Rodriguez George T. Rodriguez - Development Consultant 12800 San Juan NE Albuquerque, NM 87123

Re: Ortiz 12-Plex, 813 Ortiz Dr. SE,

Approval of Permanent Certificate of Occupancy, (L-18/D077)

Engineer's Stamp Dated: 09-15-08

Engineer's Certification Stamp Date: 09-18-09

Dear Mr. Valdez,

PO Box 1293

Based upon the information provided in you submittal on 9/16/09, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

NM 87103

Sincerely,

www.cabq.gov

Plan Checker-Hydrology, Planning Dept Development and Building Services

C: CO Clerk—Katrina Sigala file

(REV 12/2005)

PROJECT TITLE: 27/2 12-722		ZONE MAP:ZONE MAP:
DRB#: EPC#:	WORI	CORDER#:
LEGAL DESCRIPTION: TXACT "2-X", CITY ADDRESS: 8/3 ORT/Z D	RIVE SIE	
ENGINEERING FIRM: GEORGE T. RODRIG ADDRESS: 12800 SAN JULIAN	IEC-LEVEL COKSU	LEVI VALUEZ L'CONTACT: GEORGE RODRIGUEZ PHONE: 610-0593
CITY, STATE: ALBUQUERAUS	MEXICO	ZIP CODE: 87/23
OWNER: JEROME ECKSTIELL ADDRESS: 2325 SZM FERRO CITY, STATE: ALBUQUERQUE	N.E. J'Z-F" NEXMEXICO	CONTACT: <u>JEXDIME ECKSTIEN</u> PHONE: <u>328 5050</u> ZIP CODE: <u>87116</u>
ARCHITECT: PON MONTOYA LA ADDRESS: CITY, STATE:	ESIGNS	CONTACT: ROW MONTOXX PHONE: ZIP CODE:
SURVEYOR: WAY TOHK! SURVEY//Y ADDRESS: 330 LOUIS/AKIA E CITY, STATE: ALBURUERQUE	SLYD- K.E. SKEKINEX/CO	CONTACT: TON JOHNSTON PHONE: 255-2052 ZIP CODE:
CONTRACTOR: JERUME ECKSTIE ADDRESS: 2325 SAN PEDRO CITY, STATE: ALBUQUERQUE,	N.E. "2-F"	CONTACT: TERME ECKSTIEX PHONE: 328-5050 ZIP CODE: 87110
TYPE OF SUBMITTAL:  DRAINAGE REPORT  DRAINAGE PLAN 1st SUBMITTAL  DRAINAGE PLAN RESUBMITTAL  CONCEPTUAL G & D PLAN  GRADING PLAN  EROSION CONTROL PLAN  ENGINEER'S CERT (HYDROLOGY)  CLOMR/LOMR  TRAFFIC CIRCULATION LAYOUT  ENGINEER'S CERT (TCL)  ENGINEER'S CERT (DRB SITE PLAN)  OTHER (SPECIFY)	PRELIMINARY S. DEV. PLAN I S. DEV. FOR BI SECTOR PLAN FINAL PLAT A FOUNDATION BUILDING PER CERTIFICATE GRADING PER PAVING PERM WORK ORDER OTHER (SPECI	L GUARANTEE RELEASE PLAT APPROVAL FOR SUB'D APPROVAL LDG. PERMIT APPROVAL APPROVAL PERMIT APPROVAL CMIT APPROVAL OF OCCUPANCY (PERM) OF OCCUPANCY (TEMP) MIT APPROVAL IT APPROVAL APPROVAL APPROVAL APPROVAL
WAS A PRE-DESIGN CONFERENCE ATTENDED  YES  NO COPY PROVIDED		SEP 2 2 2309
DATE SUBMITTED:	09-18-09	HYDROLOGY BY: CERSECTION BY: CORRECTIONS

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



October 17, 2008

Levi Valdez, P.E. George T. Rodriguez Development Consultants 12800 San Juan NE Albuquerque, NM 87123

Re:

L18-D077 Ortiz 12-Plex, \_\_\_\_\_ Ortiz Drive SE, Traffic Circulation Layout

Engineer's Stamp dated 9-15-08 (L18-D077)

Dear Mr. Valdez,

The TCL submittal received 10-06-08 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.

PO Box 1293

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

Albuquerque

NM 87103

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.

Traffic Engineer, Planning Dept.

Development and Building Services

C:

File

(REV 12/2005)

PROJECT TITLE: 27/2	12-PLEX		ZONE MAP:
	EPC#:	WORK (	ORDER#:
LEGAL DESCRIPTION: ZZZZZZZZZZZZZZZZZZZZZZZZZZZZZZZZZZZZ	712-13Bioc	K 5, ESK	ERSNZA DDITTON
CITY ADDRESS:	THE DEN D	5:6-	151111100
ENIGNIEEDING EIDM. CENOCE	- VALLEZ 3-1	KVIFI CAKKIII	CONTACT: GEORGE ROORIGUEZ
ADDDECC. FIRM V	AII "IIIAII XI.A	•	PHONE: /a///~//S7.5
CITY. STATE: AZBUL	VIERAUE, KLEK	MEXICO	ZIP CODE: 87/23
			•
OWNER: CROME EC	KS//E/K	11 22 pm //	CONTACT: <u>JEROME ECKSTIEN</u> PHONE: <u>328 5050</u> ZIP CODE: <u>87116</u>
ADDRESS: 23253	AN PENKO NEW	7 2-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1	PHONE: <u>528 5000</u>
CITY, STATE: ALEXA	ILANGES NOW	MG/VCO	ZIP CODE:
ARCHITECT: RON/HON	2TONA PESIGN	20	CONTACT: ROW MONTOXX
ADDRESS:			PHONE:
CITY, STATE:			ZIP CODE:
11//1/20/11/	Chimilas		man me Told Tolling
SURVEYOR: WAYTOHAL	JUNEY/NO	11 E	CONTACT: 1011 JOHN JOHN PHONE: 255-2052
ADDRESS: 330 LO CITY, STATE: ALBU	DIFERNIE LIEK	1/1/EX/CO	ZIP CODE:
•	•		
CONTRACTOR: JEANNE	24 DE DE 11 E	112-E11	CONTACT: TERME ECKST/EXP PHONE: 328-5050_
ADDRESS: 2325. CITY, STATE: \( \( \alpha \al	CHERNE NICH	LIEXICO	ZIP CODE: <u>\$7//2</u>
CITY, STATE: ZAZZZZZ	LEACHTON TONK		
TYPE OF SUBMITTAL:	CHECK	TYPE OF APPRO	VAL SOUGHT:
DRAINAGE REPORT	<del></del>		GUARANTEE RELEASE
DRAINAGE PLAN 1 <sup>st</sup> SU	· · · · · · · · · · · · · · · · · · ·	•	PLAT APPROVAL
DRAINAGE PLAN RESU		•	OR SUB'D APPROVAL
CONCEPTUAL G & D PI			DG. PERMIT APPROVAL
GRADING PLAN -EROSION CONTROL PL		SECTOR PLAN AF	•
ENGINEER'S CERT (HY			PERMIT APPROVAL
CLOMR/LOMR	/	•	MIT APPROVAL
TRAFFIC CIRCULATION	V LAYOUT	CERTIFICATE C	F OCCUPANCY (PERM)
ENGINEER'S CERT (TC	L)	•	F OCCUPANCY (TEMP)
ENGINEER'S CERT (DR	,	GRADING PERM	
OTHER (SPECIFY)		PAVING PERMI WORK ORDER	APPROVAL I
•	<del></del>	OTHER (SPECIF	
•		_ C IIIDIC (DI DCII	OCT 06 2338
WAS A PRE-DESIGN CONFEREN	ICE ATTENDED:		
XES			HYDROLOGY
NO .			SECTION
COPY PROVIDED			
DATE SUBMITTED:	26-0B		BY: CERTE 1- RODEIGERS

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



October 16, 2008

Levi Valdez, P.E. Levi Valdez & George Rodriguez Consultants 12800 San Juan NE Albuquerque, NM 87123

Re: Ortiz 12-Plex,

Ortiz Drive SE, Drainage Plan Engineer's Stamp dated 09-15-08 (L-18/D077)

Dear Mr. Valdez,

Based upon the information provided in your submittal received 09-30-08, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist

will be required.

Albuquerque

If you have any questions, you can contact mg at 924-3630.

NM 87103

Www.cabq.gov

Nilo E. Salgado-Fernandez, P.E.

Senior Engineer, Planning Dept.

Development and Building Services

C: File

(REV 12/2005)

PROJECT TITLE: ORTIZ 12-PZEX	ZONE MAP: <u>Z-/8/D</u> 57
	WORK ORDER#:
LEGAL DESCRIPTION: TRACT "2-A", BLOCK 5, CITY ADDRESS: ORTIZ DRIVE S.E.	•
ENGINEERING FIRM: GEORGE T. RODRIGUEZ-DEVELLO ADDRESS: 12800 SALI JULIAN H.E.	LEVI VALDEZ VKSUL CONTACT: GEORGE ROORIGUEZ PHONE: 610-0593
CITY, STATE: ALBUQUERAUE, LEKNEN	CO ZIP CODE: 87/23
OWNER: JEROME ECKSTIEH	
ADDRESS: 2325 SW/ BOX W.F72-1	CONTACT: JESOME ECKSTIEN PHONE: 328 505 6
ADDRESS: 2325 SAN FERONE, 7"2-1 CITY, STATE: ALBUQUERQUE, NEW MEXI	CO ZIP CODE: 87//6
ARCHITECT: ROW MONTONA DESIGNS	CONTACT: ROW MONTOXX
ADDRESS:CITY, STATE:	PHONE:
CILI, SIAIE:	ZIP CODE:
SURVEYOR: NAYJOHN SURVEYING	CONTACT: TOU TOURS
ADDRESS: 330 LOUISIANA BLYD- N.E.	PHONE: 255-2057
CITY, STATE: ALBUQUERQUE, LEKINEX	ZIP CODE:
CONTRACTOR: JERWE ECKSTIEN	CONTACT: TERME ECKSTIEN
ADDRESS: 2325 SAN FEDRO N.E., "2-1	PHONE: 328-5050
CITY, STATE: ALBUQUEROUE, NEW MEXIC	
TYPE OF SUBMITTAL: CHECK TYPE OF	APPROVAL SOUGHT:
	NCIAL GUARANTEE RELEASE
•	NARY PLAT APPROVAL
	PLAN FOR SUB'D APPROVAL
· · · · · · · · · · · · · · · · · · ·	FOR BLDG. PERMIT APPROVAL
· · · · · · · · · · · · · · · · · · ·	PLAN APPROVAL
	LAT APPROVAL
	TION PERMIT APPROVAL
·	IG PERMIT APPROVALI
·· - ··-	CATE OF OCCUPANCY (PERM)
	CATE OF OCCUPANCY (TEMP)
• • • • • • • • • • • • • • • • • • • •	G PERMIT/APPROVAL (1)
OTHER (SPECIFY)PAVING	PERMIT APPROVAL
WORK O	RDER APPROVAL HYDROLOGY SPECIFY)  SPECIFY
OTHER (	SPECIFY) SECTION /
TILLA L DDD DDATALI AALTADDALAA LAAA LAAA -	ZEC/ION /
WAS A PRE-DESIGN CONFERENCE ATTENDED: YES	
NO	
COPY PROVIDED	•
•	
DATE SUBMITTED:	BY: EARE T- ROPIGEE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

# SURFACE DRAINAGE EASEMENT WITHIN TRACT 'A-1" BLOCK FIVE (5) ESPERANZA ADDITION ALBUQUERQUE, NEW MEXICO JANUARY, 2008

WHEREAS, J.C.P. Investments, LLC, a New Mexico Limited Liability Company, whose address is 2325 San Pedro N.E. (2-A), Albuquerque, New Mexico, 87110, owners(s) and proprietor(s) of Tracts 'A-1' and 'A-2', in Block Five (5), ESPERANZA ADDITION, to the City of Albuquerque, New Mexico, as the same are shown and designated on the plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico, on August 30,2006, (Bk-2006C, p.265).

Said Owner(s) and Proprietor(s) of aforementioned Tract 'A-1' does hereby grant a Surface Drainage Easement, over and across the existing paved parking lot of said Tract 'A-1' for the benefit of aforementioned Tract 'A-2', (as shown on attached Exhibit "A"); said owner(s) and proprietor(s), of Tract 'A-1' is to hereafter provide the maintenance and expenses for the upkeep of said easement.

This "Easement", shall be binding upon the owner(s) and proprietor(s) of said Tracts 'A-1' and 'A-2' herein, their heir(s) and assign(s) and shall continue to run with said properties in perpetuity.

Owner(s) and Proprietor(s): J.C.P. Investments LLC, a New Mexico Limited Liability Company; Tracts 'A-1' and 'A-2', in Block Five (5), ESPERANZA ADDITION, Albuquerque, New Mexico.

J.C. Peterson, Managing Member

#### Acknowledgement:

State of New Mexico)

SS:

COLLEEN R. McGRATH

NOTARY PUBLIC-STATE OF NEW MEXICO

My commission expires: 10/19/09

County of Bernalillo )

This foregoing instrument was acknowledged before me this <u>in the day of January</u>, 2008, by J.C. Peterson hereby known to me to be Managing Member of J.C.P. Investments LLC, the owner(s) and proprietor(s) of the properties referred to herein, and that he acknowledged the same as his own free act and deed.

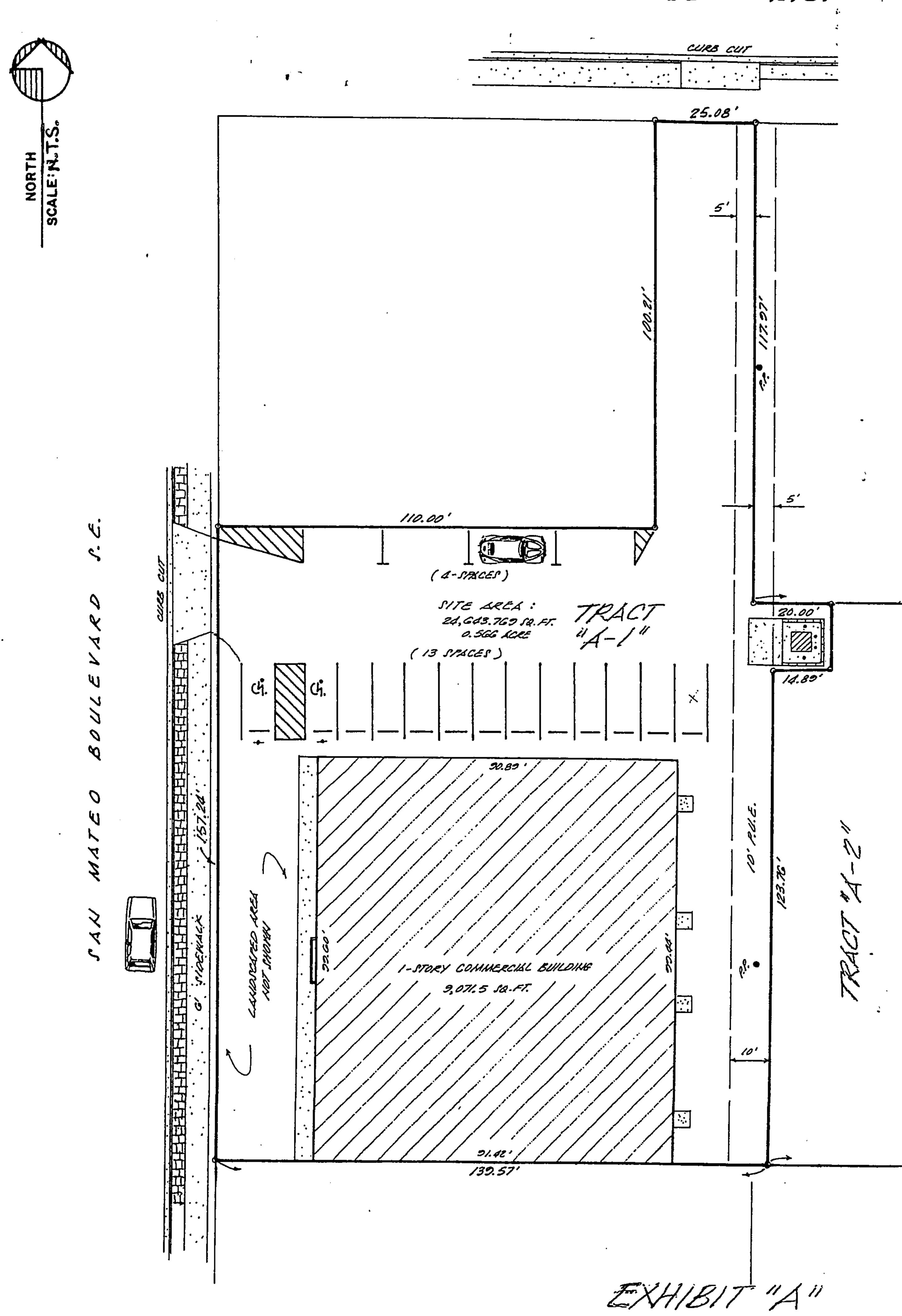
Caecen D. McGath My commission Expires: 10/19/09
Notary Public
OFFICIAL SEAL

RECEIVED

SEP 3 0 2008

HYDROLOGY SECTION Doc# 2008108212

10/01/2008 10:04 AM Page: 1 of 2
EASE R:\$11.00 M. Toulouse Oliver, Bernalillo County





July 3, 2008

Levi Valdez, P.E. Levi Valdez & George Rodriguez Consultants 12800 San Juan NE Albuquerque, NM 87123

Re: Ortiz 12-Plex,

Ortiz Drive SE, Drainage Plan [-18/D0578]
Engineer's Stamp dated 06-20-08 (E-18/D057B)

Dear Mr. Valdez,

Based upon the information provided in your submittal received 06-13-08, the above referenced plan is not approved until the following items/conditions are addressed:

PO Box 129 3

Albuquerque

NM 87103

www.cabq.gov

Provide more spot elevations to parking lot and refuse enclosure.

• What is direction of roof flow?

• For 6" PVC pipe, you'll need to provide invert elevation at each bend and at wall opening.

• Suggest 6" PVC pipe be routed underneath building since Building Code allows it.

• A detail of 6" walling opening needs to be provided.

• Change Building FF elevation to 75.25 and entrance elevations to 75.20 in order to avoid any run-off overflow that may enter proposed building.

If you have any questions, you can contact me at 924-3630.

Sincerell

Milo E. Salgado-Fernandez, P.E. Senior Engineer, Planning Dept. Development and Building Services

C: File