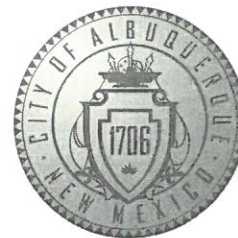


CITY OF ALBUQUERQUE



July 10, 2017

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, NM, 87199

RE: **5501 Bell SE**
Grading Plan
Engineer's Stamp Date 7/6/17 (File: L18D082)

Dear Mr. Soule:

Based on the information provided in your submittal received 7/7/17, this Grading Plan is approved for Building Permit.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

PO Box 1293

Sincerely,

Albuquerque

New Mexico 87103

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

Orig: Drainage file



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

CITY OF ALBUQUERQUE



June 28, 2017

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, NM, 87199

RE: **5501 Bell SE**
Grading Plan
Engineer's Stamp Date 6/21/17 (File: L18D082)

Dear Mr. Soule:

Based on the information provided in your submittal received 6/22/17, the Grading Plan cannot be approved for Building Permit until the following are addressed:

1. This site requires a Flood Plain Permit, submitted to Rudy Rael (rrael@cabq.gov), for grading work in the flood plain.
2. Provide project benchmark information.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file

Floodplain Development Permit Form

Planning Dept., City of Albuquerque

Section 1: General Provisions (Applicant to read and sign)

1. No work of any kind may start until a permit is issued.
2. Applicant is hereby informed that other permits may be required to fulfill local, state, and federal regulatory requirements.
3. Applicant hereby gives consent to the Floodplain Administrator and his/her representative to make reasonable inspections required to verify compliance.
4. The applicant certifies that all statements herein and in attachments to this application are, to the best of my knowledge, true and accurate.

Applicant Signature *DAVID SOULE* Date 7/6/17

Applicant Printed Name DAVID SOULE Phone #: 321-9099

Section 2: Proposed Development in Special Flood Hazard Area (to be completed by Applicant)

Brief Project Description CONSTRUCTION OF MULTIFAMILY BUILDING
ON LOT ADJACENT TO FLOOD PLAIN IN STREET

Applicant is (check one): Owner _____ Builder _____ Engineer/Architect X _____

Project address/Legal Desc/location: 5501 BELL SE-LOT 11A MENDELSBERG SUBD

Description of Work (in Special Flood Hazard Area):

A. Building Development

Building Type

X New Building

_____ Residential (1-4 Family)

_____ Addition

X Residential (More than 4 Family)

_____ Alteration

_____ Commercial

_____ Demolition

_____ Manufactured Home

Estimated Cost of Project \$ 325,000

Existing Structure Value \$ 0

%(new/existing): 100% new

B. Other Development Activities

☐ Clearing ☐ Fill ☐ Drilling ☒ Grading
☐ Excavation, except for Structural Development (checked above)
☐ Watercourse Alteration (Including Dredging and Channel Modifications)
☒ Drainage Improvements
☐ Road, Street or Bridge Construction
☐ Water or Sewer Line Installation
☒ Paving
☒ Walls
☐ Storage of Materials/Equipment for more than 1 Year: Volume (cu. ft.): _____
☐ Other (Please Specify) _____

Is there a Grading Plan associated with this work? ☐ Yes ☐ No

Drainage file number: L18D082

Section 3: Floodplain Determination (Completed by the Floodplain Administrator)

The proposed development is located in a SFHA Zone (circle one): A AE AH AO

And is located on FIRM Panel: 35001C0354H

And is located in a Floodway: ☐ Yes ☐ No

BFE if Applicable: _____

Drainage File Number: _____

Floodplain Permit Number: _____

Building Permit / Work Order #: _____

Site specific Instructions: _____

Signed: _____

Date _____

Printed Name: _____

If proposed development is a building, proceed to Section 4.

Section 4: Requirements for building in a SFHA:

(To be completed by the Floodplain Administrator or Representative)

BFE (unless not available): _____

Minimum Finished Floor Elevation: _____

Minimum Lowest Adjacent Grade: _____

Change in water elevation (if in a Floodway): _____

Is flood-proofing required: ___ Yes ___ No

If yes, method of flood-proofing: _____

An Elevation Certificate is required for structural development in a SFHA. A Certificate of Occupancy will not be granted until the Planning Dept receives the Elevation Certificate.

Section 5: Post Development Certification:

A. For Structural Development:

Elevation Certificate received on Date: _____

Finished Floor Elevation: _____

Lowest Adjacent Grade: _____

The Floodplain Administrator or Representative verifies the above information is
___ acceptable or ___ not acceptable per the City of Albuquerque's Floodplain Ordinance.

The site was visually inspected on Date: _____

Certificate of Occupancy approved on Date: _____

Signature: _____ Date: _____

Printed Name: _____

B: For Other Development Activities: The site
was visually inspected on Date: _____ compliance with _____ and found to be ___ in ___ not in
the approved Floodplain Permit.

Signature: _____ Date: _____

Printed Name: _____

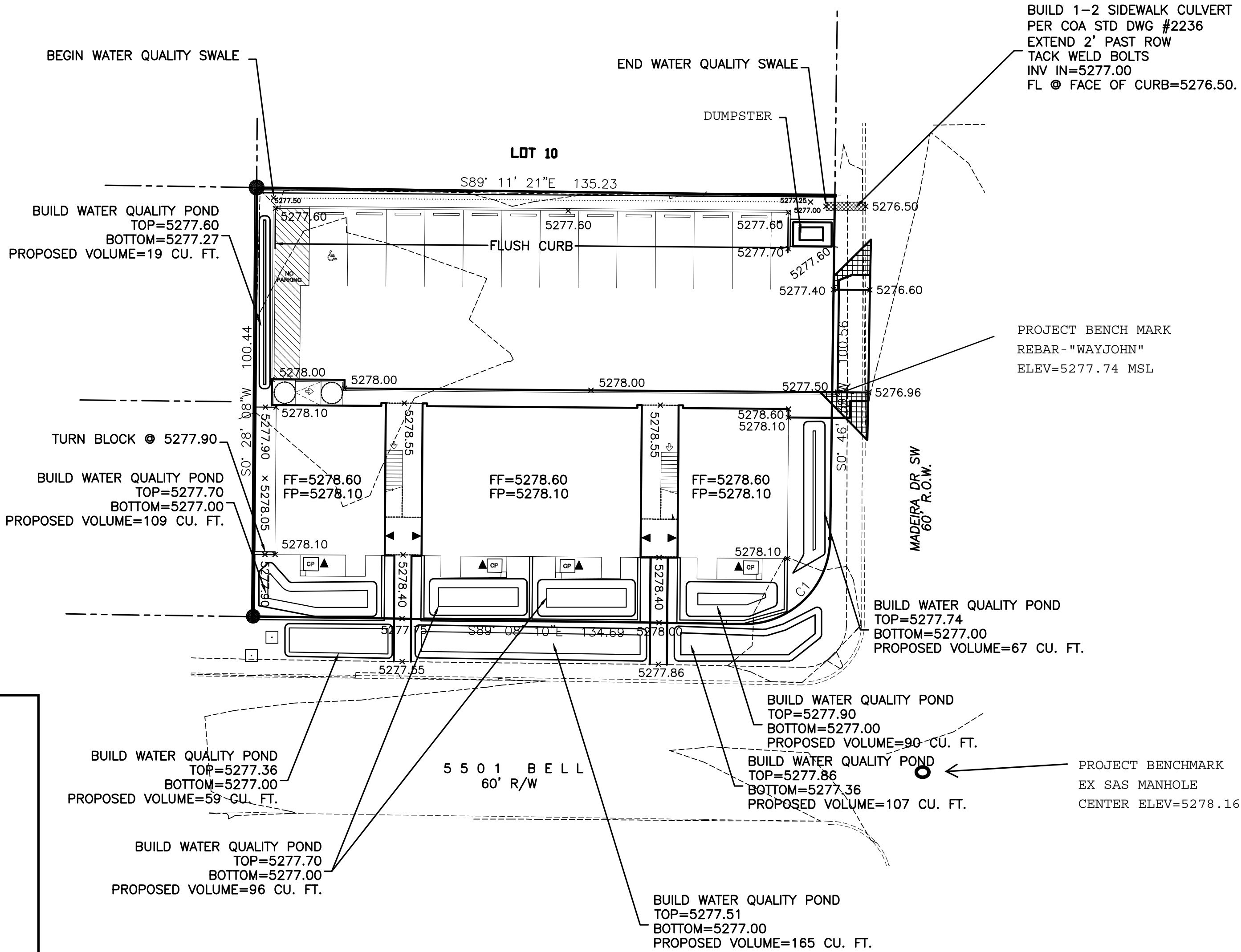
PRIVATE DRAINAGE IMPROVEMNET IN PUBLIC ROW

NOTICE TO CONTRACTORS

Notice to Contractor
(Special Order 19 ~ "SO-19")

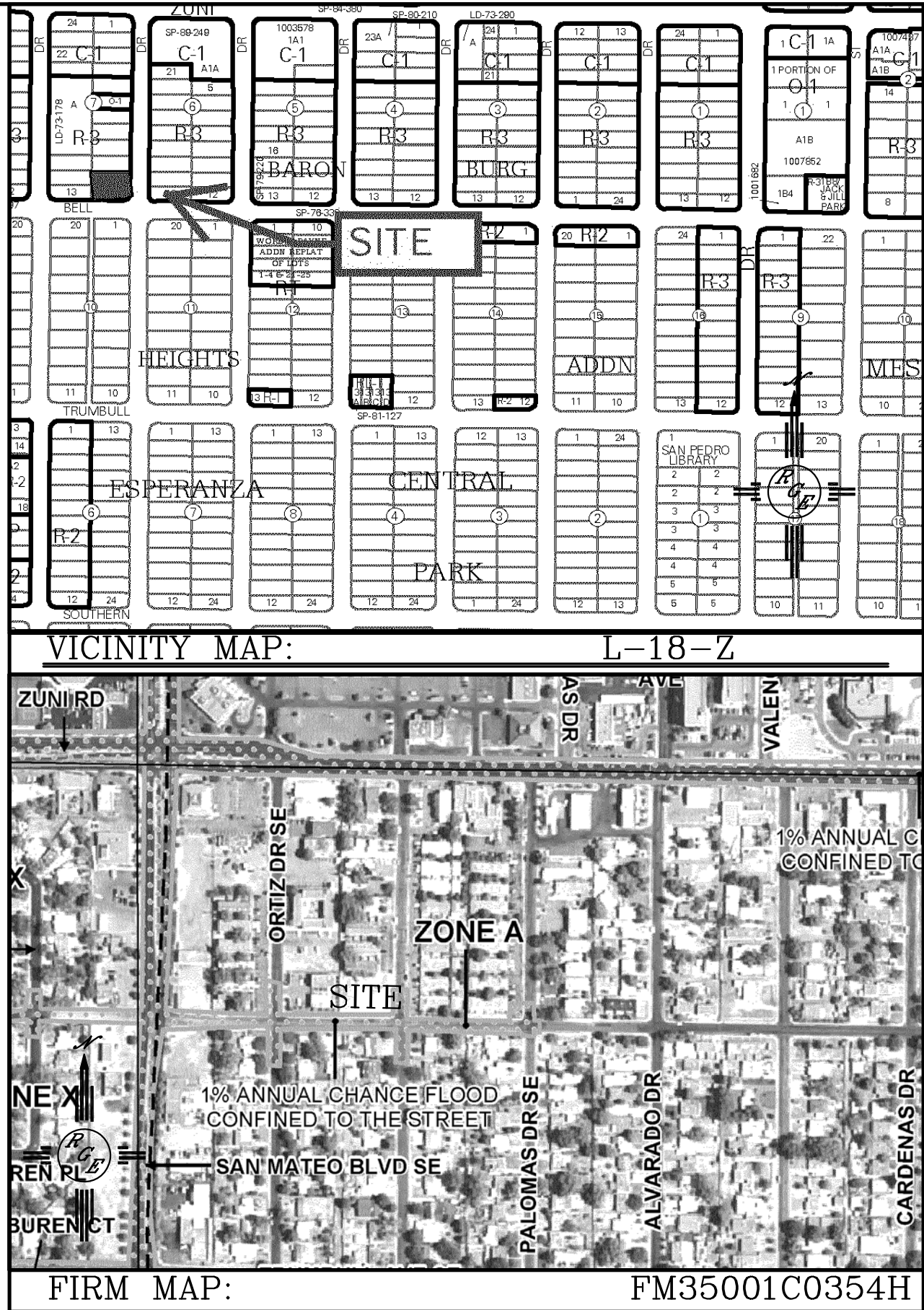
1. An excavation permit will be required before beginning any work within City Right-Of-Way.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact New Mexico One Call, dial "811" [or (505) 260-1990] for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
7. Work on arterial streets shall be performed on a 24-hour basis.
8. Prior to pouring concrete, contractor shall notify the storm drain inspector, 857-8074, to inspect reinforcement.

APPROVAL	NAME	DATE
INSPECTOR		



EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



LEGAL DESCRIPTION:

LOT 11A MEDELSBERG SUBDIVISION

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL CURB AND GUTTER TO 6" HEADER UNLESS OTHERWISE NOTED.
3. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. ALL COMMON WALLS SHALL HAVE BLOCKS TURNED AT GRADE FOR DRAINAGE
5. ANY CURBS OR PAVEMENT NEGATIVELY IMPACTED BY CONSTRUCTION ACTIVITY SHALL BE REPLACED TO MATCH EXISTING CONDITIONS.
6. ALL SITE WORK SHALL CONFORM TO CITY OF ALBUQUERQUE STANDARDS FOR PUBLIC WORKS CONSTRUCTION EDITION 9
7. TECH DESIGN SURVEY PROVIDED BY CONSTRUCTION SURVEY TECHNOLOGY USING NAVD 1988 DATUM.

LEGEND

---	EXISTING CONTOUR
- - - -	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED INDEX CONTOUR
---	SLOPE TIE
1	EXISTING SPOT ELEVATION
x	PROPOSED SPOT ELEVATION
---	BOUNDARY
---	CENTERLINE
---	RIGHT-OF-WAY
---	PROPOSED CURB
---	EXISTING CURB AND GUTTER
---	PROPOSED SIDEWALK
---	EXISTING SIDEWALK

Weighted E Method
BELL

Existing Developed Basins							100-Year, 6-hr.			24-HOUR			
Basin	Area (sf)	Area (acres)	Treatment A %	Treatment B %	Treatment C %	Treatment D %	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)			
SOUTH BASIN	4353	0.101	0%	24.0%	0.024	17.0%	0.01714	59%	0.060	1.833	0.015	0.42	0.018
NORTH BASIN	9003	0.207	0%	17.0%	0.035	6.0%	0.0124	77%	0.159	2.051	0.035	0.93	0.042
EXISTING	13396	0.308	0%	74.0%	0.228	26.0%	0.07996	0%	0.000	1.016	0.026	0.87	0.026

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm (zone 3)

Ea= 0.66	Qa= 1.87
Eb= 0.92	Qb= 2.6
Ec= 1.29	Qc= 3.45
Ed= 2.36	Qd= 5.02

DISCHARGE FROM SITE	
EXISTING	0.87
PROPOSED	0.94

ONSITE Conditions

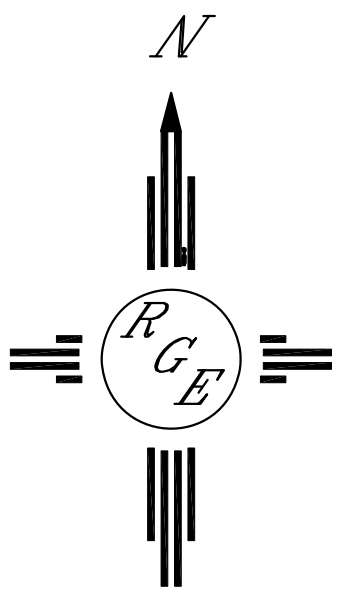
FIRST FLUSH WATER QUALITY VOLUME	REQUIRED (CF)	PROVIDED (CF)
WATER QUALITY	270	808
FLOOD CONTROL (SOUTH BASIN)	779	789

Narrative

This site is an infill lot within an fully developed subdivision. The existing lots all free discharge. Due to existing graded slopes, the existing lot drains to the rear. The plan will direct the north portion of the lot to the adjacent roadway. The southern half of the building shall be retained onsite. The required water harvest volume generated by the site is retained onsite. The site currently discharges .87 cfs and the developed flow rate will be .93 cfs. Upland flows do not effect the site.

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



GRAPHIC SCALE

SCALE: 1"=20'

ENGINEER'S SEAL	5501 BELL	DRAWN BY WCWJ
DAVID SOULE NEW MEXICO REGISTERED PROFESSIONAL ENGINEER #14522	GRADING AND DRAINAGE PLAN	DATE 6-20-17
7/6/17	Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	21754-LAYOUT-6-20-17
DAVID SOULE P.E. #14522		SHEET # CIVIL102
		JOB # 21754