

FNAME:
SM_A10_PARKING

F-APPROVAL:
XXXXXXXXXX

EASTERN AVE.

SAN MATEO BLVD.

ORTIZ DR.

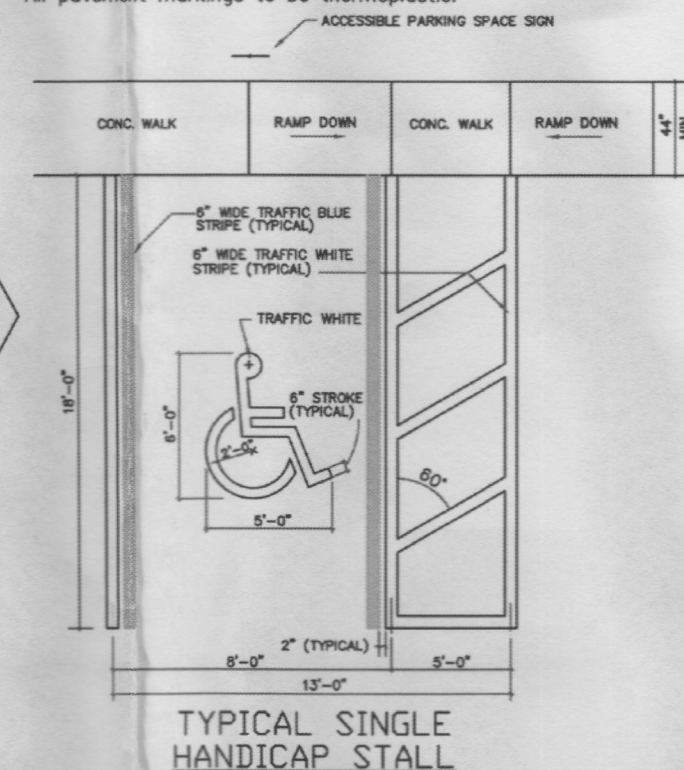
OVERALL PARKING LAYOUT
SCALE: 1/16" = 1'-0"

EXIT ONLY
DO NOT ENTER
ONE WAY
→

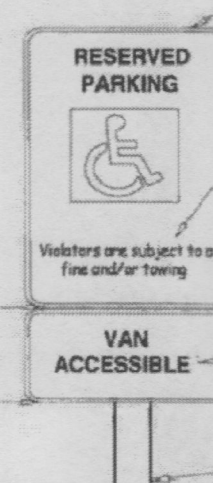
WRONG WAY

1 TYPICAL SIGNAGE DETAILS
SCALE: NTS

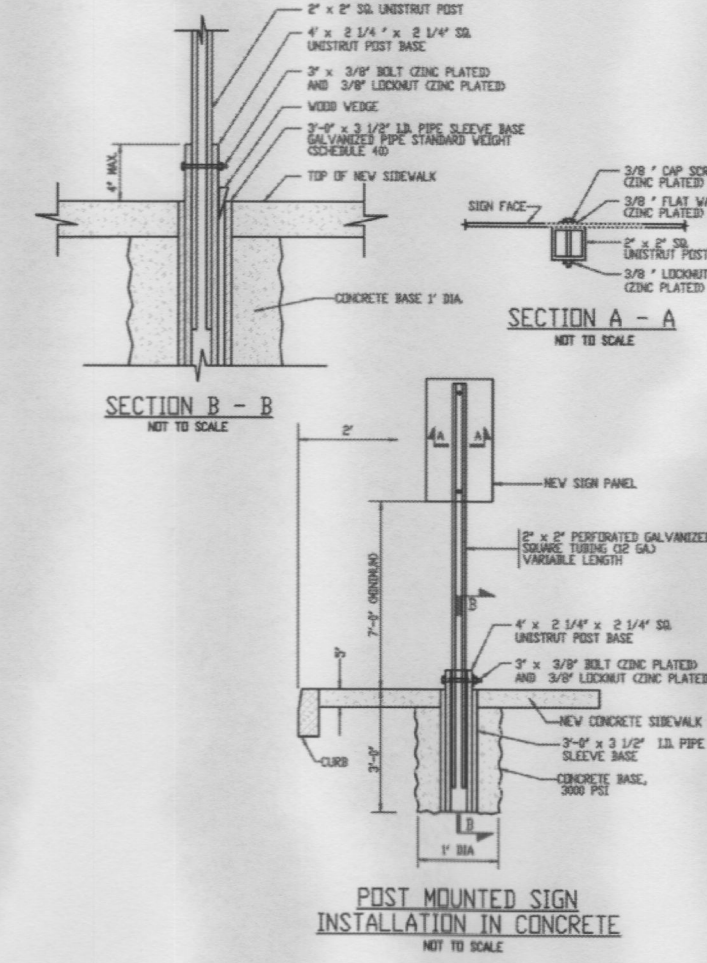
NOTE:
All pavement markings to be thermoplastic.



In the public R-O-W
bottom of this sign
8'4" min. above ground
MUTCD Standards



NOTE:
THE SIGNS USED FOR REGULAR H.C. STALLS WILL NOT
DISPLAY "VAN ACCESSIBLE" SIGNAGE.



KEY NOTES

- ALL PROPERTY SETBACKS ARE IN ACCORDANCE WITH CITY OF ALBUQUERQUE PLANNING AND ZONING REGULATIONS.
- NEW LANDSCAPING CONC. PLANTER WITH 6" CURB
- EXISTING LANDSCAPING AREA
- FRONT ENTRANCE TO CAFE
- PROPOSED RENOVATION AREA
- EXISTING STRUCTURE-NOT IN SCOPE
- SIDE WALK FLASH TO GROUND
- NEW TYP. 8'-5" X 18'-0" PARKING STALL
- REFUSE DUMPSTER
- EXISTING DRIVE ACCESS
- TRAFFIC AISLE-AS PER PLAN
- PARKING AISLE-AS PER PLAN
- EXISTING ASPHALT PARKING LOT
- EXISTING DRIVE ACCESS TO BE "CLOSED" TO TRAFFIC DRIVE TO BE FILLED IN AND CURBED AS REQUIRED
- "EXIT ONLY -DO NOT ENTER" SIGNAGE AS REQUIRED
- "ONE WAY" SIGNAGE AS REQUIRED
- EXISTING DRIVE PAD TO REMAIN
- NEW HANDICAP RAMP 42" WIDTH
- NEW "WRONG WAY" SIGNAGE
- NEW 6" PEDESTRIAN CROSSING, ADA ACCESSIBLE PATHWAY -4" SIDE PAINTED STRIPPING "NO PARKING"
- EXISTING DRIVE ACCESS TO BE "CLOSED" TO TRAFFIC DRIVE TO BE FILLED IN AND CURBED AS REQUIRED
- "ENTER" SIGNAGE AS REQUIRED

PARKING CALC.

PARKING REQUIREMENT:
5 PARKING STALLS PER 1000 SF OF STRUCTURE
EXISTING BUILDING=22277 SF

PARKING CALCULATION:
22277 (BLDG) / 5 STALLS= 110 STALLS REQUIRED
8 H.C. STALL REQUIRED

SPACES PROVIDED = 40 STALLS + 7 H.C. STALLS (1- VAN ACC.)
(SEE GENERAL NOTE #2)- VARIATION REQUIRED "PRE-1965"

NOTE: ALL PARKING STALLS TYPICAL AND H.C. ARE NEW.

GENERAL NOTES

- THE CHANGE OF OCCUPANCY PROPOSED WILL BE TO A 4,000 SF SECTION OF BUILDING WHICH WILL BE PARTITIONED OFF FROM THE REMAINDER OF BUILDING FOR THE PURPOSE OF A NEW TENANT TO USE
 - SPACE FOR AN "INTERNET CAFE". THE REMAINDER OF THE BUILDING'S FUTURE USE IS NOT DESIGNATED AT THIS TIME AND WILL NOT BE A PART OF THE SCOPE FOR THIS PROJECT.
 - PROPERTY WAS ESTABLISHED PRIOR TO 1965. DESIGNATED PARKING AREA FOR THIS SITE IS DEFICIENT IN ACTUAL AREA TO PROVIDE THE SPACES REQUIRED BY CURRENT STANDARDS. THE PARKING LOT HAS BEEN DESIGNED TO CURRENT STANDARDS AND HAS THE MAXIMUM PARKING SPACES AVAILABLE FOR THIS SITE.
 - "LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 6 FEET TALL (AS MEASURED FROM THE GUTTER FAND) WILL NOT BE ACCEPTABLE IN THE
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER PER COA STANDARD DRAWING 2415

TRAFFIC CIRCULATION LAYOUT
APPROVED
11/3/16

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

FIRM NAME AND ADDRESS:

505.585.9372
draft@drafttech.org
DRAFTTECH
CITY OF ALBUQUERQUE PLANNING AND ZONING REGULATIONS
TECHNICAL SUBMITTALS - GENERAL CAD DRAWING
OSCAR A. SALGADO, OWNER/DESIGNER

APPROVALS

STATE OF NEW MEXICO
STEVEN MAURICE
NO. 3811
11/02/2016
REGISTERED ARCHITECT

1400 SAN MATEO BUILDING

1400 SAN MATEO BLVD, SE
ALBUQUERQUE, NM

BUILDING RENOVATIONS FOR:

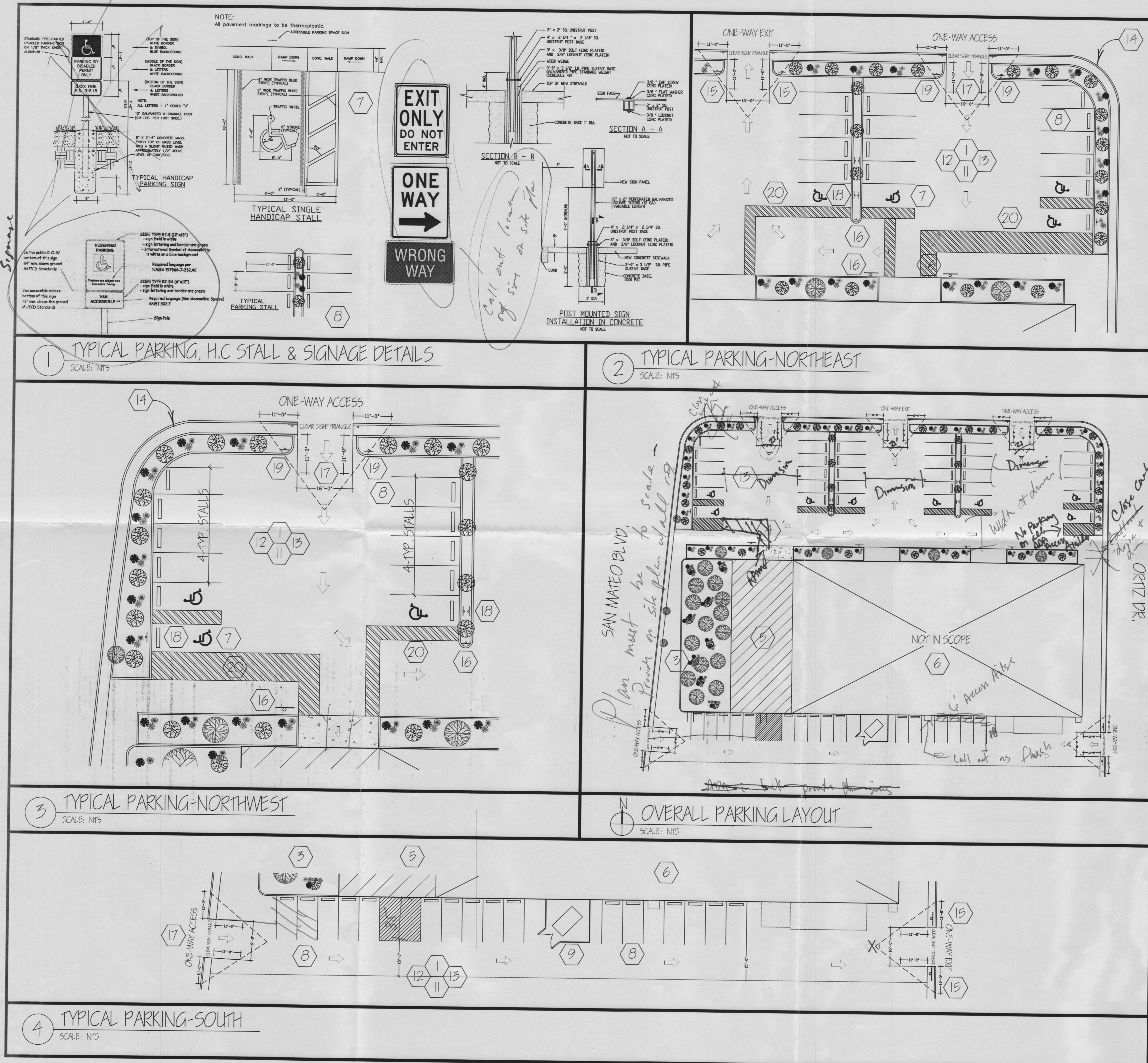
REVISION	DATE	BY	NOTES
1	11/3/16	OSCAR A. SALGADO	FOR SUBMITTAL TO CITY OF ALBUQUERQUE
2	11/3/16	OSCAR A. SALGADO	FOR SUBMITTAL TO CITY OF ALBUQUERQUE

SHT. INFO.
PARKING LAYOUT
A10 OF 14

FILENAME:
SM_A10_PARKING

F-APPROVAL:
XXXXXXXXXX

Use this
Signage



KEY NOTES

- ALL PROPERTY SETBACKS ARE IN ACCORDANCE WITH CITY OF ALBUQUERQUE PLANNING AND ZONING REGULATIONS.
- NEW LANDSCAPING CONC. PLANTER WITH 6" CURB
- EXISTING LANDSCAPING AREA
- FRONT ENTRANCE TO CAPE
- PROPOSED RENOVATION AREA
- EXISTING STRUCTURE-NOT IN SCOPE
- NEW 8'-0" X 12'-0" H.C. PARKING STALL WITH 8'-0" AISLE (VAN ACCESSIBLE)
- NEW TYP. 8'-6" X 20'-0" PARKING STALL
- REFUSE PUMPSTER
- DRIVEWAY ACCESS
- TRAFFIC AISLE
- PARKING AISLE
- EXISTING ASPHALT PARKING LOT
- EXISTING COA STREET CURB AND PUBLIC SIDEWALK
- "EXIT ONLY-DO NOT ENTER" SIGNAGE AS REQUIRED
- "ONE WAY" SIGNAGE AS REQUIRED
- EXISTING DRIVE PAD TO REMAIN
- NEW HANDICAP POLE SIGNAGE
- NEW "WRONG WAY" SIGNAGE
- NEW 6' PEDESTRIAN CROSSING, ADA ACCESSIBLE PATHWAY -4" SIDE PAINTED STRIPPING

PARKING CALC.

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EXISTING BUILDING= 22277 SF

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8 H.C. STALL REQUIRED

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GENERAL NOTES

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LEGEND

TRAFFIC FLOW

← →

FIRM NAME AND ADDRESS:

505.585.9372

DRAFTTECH

CUSTOM RESIDENTIAL DESIGN, SITE DEVELOPMENT PLANS, TECHNICAL SUBMITTALS, GENERAL CAD DRAFTING

OSCAR A. SALGADO, OWNER/DESIGNER

APPROVALS

STATE OF NEW MEXICO

10/17/2016

STEVEN MAURICE

NO. 3611

REGISTERED ARCHITECT

BUILDING RENOVATIONS FOR:

1400 SAN MATEO BUILDING

1400 SAN MATEO BLVD. SE
ALBUQUERQUE, NM

NOTES:

CITY OF ALBUQUERQUE

CITY OF ALBUQUERQUE

OSCAR A. SALGADO

SUBMITTED TO:

CITY OF ALBUQUERQUE

SCALE:

NIS

DATE:

OCT. 7, 2016

REVISION DATE:

XXXXXXXXXX

SHT. INFO.

PARKING LAYOUT

SHEET NUMBER:

A10 of 14

505-907-0705 Owner of project
Line Pinzon

