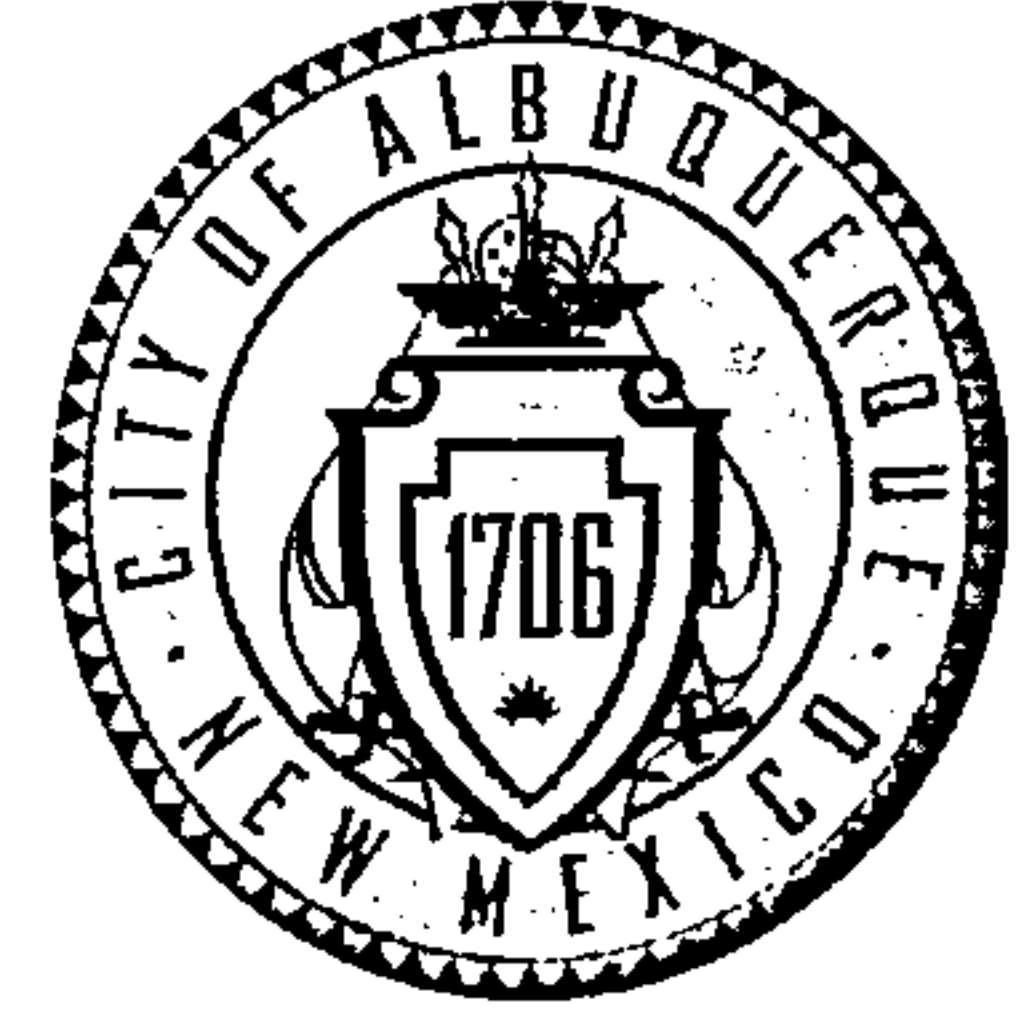


CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

September 22, 2009

Levi J. Valdez, P.E.
George T. Rodriguez Land Use & Development Consultant
12800 San Juan NE
Albuquerque, NM 87123

Re: Approval for Final Building Certificate of Occupancy for
Ortiz 12-Plex, [L-18 / D077]
813 Ortiz Drive SE
Engineer Stamp Dated 09/18/09

PO Box 1293

Dear Mr. Valdez:

Albuquerque

The TCL / Letter of Certification submitted on September 22, 2009 are sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

NM 87103

Sincerely,

www.cabq.gov

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

George T. Rodriguez

Land Use & Development Consultant

12800 San Juan NE
Albuquerque, NM 87123

City Of Albuquerque
Transportation Development Section
Plaza Del Sol Building
Albuquerque, New Mexico

Re: TCL Certification of ORTIZ 12-PLEX, (ORTIZ DRIVE S.E.)
L18-D077

TRAFFIC CERTIFICATION

I, LEVI J. VALDEZ, NMPE NO. 5693, OF THE FIRM
WAYTOWN SURVEYING, HEREBY CERTIFY THAT THIS PROJECT HAS IS IN
SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE
DESIGN INTENT OF THE APPROVED PLAN DATED 10-17-08. THE
RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT
HAS BEEN OBTAINED BY THOMAS JOHNSTON OF THE FIRM
WAYTOWN SURVEYING. I FURTHER CERTIFY THAT I HAVE PERSONALLY
VISITED THE PROJECT SITE ON 09-17-09 AND HAVE DETERMINED
BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS
REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND
CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS
CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR
PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY
COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE
OF THE TRAFFIC LAYOUT ASPECTS OF THIS PROJECT. THOSE
RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN
INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR
ANY OTHER PURPOSE.

Levi J. Valdez
Signature of Engineer

09-18-09
Date

ENGINEER'S STAMP



George T. Rodriguez

12800 San Juan NE
Albuquerque, NM 87123

Land Use & Development Consultant

City Of Albuquerque
Transportation Development Section
Plaza Del Sol Building
Albuquerque, New Mexico

Re: TCL Certification of ORTIZ 12-PLEX, (ORTIZ DRIVE S.E.)
LIB-D077

TRAFFIC CERTIFICATION

I, LEVI J. VALDEZ, NMPE NO. 5693, OF THE FIRM
WAYJOHN SURVEYING, HEREBY CERTIFY THAT THIS PROJECT HAS IS IN
SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE
DESIGN INTENT OF THE APPROVED PLAN DATED 10-17-08, THE
RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT
HAS BEEN OBTAINED BY THOMAS JOHNSTON OF THE FIRM
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INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR
ANY OTHER PURPOSE.

Levi J. Valdez
Signature of Engineer

09-18-09
Date

RECEIVED

SEP 22 2009

ENGINEER'S STAMP HYDROLOGY
SECTION



9/22/09 (11:19 AM)
Waiting for Original
Cert. letter
(this is a copy)
Fvatz

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: ORTIZ 12-PLEX ZONE MAP: L-18/D077
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT "2-A", BLOCK 5, ESPERANZA ADDITION
 CITY ADDRESS: 813 ORTIZ DRIVE S.E.

ENGINEERING FIRM: LEVI J. VALDEZ, P.E. CONTACT: LEVI VALDEZ
GEORGE T. RODRIGUEZ-DEVEL. CONSULT
 ADDRESS: 12800 SAN JUAN N.E. PHONE: 610-0593
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87123

OWNER: JEROME ECKSTIEN CONTACT: JEROME ECKSTIEN
 ADDRESS: 2325 SAN PEDRO N.E. "2-F" PHONE: 328-5050
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

ARCHITECT: RON MONTOKA DESIGNS CONTACT: RON MONTOKA
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: WAY JOHN SURVEYING CONTACT: TOM JOHNSTON
 ADDRESS: 330 LOUISIANA BLVD. N.E. PHONE: 255-2052
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: _____

CONTRACTOR: JEROME ECKSTIEN CONTACT: JEROME ECKSTIEN
 ADDRESS: 2325 SAN PEDRO N.E. "2-F" PHONE: 328-5050
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

TYPE OF SUBMITTAL:

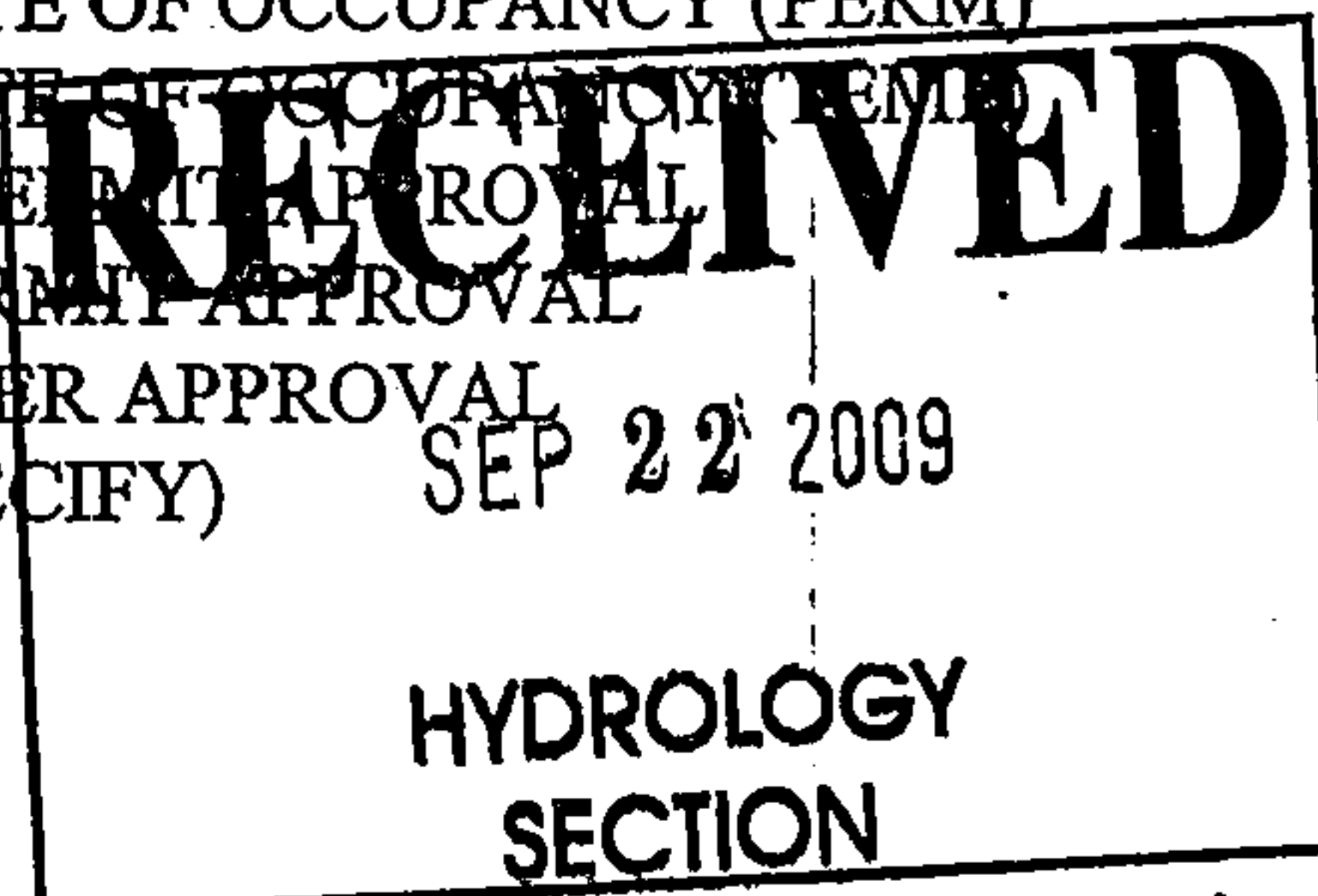
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☒ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SLA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (REMO)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

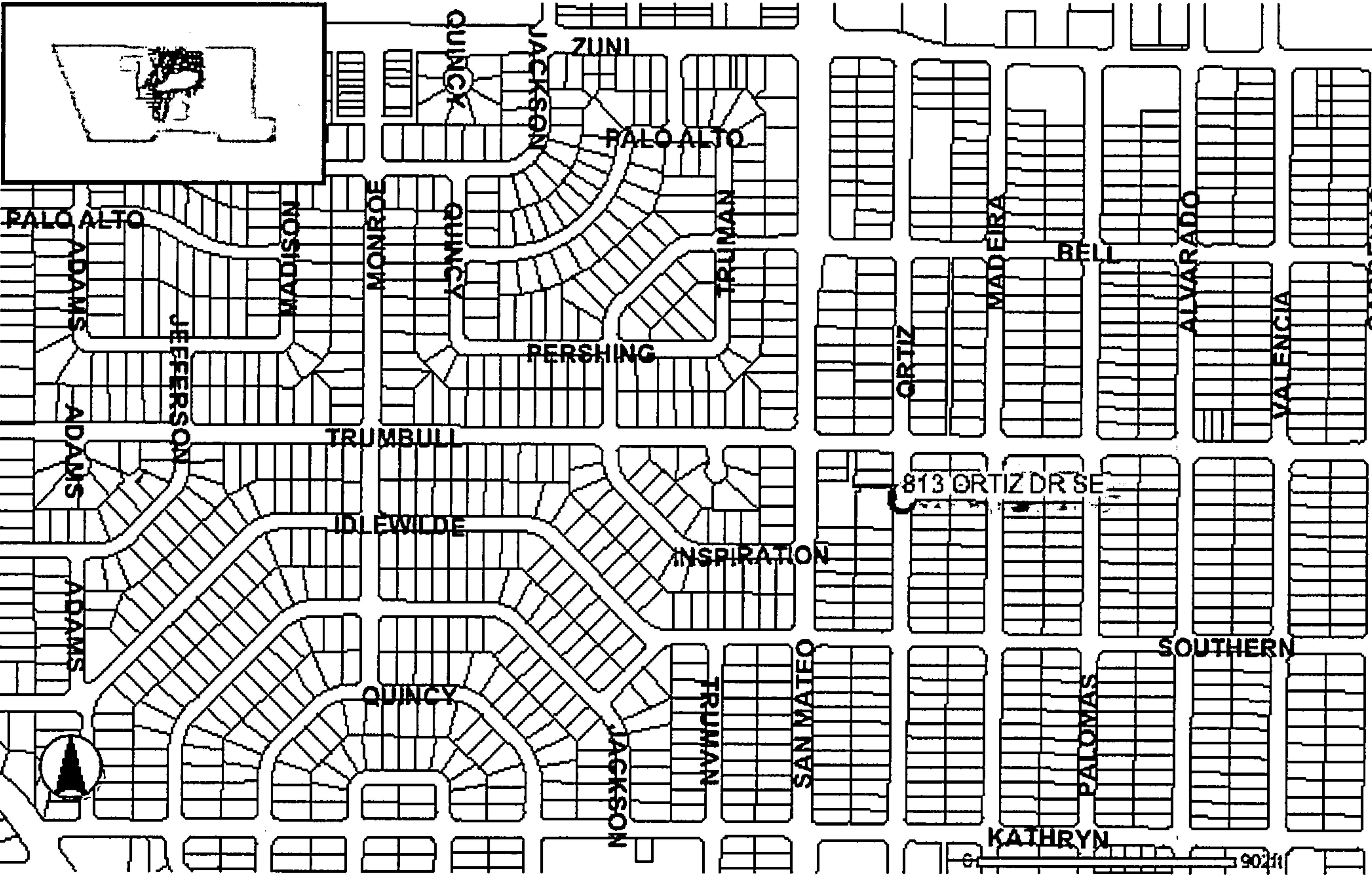
- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



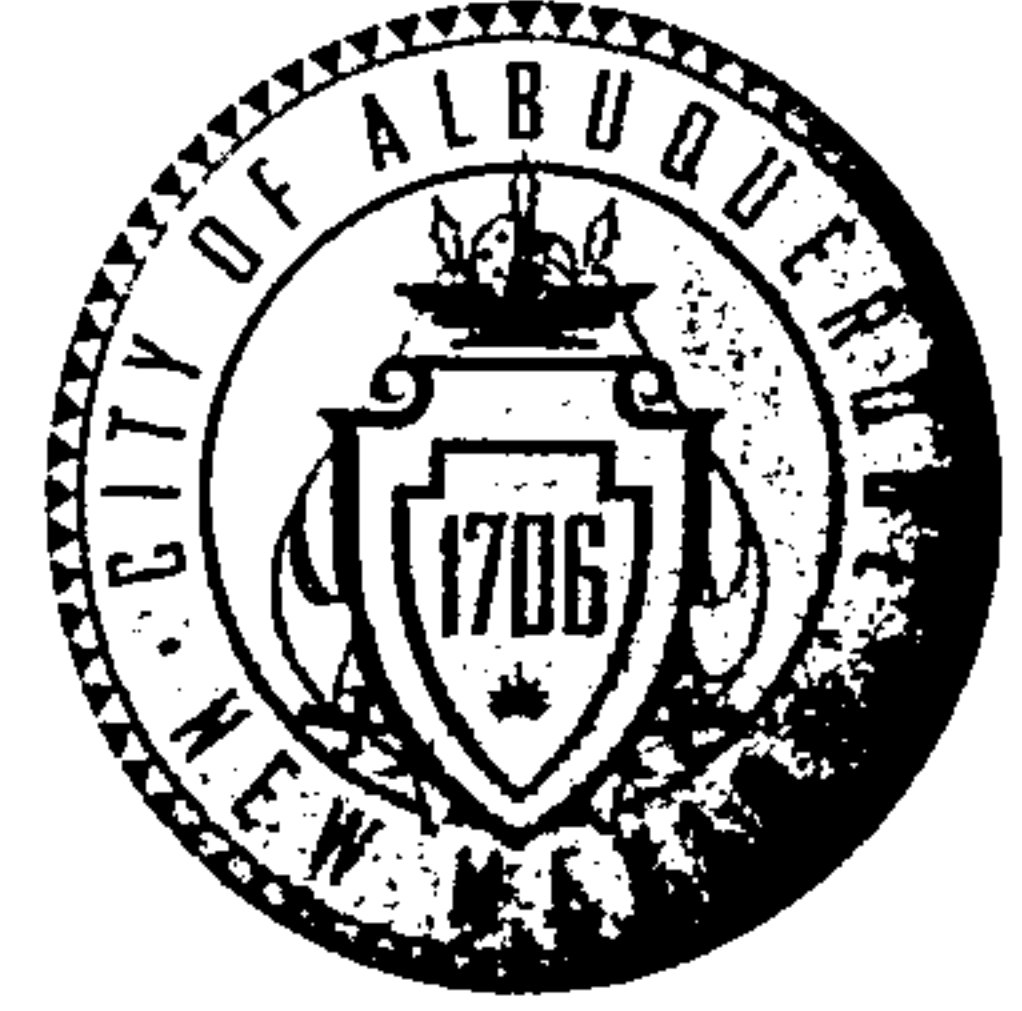
DATE SUBMITTED: 09-18-09 BY: GEORGE T. RODRIGUEZ

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



September 22, 2009

Levi J. Valdez, P.E.
c/o George T. Rodriguez
George T. Rodriguez - Development Consultant
12800 San Juan NE
Albuquerque, NM 87123

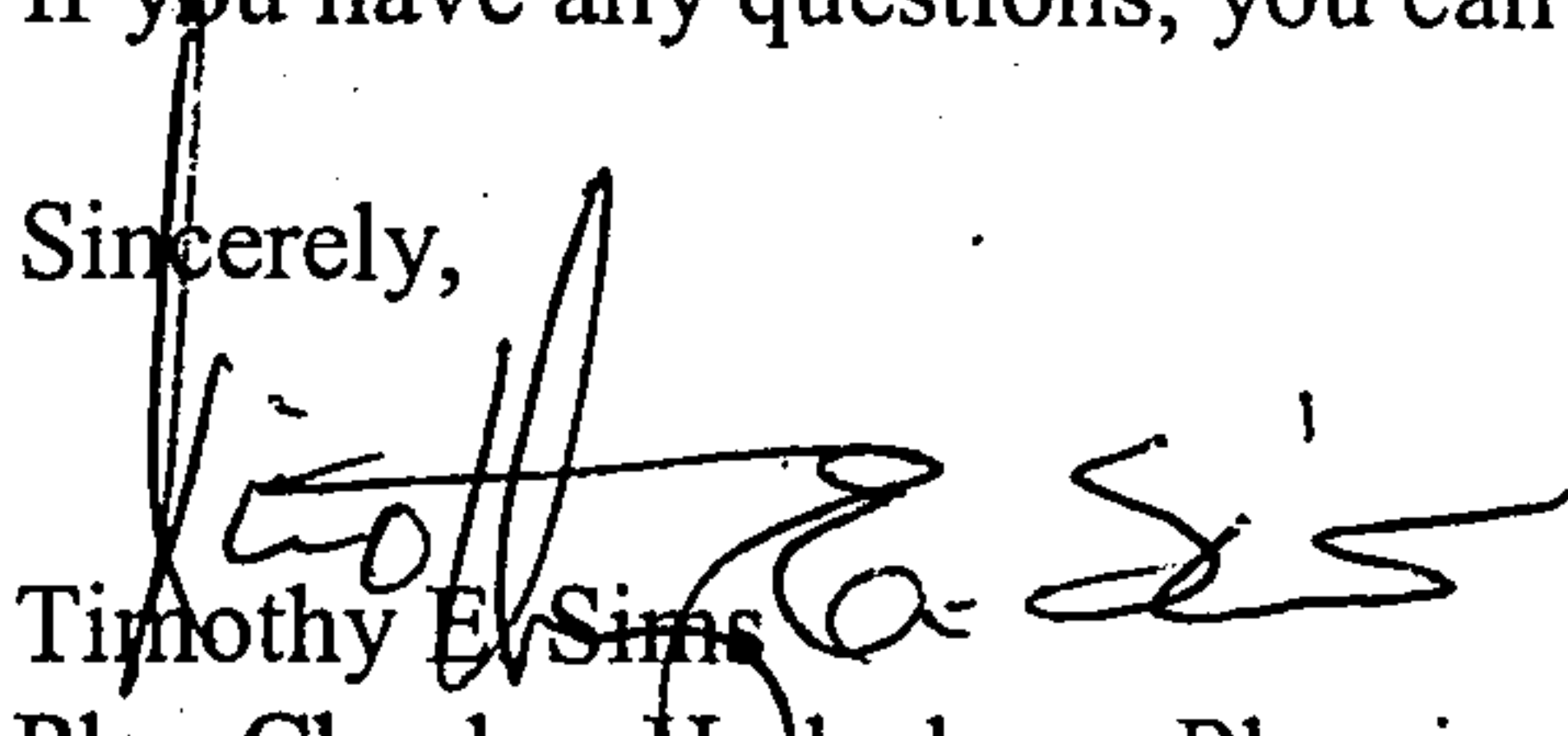
Re: Ortiz 12-Plex, 813 Ortiz Dr. SE,
Approval of Permanent Certificate of Occupancy, (L-18/D077)
Engineer's Stamp Dated: 09-15-08
Engineer's Certification Stamp Date: 09-18-09

Dear Mr. Valdez,

Based upon the information provided in your submittal on ~~9/15/09~~ **9/18/09**, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3982.

Sincerely,


Timothy E. Sims
Plan Checker-Hydrology, Planning Dept
Development and Building Services

C: CO Clerk—Katrina Sigala
file

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: ORTIZ 12-PLEX ZONE MAP: L-18/D077
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT "2-A", BLOCK 5, ESPERANZA ADDITION
CITY ADDRESS: 813 ORTIZ DRIVE S.E.

ENGINEERING FIRM: LEVI J. VALDEZ, P.E. CONTACT: LEVI VALDEZ
GEORGE T. RODRIGUEZ-DEVEL. CONSULT. GEORGE RODRIGUEZ
ADDRESS: 12800 SAN JUAN N.E. PHONE: 610-0593
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87123

OWNER: JEROME ECKSTIEN CONTACT: JEROME ECKSTIEN
ADDRESS: 2325 SAN PEDRO N.E. "2-F" PHONE: 328-5050
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

ARCHITECT: RON MONTROYA DESIGNS CONTACT: RON MONTROYA
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: WAY JOHN SURVEYING CONTACT: TOM JOHNSTON
ADDRESS: 330 LOUISIANA BLVD. N.E. PHONE: 255-2052
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: _____

CONTRACTOR: JEROME ECKSTIEN CONTACT: JEROME ECKSTIEN
ADDRESS: 2325 SAN PEDRO N.E., "2-F" PHONE: 328-5050
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1" SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

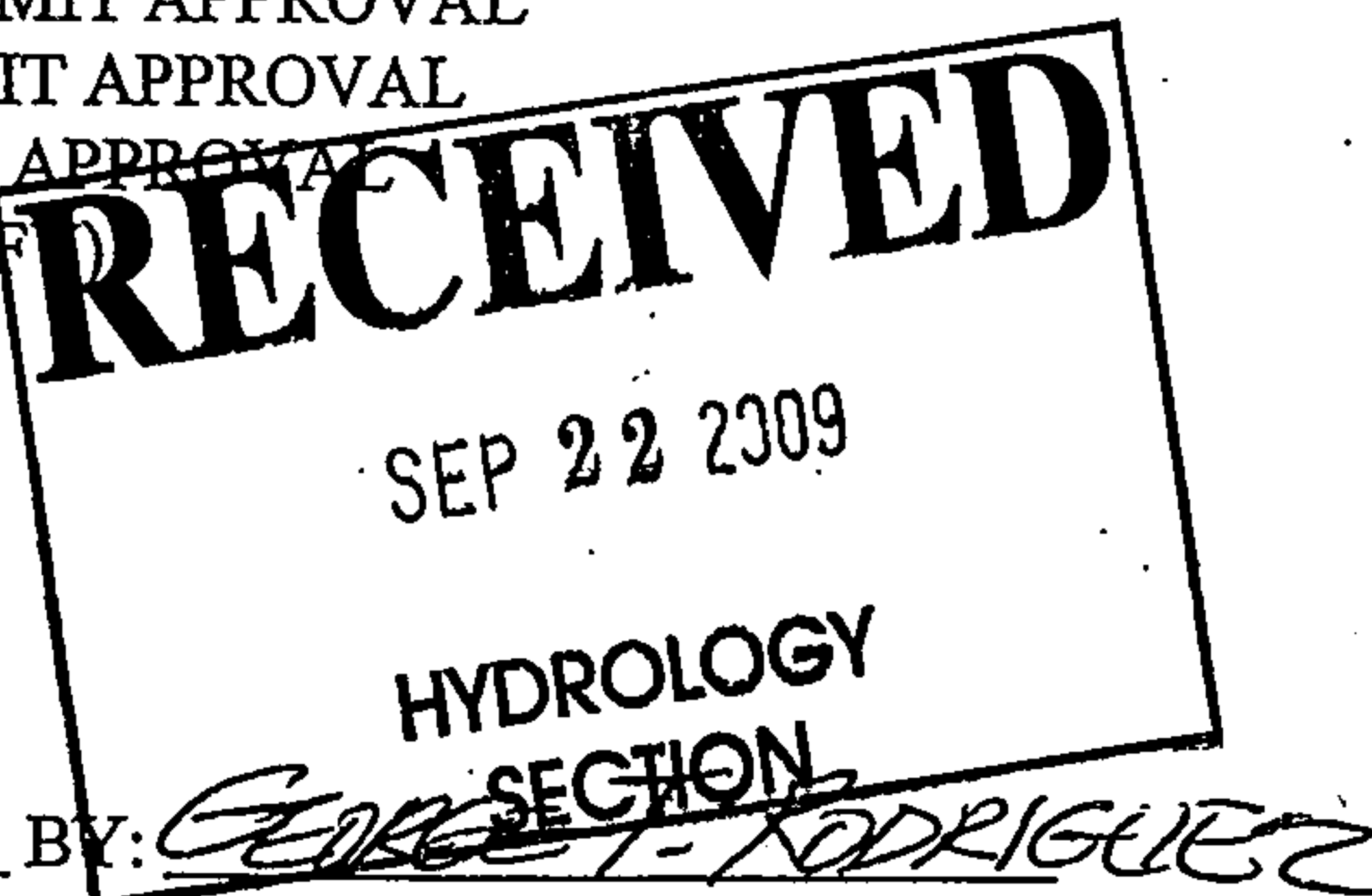
CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED

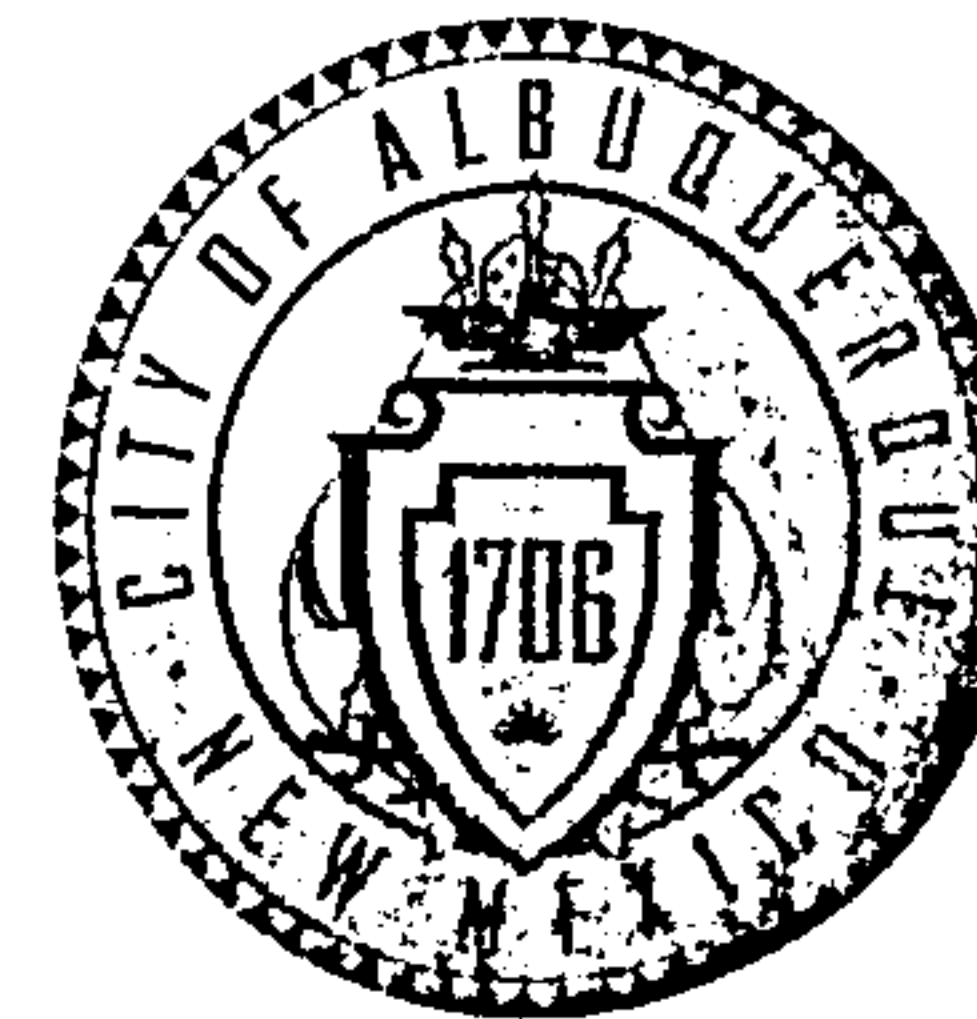
DATE SUBMITTED: 09-18-09



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



October 17, 2008

Levi Valdez, P.E.
George T. Rodriguez Development Consultants
12800 San Juan NE
Albuquerque, NM 87123

Re: L18-D077 Ortiz 12-Plex, _____ Ortiz Drive SE, Traffic Circulation Layout
Engineer's Stamp dated 9-15-08 (L18-D077)

Dear Mr. Valdez,

The TCL submittal received 10-06-08 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: ORTIZ 12-PLEX ZONE MAP: L-18/D077
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT "2-A", BLOCK 5, ESPERANZA ADDITION
CITY ADDRESS: ORTIZ DRIVE S.E.

ENGINEERING FIRM: LEVI J. VALDEZ, P.E. CONTACT: LEVI VALDEZ
GEORGE T. RODRIGUEZ-DEVEL. CONSULT. GEORGE RODRIGUEZ
ADDRESS: 12800 SAN JUAN N.E. PHONE: 610-0593
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87123

OWNER: JEROME ECKSTIEN CONTACT: JEROME ECKSTIEN
ADDRESS: 2325 SAN PEDRO N.E. "2-F" PHONE: 328-5050
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

ARCHITECT: RON MONTOKA DESIGNS CONTACT: RON MONTOKA
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: WAYJOHN SURVEYING CONTACT: TOM JOHNSTON
ADDRESS: 330 LOUISIANA BLVD. N.E. PHONE: 255-2052
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: _____

CONTRACTOR: JEROME ECKSTIEN CONTACT: JEROME ECKSTIEN
ADDRESS: 2325 SAN PEDRO N.E. "2-F" PHONE: 328-5050
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

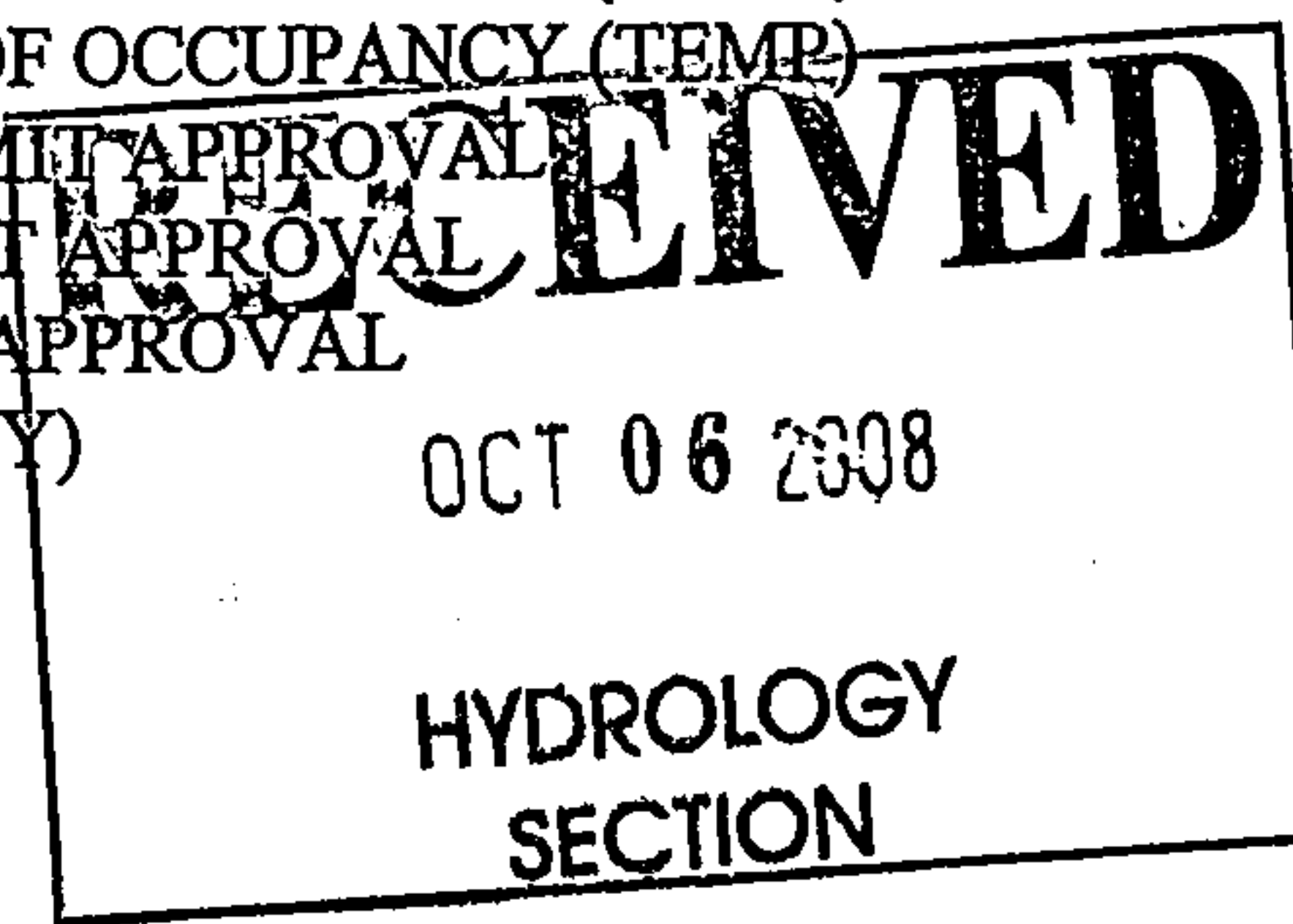
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED

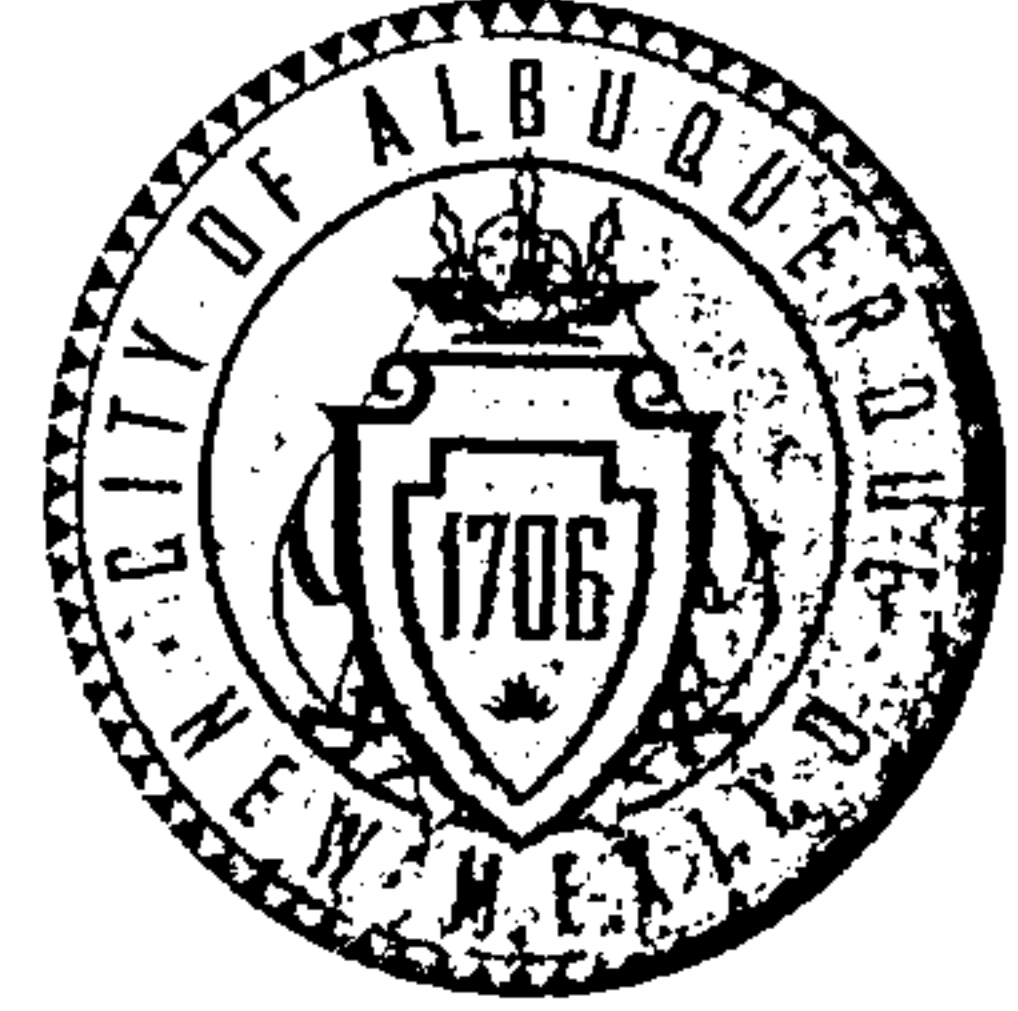
DATE SUBMITTED: 09-26-08 BY: GEORGE T. RODRIGUEZ

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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CITY OF ALBUQUERQUE



October 16, 2008

Levi Valdez, P.E.
Levi Valdez & George Rodriguez Consultants
12800 San Juan NE
Albuquerque, NM 87123

**Re: Ortiz 12-Plex,
Ortiz Drive SE, Drainage Plan
Engineer's Stamp dated 09-15-08 (L-18/D077)**

Dear Mr. Valdez,

Based upon the information provided in your submittal received 09-30-08, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. **Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.**

If you have any questions, you can contact me at 924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: ORTIZ 12-PLEX ZONE MAP: L-18/D⁰⁷⁷
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT "2-A", BLOCK 5, ESPERANZA ADDITION
 CITY ADDRESS: ORTIZ DRIVE S.E.

ENGINEERING FIRM: LEVI J. VALDEZ, P.E. CONTACT: LEVI VALDEZ
GEORGE T. RODRIGUEZ-DEVEL. CONSULT. GEORGE RODRIGUEZ
 ADDRESS: 12800 SAN JUAN N.E. PHONE: 610-0593
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87123

OWNER: GEROME ECKSTIEN CONTACT: GEROME ECKSTIEN
 ADDRESS: 2325 SAN PEDRO N.E. "2-F" PHONE: 328-5050
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

ARCHITECT: RON MONTOKA DESIGNS CONTACT: RON MONTOKA
 ADDRESS: _____ PHONE: _____
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SURVEYOR: WAYJOHN SURVEYING CONTACT: TOM JOHNSTON
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 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: _____

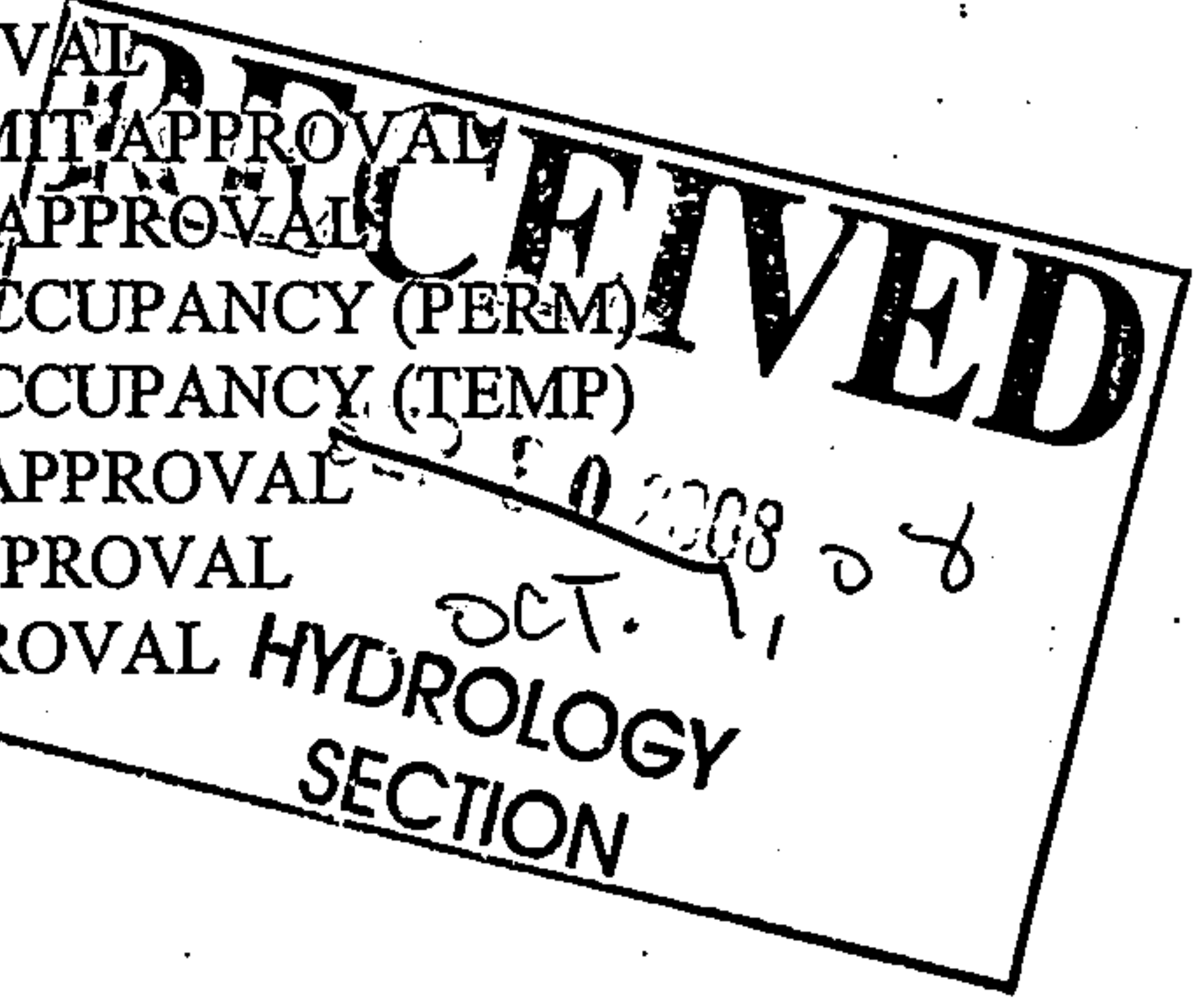
CONTRACTOR: GEROME ECKSTIEN CONTACT: GEROME ECKSTIEN
 ADDRESS: 2325 SAN PEDRO N.E., "2-F" PHONE: 328-5050
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
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- ☐ ENGINEER'S CERT (HYDROLOGY)
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- ☐ TRAFFIC CIRCULATION LAYOUT
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- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 09-26-08 BY: GEORGE T. RODRIGUEZ

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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**SURFACE DRAINAGE EASEMENT
WITHIN
TRACT 'A-1"
BLOCK FIVE (5)
ESPERANZA ADDITION
ALBUQUERQUE, NEW MEXICO
JANUARY, 2008**

WHEREAS, J.C'P. Investments, LLC, a New Mexico Limited Liability Company, whose address is 2325 San Pedro N.E. (2-A), Albuquerque, New Mexico, 87110, owners(s) and proprietor(s) of Tracts 'A-1' and 'A-2', in Block Five (5), ESPERANZA ADDITION, to the City of Albuquerque, New Mexico, as the same are shown and designated on the plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico, on August 30,2006,(Bk-2006C, p.265).

Said Owner(s) and Proprietor(s) of aforementioned Tract 'A-1' does hereby grant a Surface Drainage Easement, over and across the existing paved parking lot of said Tract 'A-1' for the benefit of aforementioned Tract 'A-2', (as shown on attached Exhibit "A"); said owner(s) and proprietor(s), of Tract 'A-1' is to hereafter provide the maintenance and expenses for the upkeep of said easement.

This "**Easement**", shall be binding upon the owner(s) and proprietor(s) of said Tracts 'A-1' and 'A-2' herein, their heir(s) and assign(s) and shall continue to run with said properties in perpetuity.

Owner(s) and Proprietor(s): J.C.P. Investments LLC, a New Mexico Limited Liability Company; Tracts 'A-1' and 'A-2', in Block Five (5), ESPERANZA ADDITION, Albuquerque, New Mexico.


J.C. Peterson, Managing Member

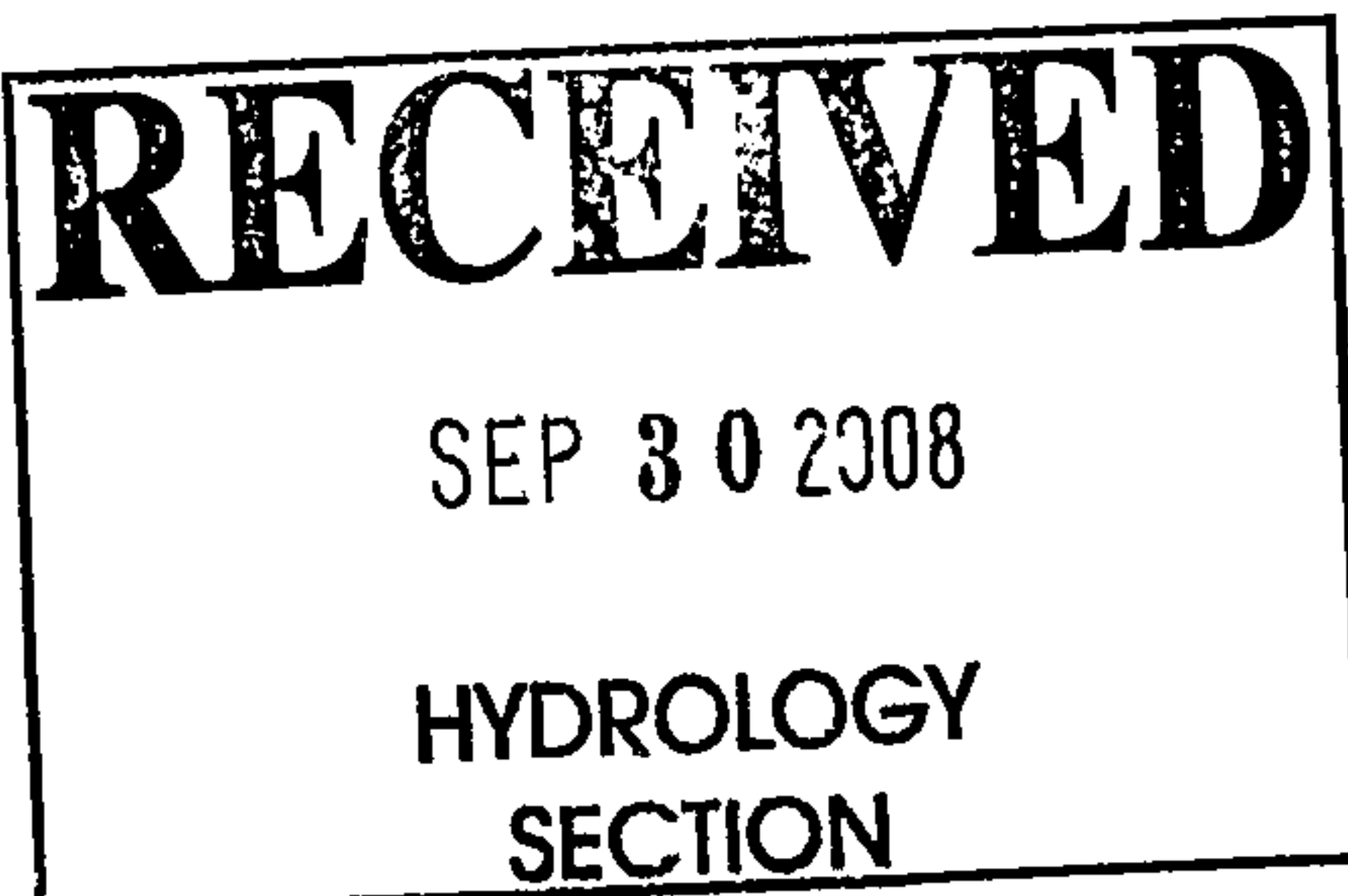
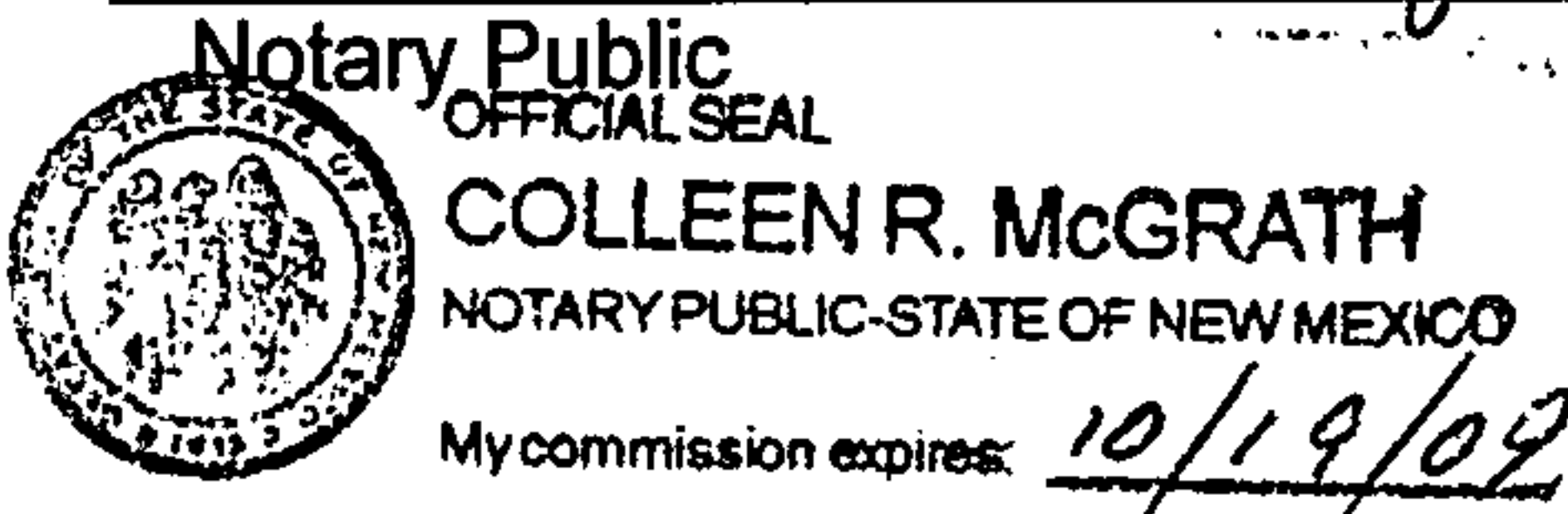
Acknowledgement:

State of New Mexico) ss:
County of Bernalillo)

This foregoing instrument was acknowledged before me this 10th day of January, 2008, by J.C. Peterson hereby known to me to be Managing Member of J.C.P. Investments LLC, the owner(s) and proprietor(s) of the properties referred to herein, and that he acknowledged the same as his own free act and deed.

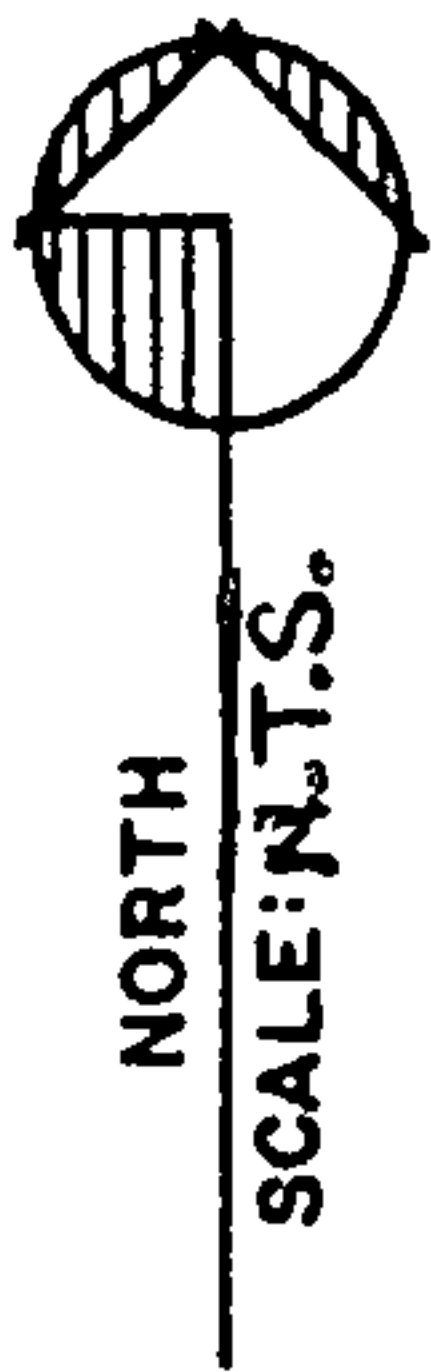
Calvin R. McGath

My commission Expires: 10/19/09

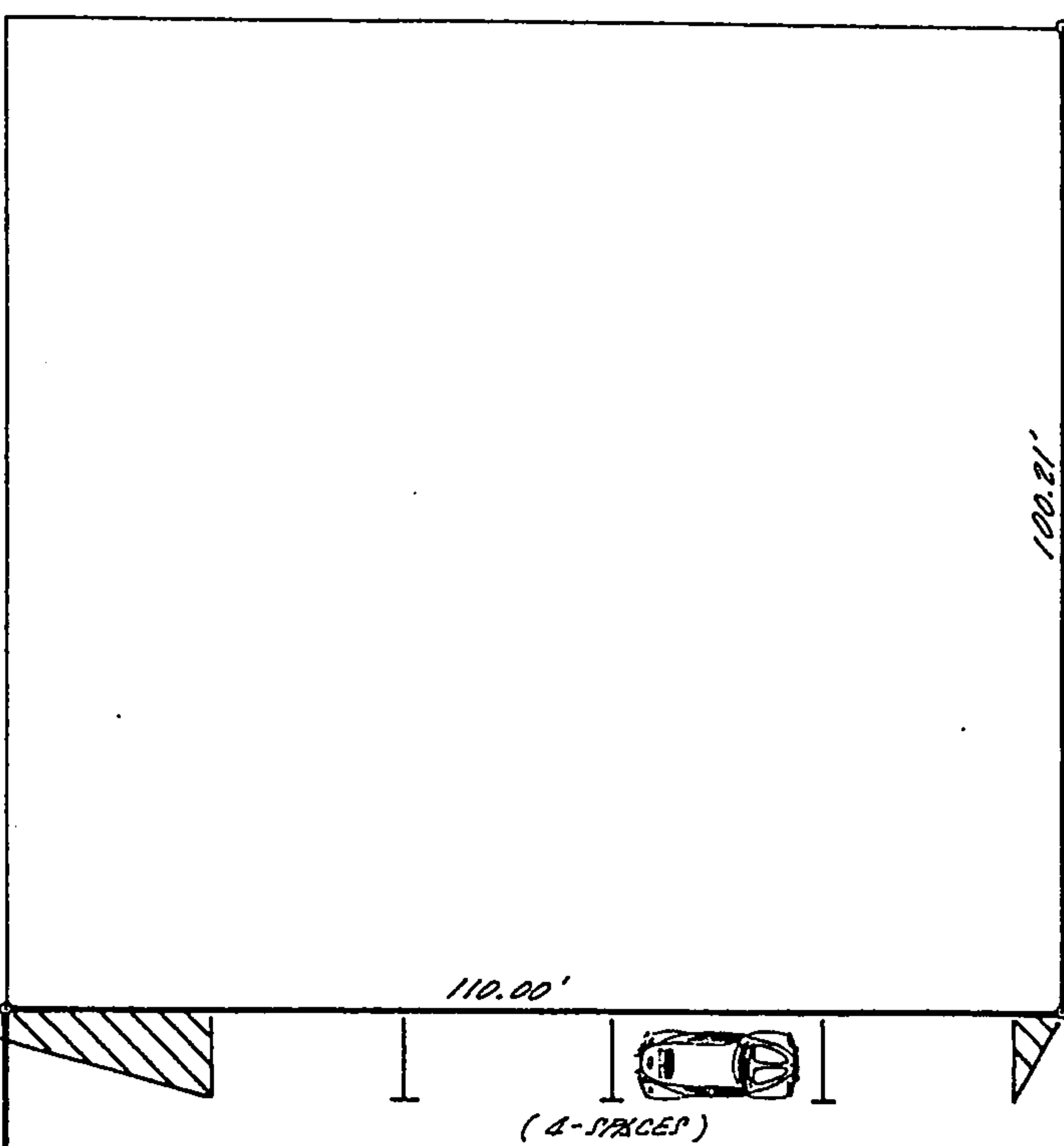
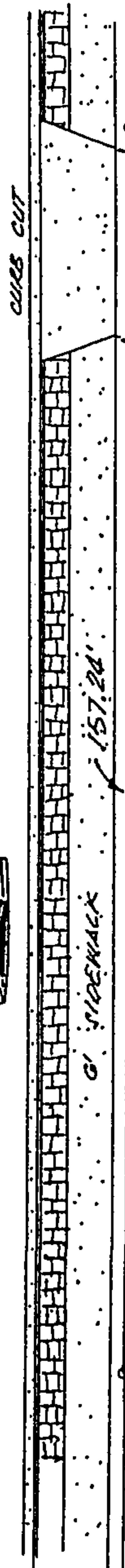


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10/01/2008 10:04 AM Page: 1 of 2
EASE R:\$11.00 M. Toulouse Oliver, Bernalillo County

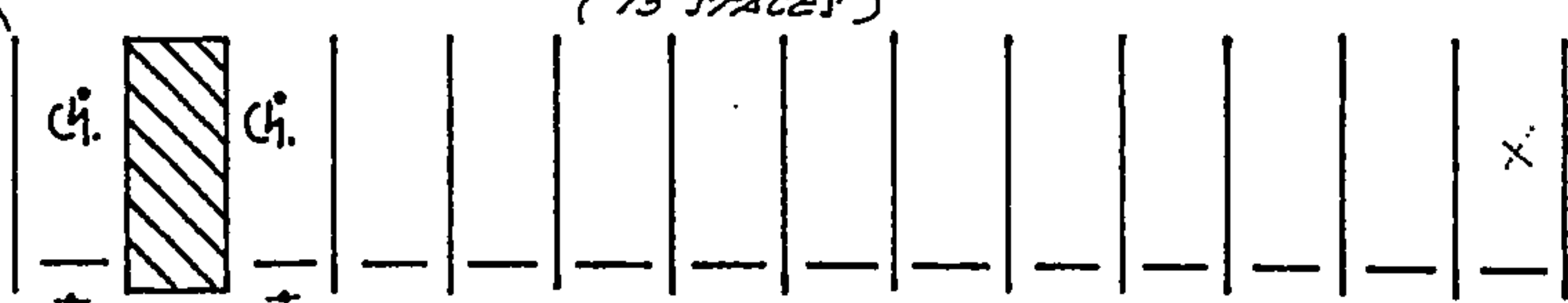


SAN MATEO BOULEVARD S.E.

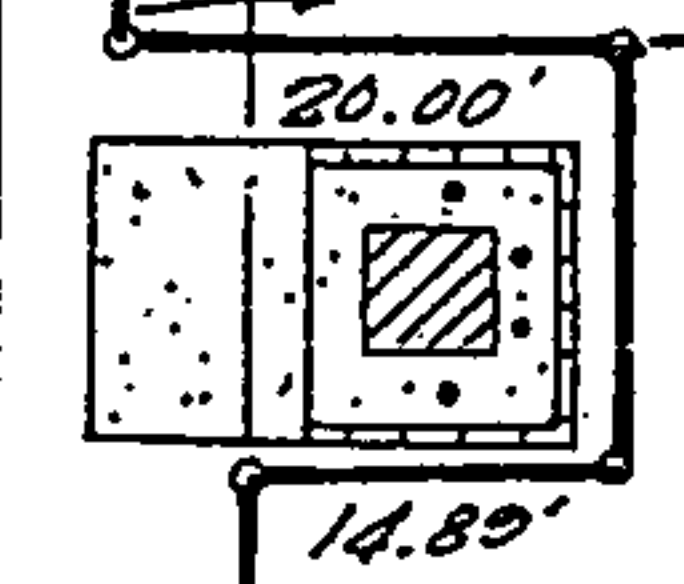
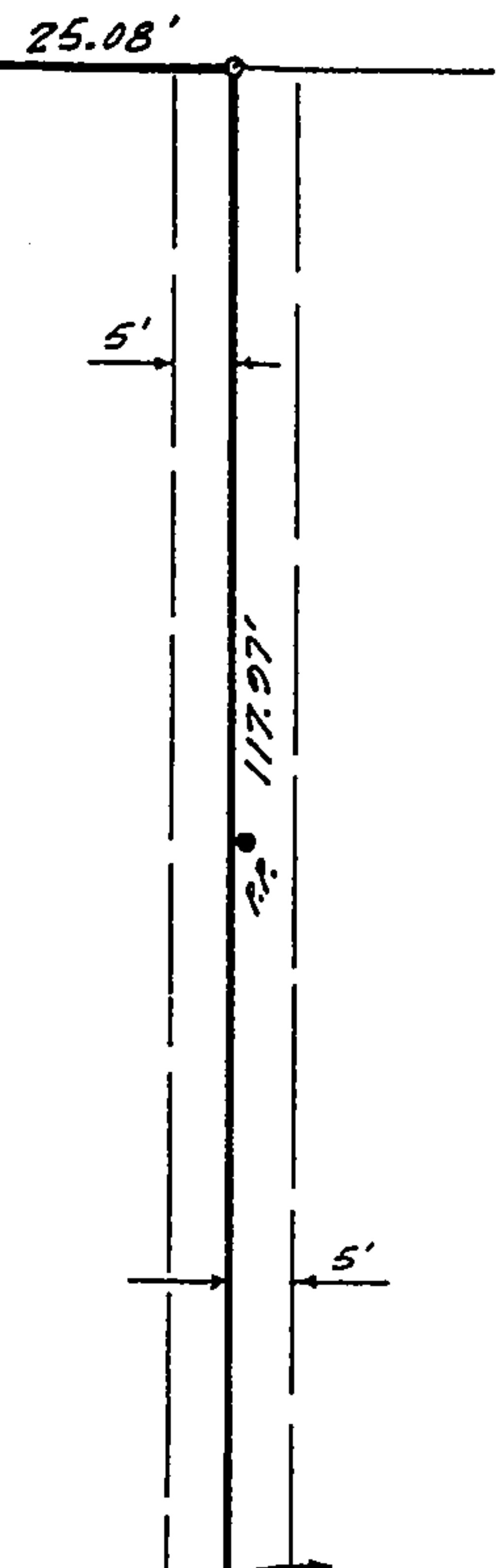
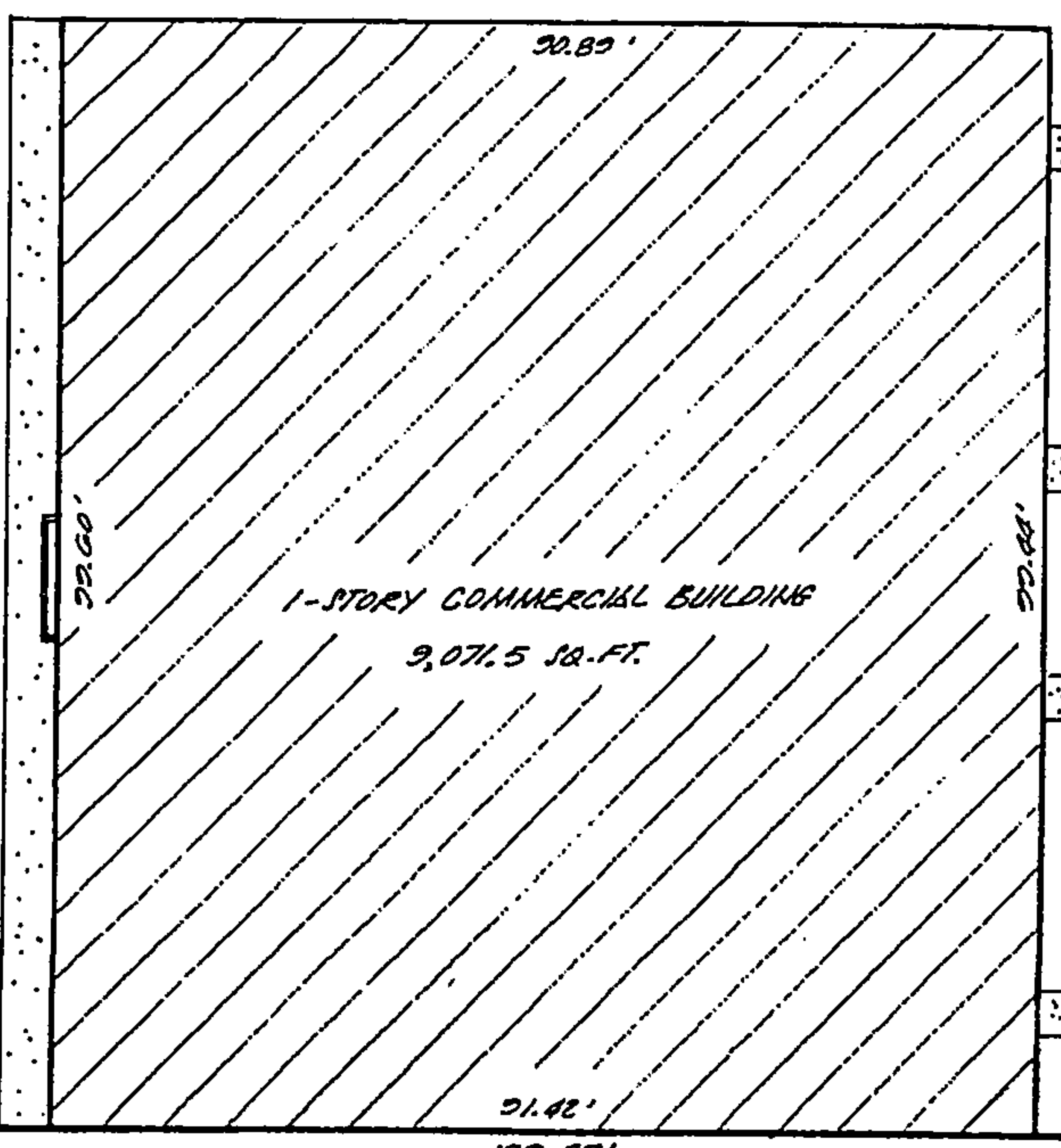


SITE AREA :
24,643.767 SQ. FT.
0.566 ACRE
(13 SPACES)

TRACT
"A-1"



LANDSCAPED AREA
NOT SHOWN



TRACT "A-2"

TRUMBULL AVE.

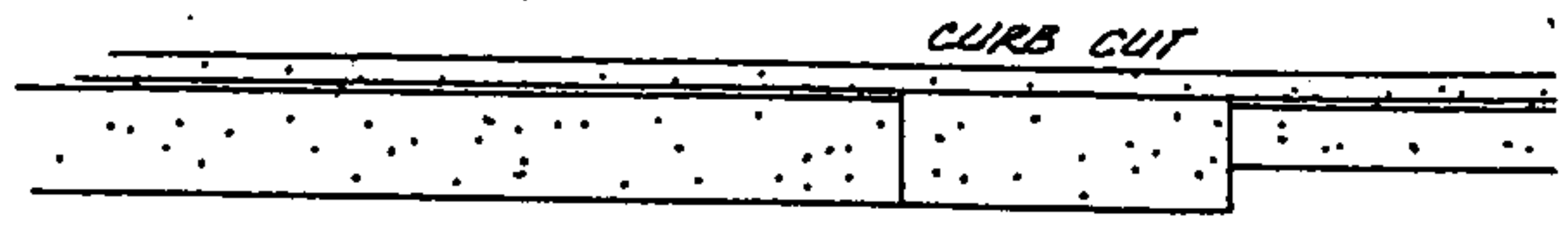


EXHIBIT "A"

CITY OF ALBUQUERQUE



July 3, 2008

Levi Valdez, P.E.
Levi Valdez & George Rodriguez Consultants
12800 San Juan NE
Albuquerque, NM 87123

Re: Ortiz 12-Plex,
Ortiz Drive SE, Drainage Plan L-18/D077
Engineer's Stamp dated 06-20-08 (E-18/D057B)

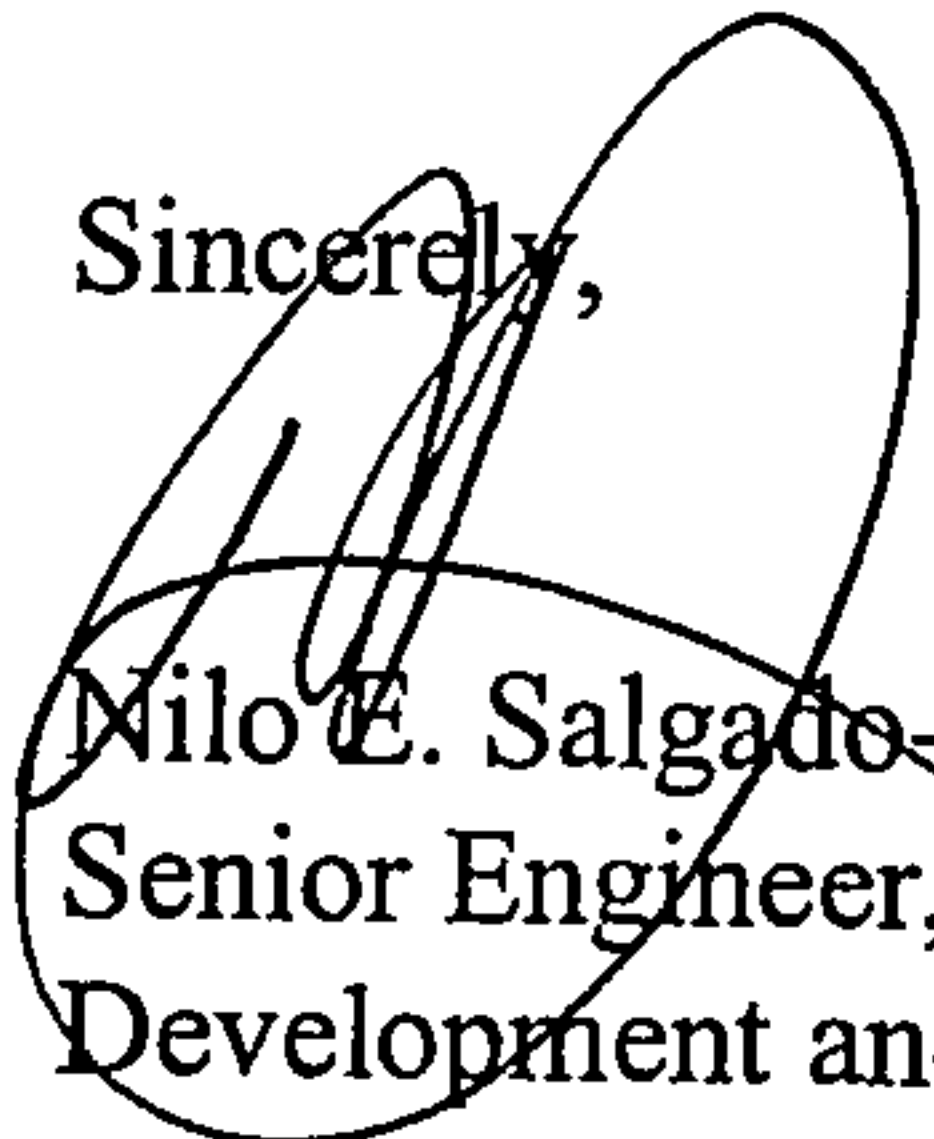
Dear Mr. Valdez,

Based upon the information provided in your submittal received 06-13-08, the above referenced plan is not approved until the following items/conditions are addressed:

- Provide more spot elevations to parking lot and refuse enclosure.
- What is direction of roof flow?
- For 6" PVC pipe, you'll need to provide invert elevation at each bend and at wall opening.
- Suggest 6" PVC pipe be routed underneath building since Building Code allows it.
- A detail of 6" walling opening needs to be provided.
- Change Building FF elevation to 75.25 and entrance elevations to 75.20 in order to avoid any run-off overflow that may enter proposed building.

If you have any questions, you can contact me at 924-3630.

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File