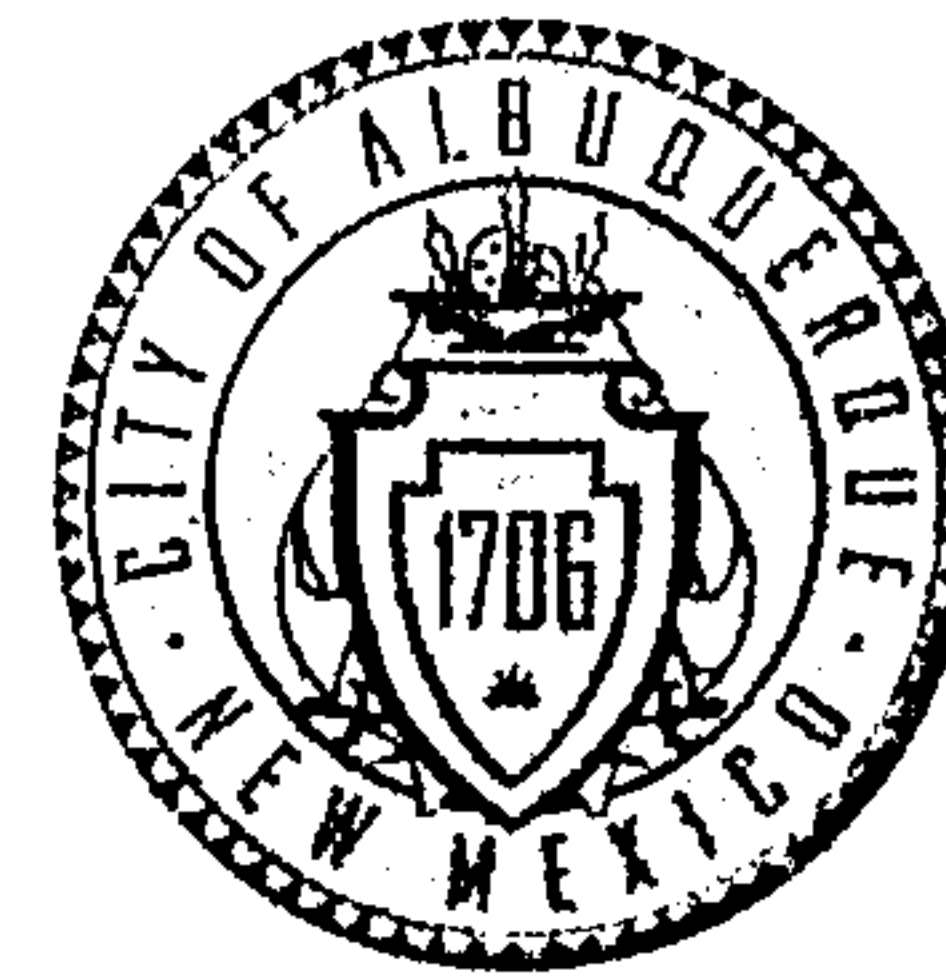


CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

March 6, 2013

Roger Cinelli, Registered Architect
2418 Manuel Torres Lane NW
Albuquerque, NM 87107

Re: **Certification for Permanent Building Certificate of Occupancy (C.O.)**
4-Plex Apartment for Ahmet Tiryaki, [L-18/D078]
509 Valencia Drive SE
Architect's Stamp Dated 03/01/13

Dear Mr. Cinelli:

Based upon the information provided in your submittal received 03-01-13, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 02/2012)

0078

PROJECT TITLE: FOURPLEX FOR AHMET TIRYAKI ZONE MAP: L-18/1078
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS 5, BLK 4 SHIRLEY'S ADD'N BARON BURG HTS
CITY ADDRESS: 509 VALENCIA DR. S.E.

ENGINEERING FIRM: SBS CONSTRUCTION & ENG LLC CONTACT: SHAWN
ADDRESS: PO BOX 10264 PHONE: 804-5013
CITY, STATE: ABQ, N.M. ZIP CODE: 87124
EMAIL: aec LLC@aol.com

OWNER: DAMA CONSTRUCTION CONTACT: AHMET
ADDRESS: 1718 CAGUA G.E. PHONE: 615-4278
CITY, STATE: ABQ ZIP CODE: _____

ARCHITECT: ROGER CINELLI & ASSOC. CONTACT: ROGER
ADDRESS: 2418 MANUEL TORRES LN NW PHONE: 243-8211
CITY, STATE: ABQ ZIP CODE: 87107
EMAIL: rcineelli@aol.com

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: SAME AS OWNER CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☒ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

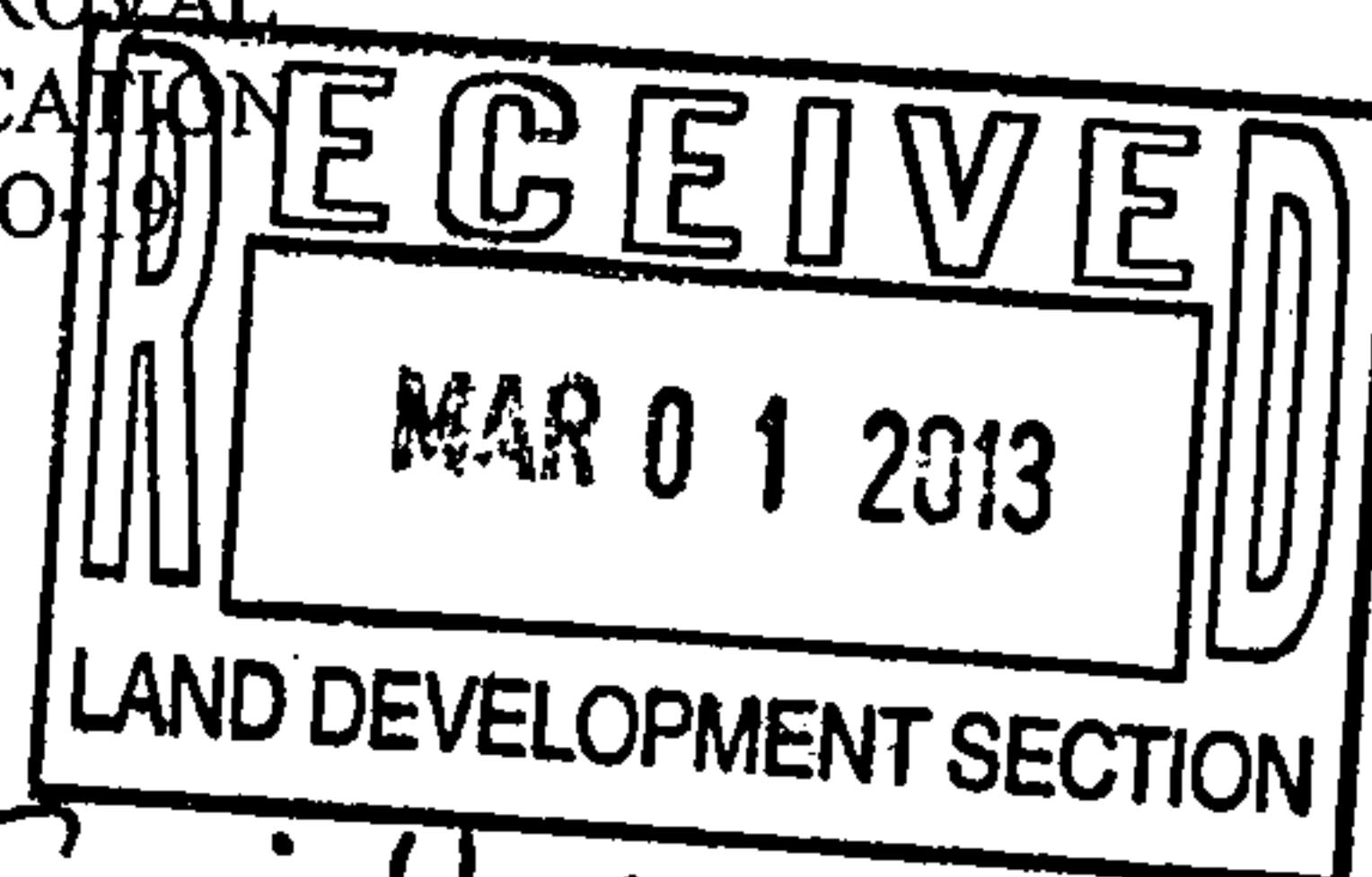
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ OTHER (SPECIFY) SO. _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☒ COPY PROVIDED

DATE SUBMITTED: 7/1/12 BY: Roger Cinelli



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Cinelli

ARCHITECTS

ROGER CINELLI & ASSOCIATES, INC. 2418 MANUEL TORRES LANE NW ALBUQUERQUE, NEW MEXICO 87107
OFFICE 505-243-8211 FAX 505-243-8196

3/1/2013

CITY OF ALBUQUERQUE
TRANSPORTATION DEVELOPMENT SECTION
PLAZA DEL SOL BUILDING
600 2ND STREET N.W.
ALBUQUERQUE, NEW MEXICO 87102

RE: TRAFFIC CIRCULATION LAYOUT - APARTMENT FOR AHMET TIRYAKI - FOURPLEX BUILDING-
509 VALENCIA DR. S.E., ALBUQUERQUE, NEW MEXICO - (L-18, D078) - ARCHITECT'S STAMP DATED
JUNE 29, 2012 - PLAN DATED JUNE 2012 - APPROVED JULY 30, 2012 - **FINAL SITE CERTIFICATION**

DEAR SIRs,

I, ROGER CINELLI, NMRA 1102, OF THE FIRM, ROGER CINELLI & ASSOCIATES INC, HEREBY
CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE
WITH THE DESIGN INTENT OF THE TCL APPROVED PLAN DATED JUNE 29, 2012.

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON MARCH 1,
2013 AND OBSERVED MINOR DEPARTURES FROM THE ORIGINAL DESIGN DOCUMENT. FIRSTLY,
THE MOTORCYCLE SIGNAGE HAS BEEN REMOVED. THE SPACE REMAINS. ZONING HAS
CONFIRMED THAT MOTORCYCLE PARKING AND SIGNAGE IS NOT REQUIRED FOR THIS SIZE
RESIDENTIAL DEVELOPMENT. SEE EDITED ORIGINAL DESIGN DOCUMENT.

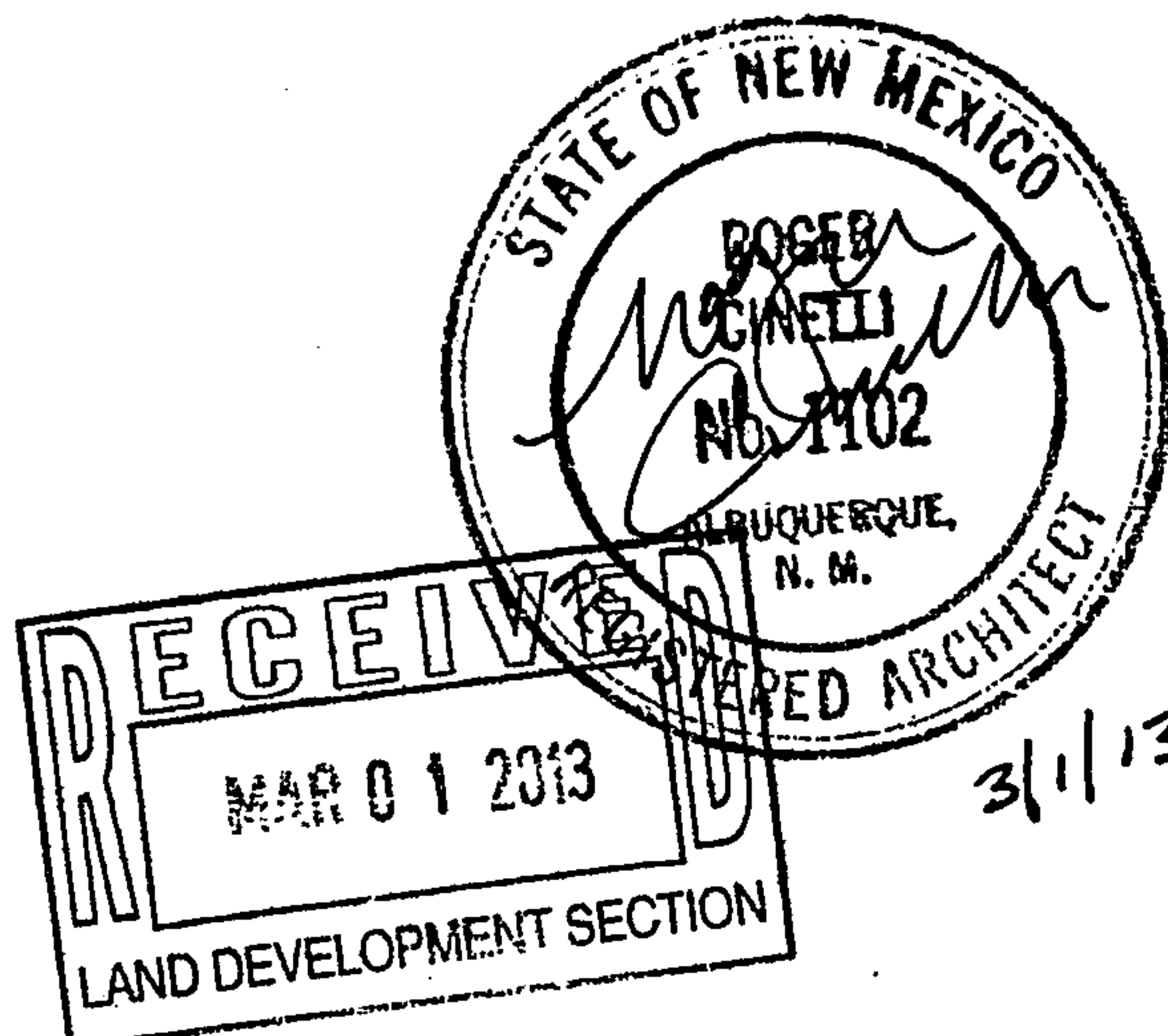
THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN
OBTAINED BY ROGER CINELLI OF THE FIRM ROGER CINELLI & ASSOCIATES INC. I FURTHER
SUBMIT THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS
AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION
IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND
INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS
PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT
VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SINCERELY,

Roger Cinelli
ROGER CINELLI, ARCHITECT

3/1/13
DATE



CITY OF ALBUQUERQUE



March 5, 2013

Reza Afaghpour PE attn: Shawn Biazar aecllc@aol.com
SBS Construction
PO Box 10264
Albuquerque, NM 87184

**Re: Fourplex for Ahmet Tiryaki, 509 Valencia Dr SE,
Request for Permanent C.O. –Accepted
Engineer's Stamp dated: 09-12-12, (L18/D078)
Certification dated: 3-1-13**

Dear Mr. Biazar,

Based upon the information provided in the Certification received 01-01-13, the above referenced Certification is acceptable for a release of a Permanent Certificate of Occupancy by Hydrology.

PO Box 1293

Hydrology is asking for an electronic copy, in .pdf format, of this certification for our records. This certification can be e-mailed to me at: ccherne@cabq.gov or tsims@cabq.gov.

Albuquerque

If you have any questions, you can contact me at 924-3986 or Rudy Rael at 924-3977.

NM 87103

Sincerely,

Curtis A. Cherne, P.E.
Principal Engineer—Hydrology Section
Development and Building Services

www.cabq.gov

RR/CC
C: CO Clerk—Katrina Sigala
e-mail

DRAINAGE INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: FOURPLEX FOR AHMET TIRYAKI ZONE ATLAS/DRG. FILE #: L18/D078
DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 5 SHIRLEY'S ADDITION OF BLOCK 4, OF BARON BURG HEIGHTS
CITY ADDRESS: 509 VALENCIA DR., SE. ALBUQUERQUE, NM 87108

ENGINEERING FIRM: SBS CONSTRUCTION AND ENG., LLC
ADDRESS: PO BOX 10264
CITY, STATE: Albuquerque, NM

CONTACT: Shawn Biazar
PHONE: (505) 804-5013 AECLLC@Aol.com
ZIP CODE: 87184

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1ST SUBMITTAL, REQUIRES TCL OR EQUAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR / LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

RECEIVED
MAR 01 2013

DATE SUBMITTED: 03/01/2013 BY: SHAWN BIAZAR

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5)
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services



September 17, 2012

Reza Afaghpour, P.E.
Attn: Shawn Biazar
SBS Construction & Engineering, LLC.
P.O. Box 10264
Albuquerque, NM 87184

Re: Fourplex for Ahmet Tiriyaki, Grading & Drainage Plan (# L-18/D078)
509 Valencia Dr. SE Engineer's Stamp dated 09-14-12

Dear Mr. Afaghpour,

Based upon the information provided in your submittal received September 12, 2012, the above referenced plan is approved for Grading Permit and Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

PO Box 1293

Prior to Certificate of Occupancy approval, an Engineer's Certification of compliance with this Grading and Drainage plan is required per the DPM.

Albuquerque

Albuquerque's MS4 Permit became effective March 1st, 2012. Grading and Drainage Plans and Drainage Reports will have to comply with the requirements of the new permit (<ftp://ftp.nmenv.state.nm.us/www/swqb/NPDES/Permits/NMS000101-AlbuquerqueMS4.pdf>).

NM 87103

If you have any questions, you can contact me at 924-3994.

www.cabq.gov

Sincerely,

Gregory R. Olson, P.E.
Senior Engineer

Orig: Drainage file E12/D078
c.pdf Addressee via Email AECllc@aol.com

DRAINAGE INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: FOURPLEX FOR AHMET TIRYAKI ZONE ATLAS/DRG. FILE #: L18/D078
DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 5 SHIRLEY'S ADDITION OF BLOCK 4, OF BARON BURG HEIGHTS
CITY ADDRESS: 509 VALENCIA DR., SE. ALBUQUERQUE, NM 87108

ENGINEERING FIRM: SBS CONSTRUCTION AND ENG., LLC CONTACT: Shawn Biazar
ADDRESS: PO BOX 10264 PHONE: (505) 804-5013
CITY, STATE: Albuquerque, NM ZIP CODE: 87184

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

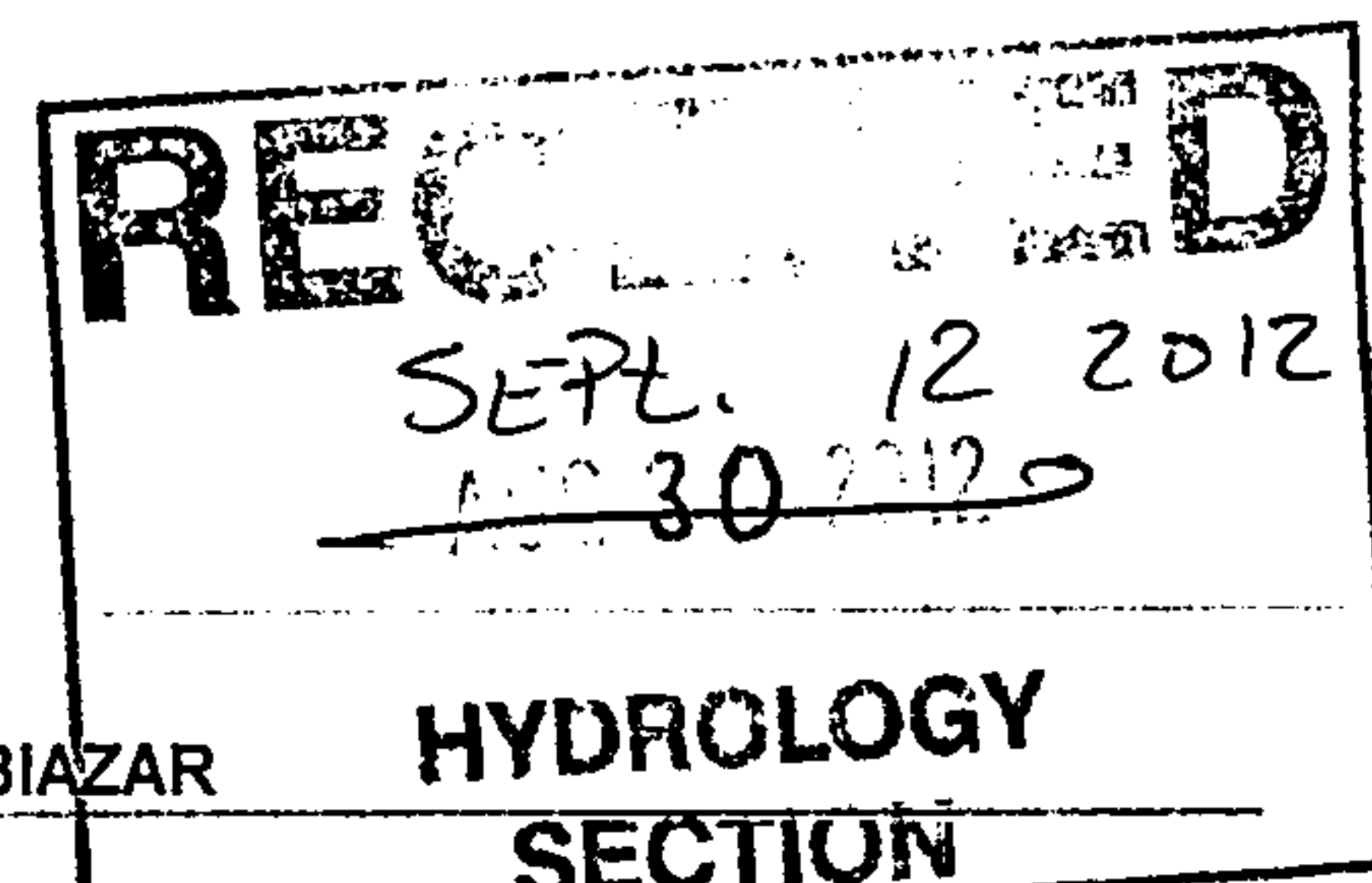
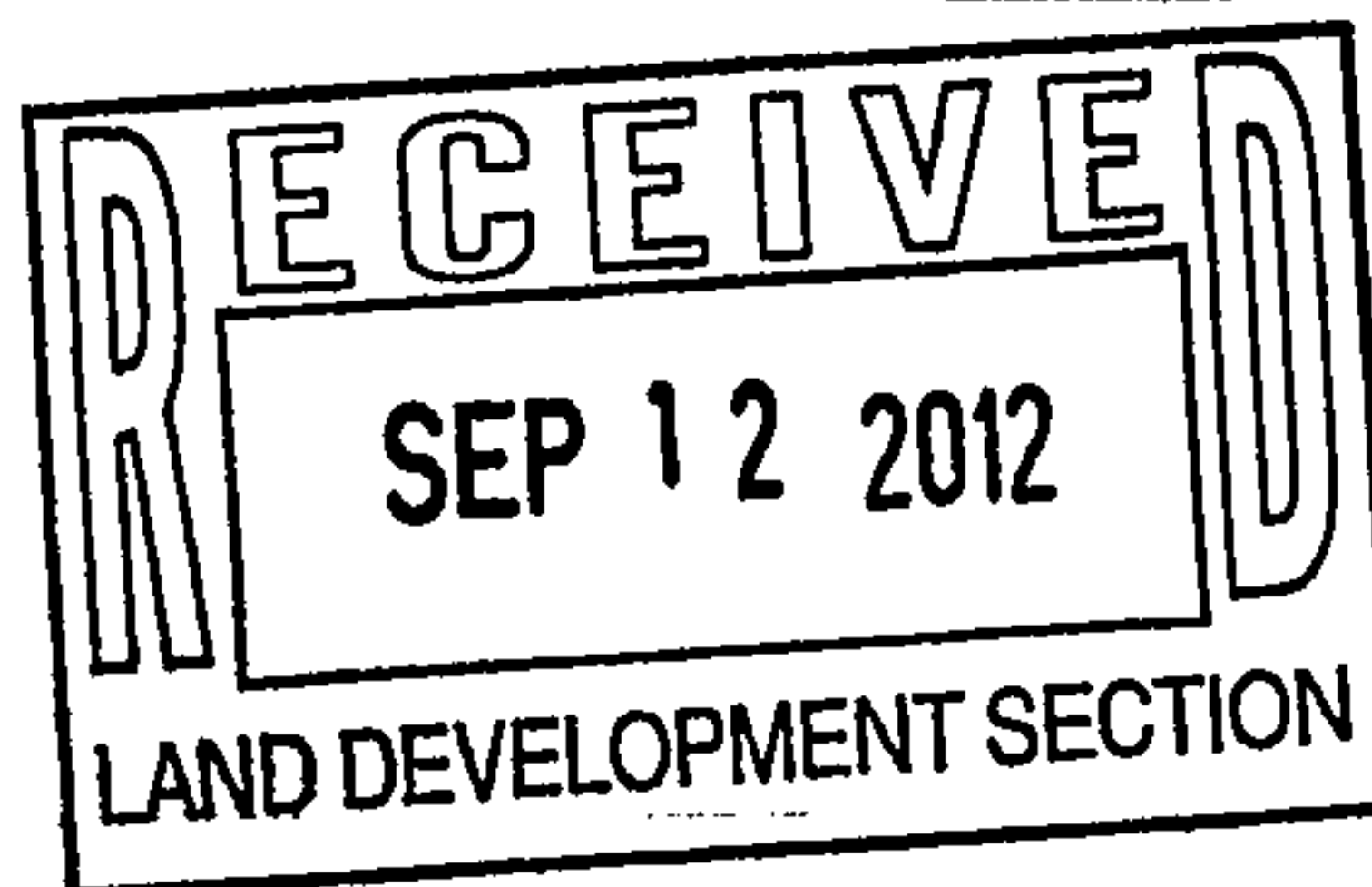
____ DRAINAGE REPORT
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____ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN *Qu*
____ EROSION CONTROL PLAN
____ ENGINEER'S CERTIFICATION (HYDROLOGY)
____ CLOMR / LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ ENGINEER'S CERTIFICATION (TCL)
____ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
____ OTHER

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☒ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY (PERM.)
____ CERTIFICATE OF OCCUPANCY (TEMP.)
☒ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

____ YES
☒ NO
____ COPY PROVIDED



DATE SUBMITTED: 08/29/2012 BY: SHAWN BIAZAR

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5)
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more

Olson, Greg R.

From: Olson, Greg R.
Sent: Friday, September 07, 2012 12:08 PM
To: Shawn Biazar (aecllc@aol.com); 'Reza Afaghpour (aecllc@aol.com)'
Cc: Olson, Greg R.; Herrington, Cameron J.
Subject: L18-D078 Fourplex at 509 Valencia Dr. SE -Grading & Drainage Plan (PE Stamp 8/28/2012)

Contacts: Reza Afaghpour

Shawn & Reza,

I've reviewed the revised Grading plan for this site and have several concerns, as follows:

1. A water block is required to prevent water from Valencia from entering private property. The City Standard Driveway (DWG 2425, Note L) calls for minimum grade at Property Line to be at least at Top of Curb plus 2% slope from Prop. Line to curb.
2. What is the double line feature along the N, E and S sides of the lot (not hatched)? If this is a curb along the Landscape Buffer, it needs to have Top of Curb elevations. (Note: The Landscape Buffer on the N side could be depressed to "Harvest" more flow or allow Pond B to be more shallow).
3. Sections of the new sidewalk on the south side of the lot are 0.5' to 1.4' above existing contour elevations at the property line. Show how this differential is accommodated.
3. Provide Benchmark information used for grading on this plan.

Please call me if you have any questions regarding these issues.

Sincerely,

Greg Olson
924-3994

DRAINAGE INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: FOURPLEX FOR AHMET TIRYAKI ZONE ATLAS/DRG. FILE #: L18/D078
DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 5 SHIRLEY'S ADDITION OF BLOCK 4, OF BARON BURG HEIGHTS
CITY ADDRESS: 509 VALENCIA DR., SE. ALBUQUERQUE, NM 87108

ENGINEERING FIRM: SBS CONSTRUCTION AND ENG., LLC CONTACT: Shawn Biazar
ADDRESS: PO BOX 10264 PHONE: (505) 804-5013
CITY, STATE: Albuquerque, NM ZIP CODE: 87184

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

_____ DRAINAGE REPORT
_____ DRAINAGE PLAN 1ST SUBMITTAL, REQUIRES TCL OR EQUAL
_____ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN *Qu*
_____ EROSION CONTROL PLAN
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_____ CLOMR / LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ ENGINEER'S CERTIFICATION (TCL)
_____ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
_____ OTHER

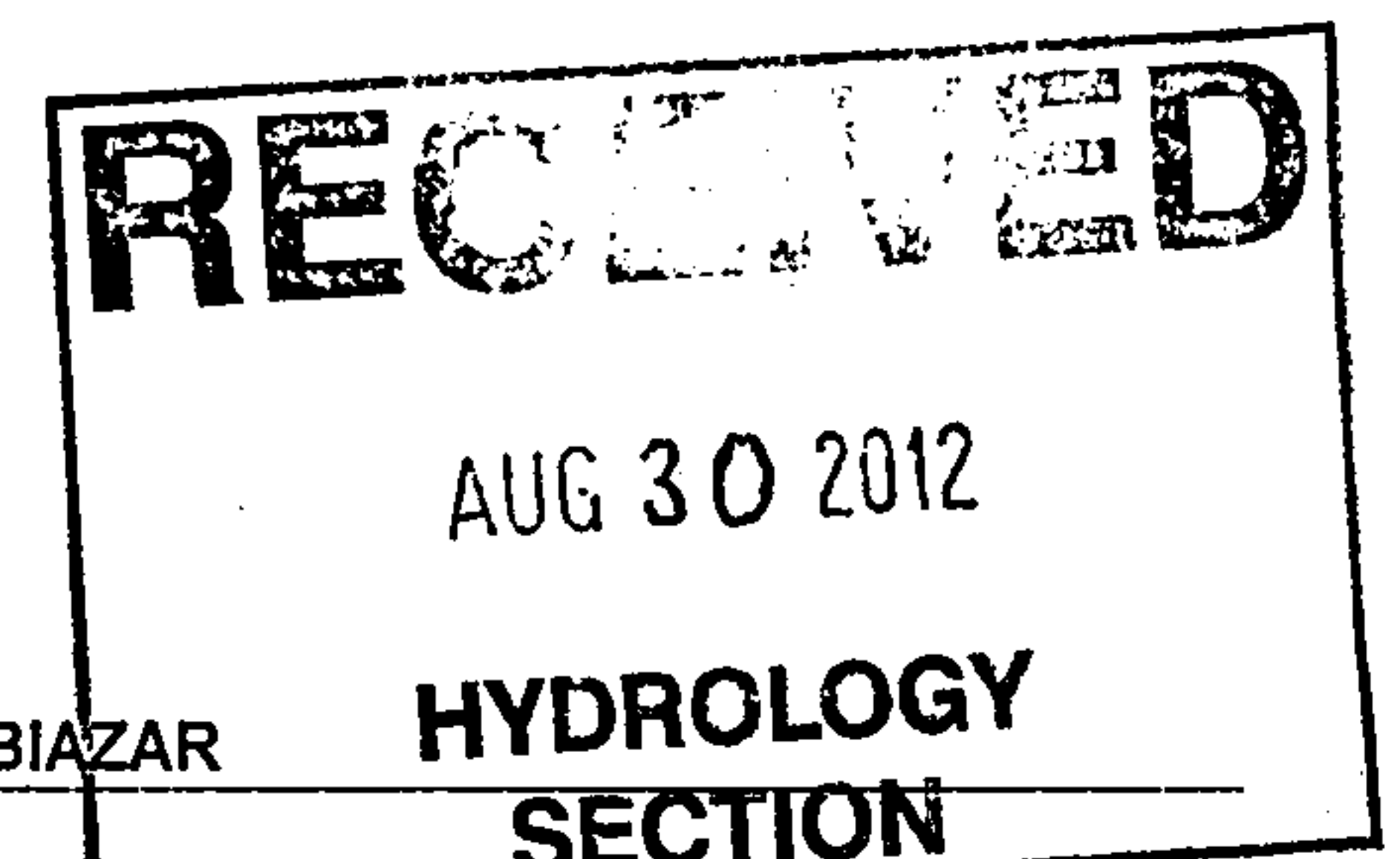
CHECK TYPE OF APPROVAL SOUGHT:

_____ SIA / FINANCIAL GUARANTEE RELEASE
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☒ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY (PERM.)
_____ CERTIFICATE OF OCCUPANCY (TEMP.)
☒ GRADING PERMIT APPROVAL
_____ PAVING PERMIT APPROVAL
_____ WORK ORDER APPROVAL
_____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

_____ YES
☒ NO
_____ COPY PROVIDED

DATE SUBMITTED: 08/29/2012 BY: SHAWN BIAZAR



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

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SBS Construction and Engineering, LLC

August 29, 2012

Gregory R. Olson, P.E.
Senior Engineer, Planning Department
PO Box 1293
City of Albuquerque
Albuquerque, NM 87103

**Re: Fourplex For Ahmet Tiriyaki, 509 Valencia Dr., SE
Grading and Drainage Plan (L18/D078)**

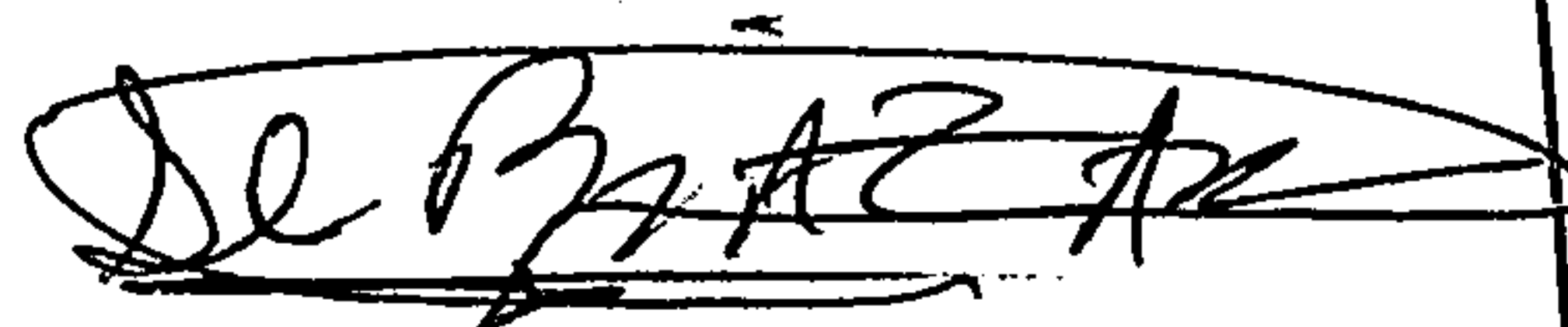
Dear Mr. Olson,

The following are the responses to your comments received dated 08/21/2-12:

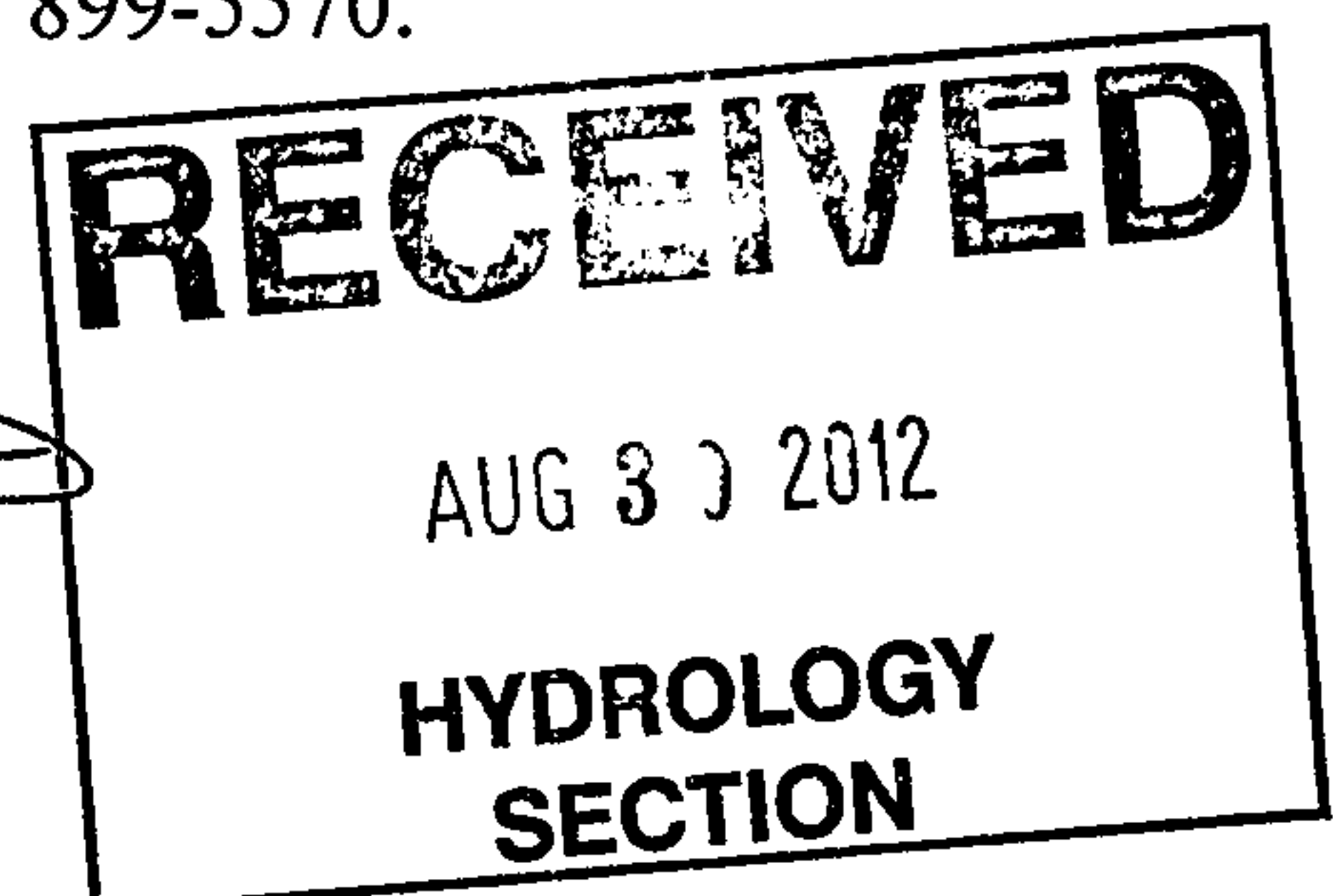
- The ponding volume calculations were added to the plan. We are proposing to retain 472 cf of the overall runoff.
- The treatment was changes to C for the existing conditions.
- Roof flow directions were added to the plan. Runoff will drain through down spots.
- All the ponding areas were labeled on the plan. Flow arrows were included.
- The site is located at the high point of the street. However, the water block was raised slightly. Top of curb (TC), Sidewalk (SW), and Flowline (FL) elevation were added to the plan.
- Spot elevations were added along the southerly sidewalk.
- Spot elevations were added along the northerly property line. A garden wall will be built around the boundary. 18" of dirt can be placed against the garden wall.
- The location of the retaining wall is clearly shown and legend was added. A garden wall will be built around the boundary. Portion of the garden wall will be on top the proposed retaining wall.
- As mentioned above the retaining wall location is clearly shown.
- The last sentence under the "Proposed Conditions and....." was corrected.
- The 8" pipe was changed to 3-4" pipes. A section is included in the plan. The pipes are used to carry the runoff under the sidewalks.
- The spelling errors were corrected.

Please call us with any questions regarding this submittal at (505) 899-5570.

Sincerely Yours,



Shawn Biazar, Managing Member



CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services



August 21, 2012

Reza Afaghpour, P.E.
SBS Construction & Engineering, LLC.
P.O. Box 10264
Albuquerque, NM 87184

Re: Fourplex for Ahmet Tiryaki, Grading & Drainage Plan (L-18/D078)

509 Valencia Dr. SE

Engineer's Stamp dated 08-01-12

Dear Mr. Afaghpour,

Based upon the information provided in your submittal received 08-01-12, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- The Drainage Management Plan states that the ponds will detain “+265 cf” of flow. Provide pond calculations demonstrating how this is accomplished.
- The DMP also indicates the existing condition to be Treatment B, however vacant lots are defined in DPM Chapter 22 as Treatment C. Please recalculate flows with Treatment C as the existing condition.
- Show on the plan where Roof Flows will discharge and how they will be routed.
- Show/label all ponding areas and flow arrows on the plan.
- The water-block along Valencia Drive appears to be inadequate. Provide sidewalk, flowline, and curb elevations on the plan along Valencia Drive.
- Provide additional spot elevations along the southern sidewalk since curb will be flush.
- Include additional spot elevations along the northern boundary line to the east of the proposed retaining wall/fence, and provide spot elevations in the landscape areas. Grades provided appear to be over 1' higher than existing grades at the property line.
- The plan shows both a retaining wall and a 6 foot high fence in the same location on north & west boundary. Please clarify this in legend or in a detail drawing on the plan.
- The south edge of the plan shows a retaining wall starting ~12' from the SW corner, however the plan shows the same wall symbol going east for >100'; clarify your intent.
- The last sentence under the “Proposed Conditions and On-Site Drainage Management Plan” heading is illegible and unclear. Charleston Street is not within the vicinity of this drainage plan.

No existing retaining wall

MO 8/21/12

Fourplex at 509 Valencia Drive SE
August 21, 2012

- Clarify grading at the 8" PVC pipe crossings near the southern sidewalk.
- Correct several spelling errors on the plan notes (eg: "CURP OPENNING" & "exiting").

Albuquerque's MS4 Permit became effective March 1st, 2012. All Grading and Drainage Plans and Drainage Reports will have to comply with the requirements of the new permit (<http://www.cabq.gov/planning/landcoord/documents/EPA-NMS000101-FinalPermit.pdf>).

If you have any questions, you can contact me at 924-3994.

Sincerely,



Gregory R. Olson, P.E.
Senior Engineer

Orig: Drainage file E12/D078
c.pdf Addressee via Email AECllc@aol.com

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services



August 21, 2012

Reza Afaghpour, P.E.
SBS Construction & Engineering, LLC.
P.O. Box 10264
Albuquerque, NM 87184

Re: Fourplex for Ahmet Tiryaki, Grading & Drainage Plan (L-18/D078)
509 Valencia Dr. SE Engineer's Stamp dated 08-01-12

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- The Drainage Management Plan states that the ponds will detain "+265 cf" of flow. Provide pond calculations demonstrating how this is accomplished. The DMP also indicates existing condition to be Treatment B, however vacant lots are defined as Treatment C. Please recalculate flows with Treatment C as the existing condition.
- Show all ponding areas and flow arrows on the plan.
- The water-block along Valencia Drive appears to be inadequate. The sidewalk, flowline, and curb elevations along Valencia Drive should be provided on the plan.
- Provide additional spot elevations along the southern sidewalk since curb will be flush.
- Include additional spot elevations along the northern boundary line to the east of the proposed retaining wall/fence, and provide spot elevations in the landscape areas. Grades shown appear to be over 1' higher than existing grades at the property line.
- The plan shows both a retaining wall and a 6 foot high fence in the same location on north boundary. Please clarify this in the legend or in a detail drawing on the plan.
- The south edge of the plan shows a retaining wall starting ~12' from the SW corner, however the plan shows wall symbol continuing east for >100'; clarify your intent.
- The last sentence under the "Proposed Conditions and On-Site Drainage Management Plan" heading is illegible and unclear. Charleston Street is not within the vicinity of this drainage plan.
- Correct numerous spelling errors on the plan notes.

Deleted: Please correct the proposed conditions of t

Deleted: drainage

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Deleted: The top-of-sidewalk, flowline, and top-of-curb elevations along Valencia Drive should be provided on the plan.

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PO Box 1293

Albuquerque

NM 87103

Albuquerque's MS4 Permit became effective March 1st, 2012. All Grading and Drainage Plans and Drainage Reports will have to comply with the requirements of the new permit (<http://www.cabq.gov/planning/landcoord/documents/EPA-NMS000101-FinalPermit.pdf>).

www.cabq.gov If you have any questions, you can contact me at 924-3994.

Sincerely,

1 of 1

L18-D078 Fourplex at 509 Valencia SE-NO.doc

August 21, 2012

Gregory R. Olson, P.E.
Senior Engineer

Orig: Drainage file E12/D078
c.pdf Addressee via Email AEClle@aol.com

August 14, 2012

Reza Afaghpour, P.E.
SBS Construction & Engineering, LLC.
P.O. Box 10264
Albuquerque, NM 87184

Re: Fourplex for Ahmet Tiriyaki, 509 Valencia Dr. SE, Grading and Drainage Plan, Engineer's Stamp dated 08-01-12 (L-18/D078)

Dear Mr. Afaghpour,

Based upon the information provided in your submittal received 08-01-12, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- Please correct the proposed conditions of the drainage management plan to state that the ponds will detain "265 cf" of flow instead of plus or minus. Provide pond calculations demonstrating how this is accomplished.
- Show all ponding areas on the plan.
- The waterblock along Valencia Drive appears to be inadequate.
- Provide additional spot elevations along the southern sidewalk since curb will be flush.
- Include additional spot elevations along the northern boundary line to the east of the proposed retaining wall/fence.
- The plan shows both a retaining wall and a 6 foot high fence in the same locations. Please clarify this in the legend or in a detail drawing on the plan.
- The top-of-sidewalk, flowline, and top-of-curb elevations along Valencia Drive should be provided on the plan.
- The last sentence under the "Proposed Conditions and On-Site Drainage Management Plan" heading is illegible and unclear. Charleston Street is not within the vicinity of this drainage plan.

If you have any questions, you can contact me at 924-3994.

Sincerely,

Greg Olsen, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: Email

DRAINAGE INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: FOURPLEX FOR AHMET TIRYAKI

ZONE ATLAS/DRG. FILE #: L18

DRB #:

EPC #:

WORK ORDER #:

LEGAL DESCRIPTION: LOT 5 SHIRLEY'S ADDITION OF BLOCK 4, OF BARON BURG HEIGHTS

CITY ADDRESS: 509 VALENCIA DR., SE. ALBUQUERQUE, NM 87108

ENGINEERING FIRM: SBS CONSTRUCTION AND ENG., LLC

ADDRESS: PO BOX 10264

CITY, STATE: Albuquerque, NM

CONTACT: Shawn Biazar

PHONE: (505) 804-5013

ZIP CODE: 87184

OWNER:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

ARCHITECT:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

SURVEYOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CONTRACTOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CHECK TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☐ DRAINAGE PLAN 1ST SUBMITTAL, REQUIRES TCL OR EQUAL

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION (HYDROLOGY)

☐ CLOMR / LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ ENGINEER'S CERTIFICATION (TCL)

☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)

☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA / FINANCIAL GUARANTEE RELEASE

☐ PRELIMINARY PLAT APPROVAL

☐ S. DEV. PLAN FOR SUB'D. APPROVAL

☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL

☐ SECTOR PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY (PERM.)

☐ CERTIFICATE OF OCCUPANCY (TEMP.)

☒ GRADING PERMIT APPROVAL

☐ PAVING PERMIT APPROVAL

☐ WORK ORDER APPROVAL

☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

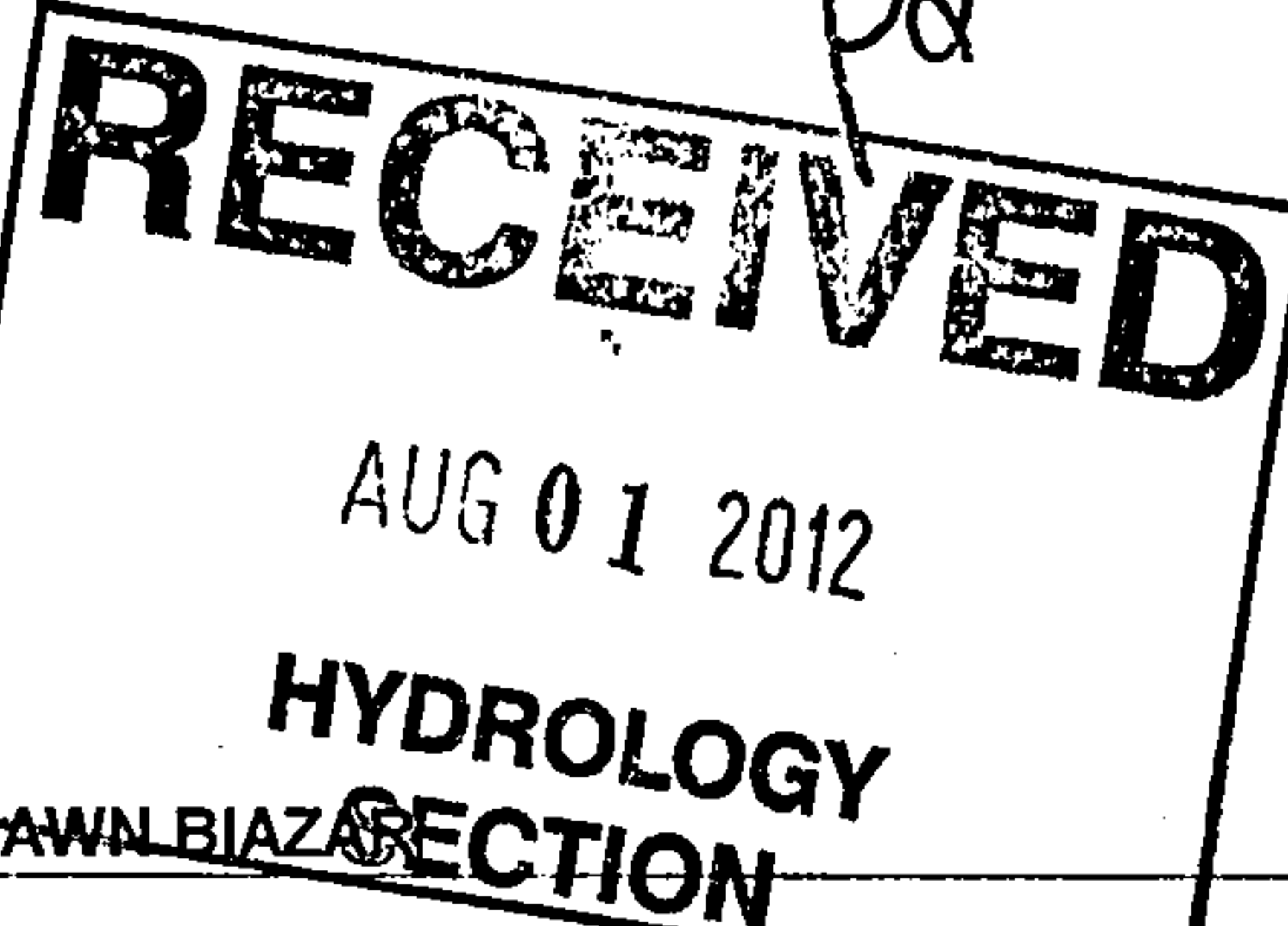
☐ YES

☒ NO

☐ COPY PROVIDED

DATE SUBMITTED: 08/1/2012

BY: SHAWN BIAZAR



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5)
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more

CITY OF ALBUQUERQUE



July 30, 2012

Roger Cinelli, R.A.
Roger Cinelli and Associates
2418 Manuel Torres Ln. NW
Albuquerque, NM 87107-3060

Re: Fourplex Apartments, 509 Valencia Drive SE, Traffic Circulation Layout
Architect's Stamp dated 06-29-12 (L18-D078)

Dear Mr. Cinelli,

The TCL submittal received 07-02-12 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 02/2012)

PROJECT TITLE: FOURPLEX FOR AHMET TIRYAKI ZONE MAP: L-18/D078
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 5, BL 4 SHIRLEY'S ADDN BARON BURG HTS
CITY ADDRESS: 509 VALENCIA DR SE

ENGINEERING FIRM: SBS CONSTRUCTION & ENG. LLC CONTACT: SHAWN
ADDRESS: PO BOX 10264 PHONE: 804-5013
CITY, STATE: ABQ, NM ZIP CODE: 87184
EMAIL: sbsllc@aol.com

OWNER: DANIA CONSTRUCTION CONTACT: AHMET
ADDRESS: 1718 LAQUA SE PHONE: 615-4278
CITY, STATE: ABQ ZIP CODE: _____

ARCHITECT: ROGER CINELLI & ASSOC. CONTACT: ROGER
ADDRESS: 2418 MANUEL TORRES LN NW PHONE: 243-8211
CITY, STATE: ABQ ZIP CODE: 87109
EMAIL: rcinelli@aol.com

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: SAME AS OWNER CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☒ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ OTHER (SPECIFY) SO-19 _____

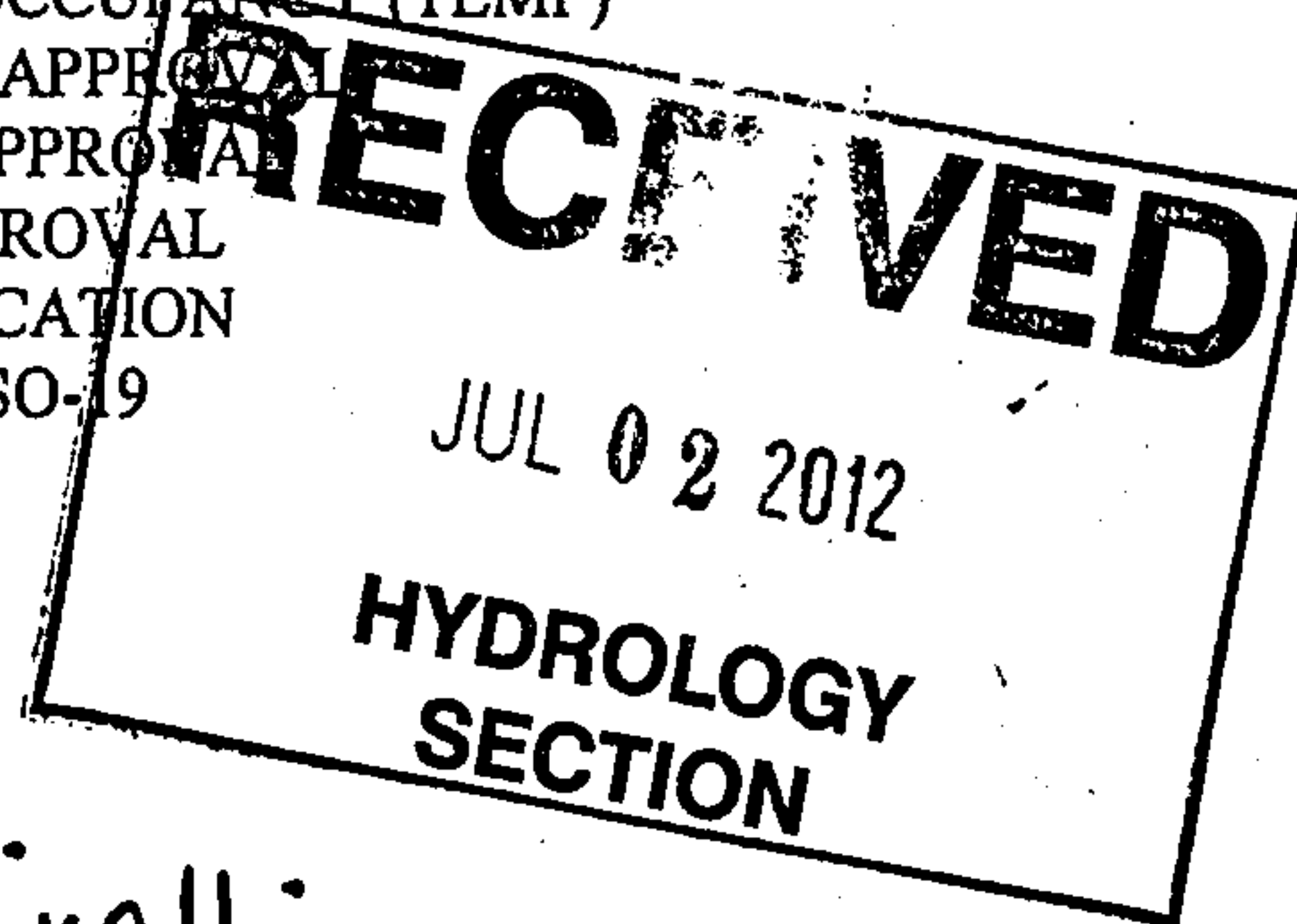
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 7/1/12 BY: Roger Cinelli

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



June 25, 2012

Roger Cinelli, R.A.
Roger Cinelli and Associates
2418 Manuel Torres Ln. NW
Albuquerque, NM 87107-3060

Re: Fourplex Apartments, 509 Valencia Drive SE, Traffic Circulation Layout
Architect's Stamp dated 06-18-12 (L18-D078)

Dear Mr. Cinelli,

The TCL submittal received 06-18-12 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 02/2012)

PROJECT TITLE: FOURPLEX FOR HUNTER TIRYAKI ZONE MAP: L-18/D078
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 5, BL 4 SHIRLEY'S ADDN BARON BURG HTS
CITY ADDRESS: 509 VALENCIA DR SE

ENGINEERING FIRM: SBS CONSTRUCTION & ENG. LLC CONTACT: SHAWN
ADDRESS: PO BOX 10264 PHONE: 804-5013
CITY, STATE: ABQ, NM ZIP CODE: 87184
EMAIL: sbsllc@aol.com

OWNER: DANIA CONSTRUCTION CONTACT: AHMET
ADDRESS: 1718 LAQUA SE PHONE: 615-4278
CITY, STATE: ABQ ZIP CODE: _____

ARCHITECT: ROGER CINELLI & ASSOC. CONTACT: ROGER
ADDRESS: 2418 MANUEL TORRES LN NW PHONE: 243-8211
CITY, STATE: ABQ ZIP CODE: 87109
EMAIL: rcinelli@a.com

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: SAME AS OWNER CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☒ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ OTHER (SPECIFY) SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☒ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 6/18/12 BY: Roger Cinelli

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

