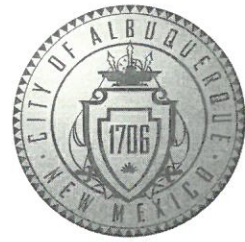


CITY OF ALBUQUERQUE



June 15, 2017

Roger Cinelli
Roger Cinelli & Assoc.
2418 Manuel Torres Lane NW
Albuquerque, NM 87107

Re: Apartment for Ahmet Tiryaki
5501 Bell Ave. SE
Traffic Circulation Layout
Architect's Stamp dated 6-9-17 (L18D082)

Dear Mr. Cinelli,

The TCL submittal received 6-12-17 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Logan Patz
Senior Engineer, Planning Dept.
Development Review Services

MA/LP via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: APARTMENTS FOR AHMET TIRYAKI **Building Permit #:** **City Drainage #:** L18D082
DRB#: **EPC#:** **Work Order#:**
Legal Description: LOT 11-A, BLK 7 OF MENDELSBERG'S SUBDIVISION BARONBERG HEIGHTS
City Address: 5501 BELL AVE SE

Engineering Firm: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE
Address: 1606 CENTRAL AVE SE SUITE 201 ABQ, NM 87106
Phone#: 505-321-9099 **Fax#:** **E-mail:** david@riograndeengineering.com

Owner: AHMET TIRYAKI **Contact:** AHMET
Address: 1815 CAGUA NE ABQ, NM 87110
Phone#: 505-615-4278 **Fax#:** **E-mail:** atiryaki@comcast.net

Architect: ROGER CINELLI & ASSOCIATES INC **Contact:** ROGER CINELLI
Address: 2418 MANUEL TORRES LN NW ABQ. N.M. 87107
Phone#: 505-243-8211 **Fax#:** 505-243-8196 **E-mail:** rcinelli@q.com

Other Contact: **Contact:**
Address:
Phone#: **Fax#:** **E-mail:**

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

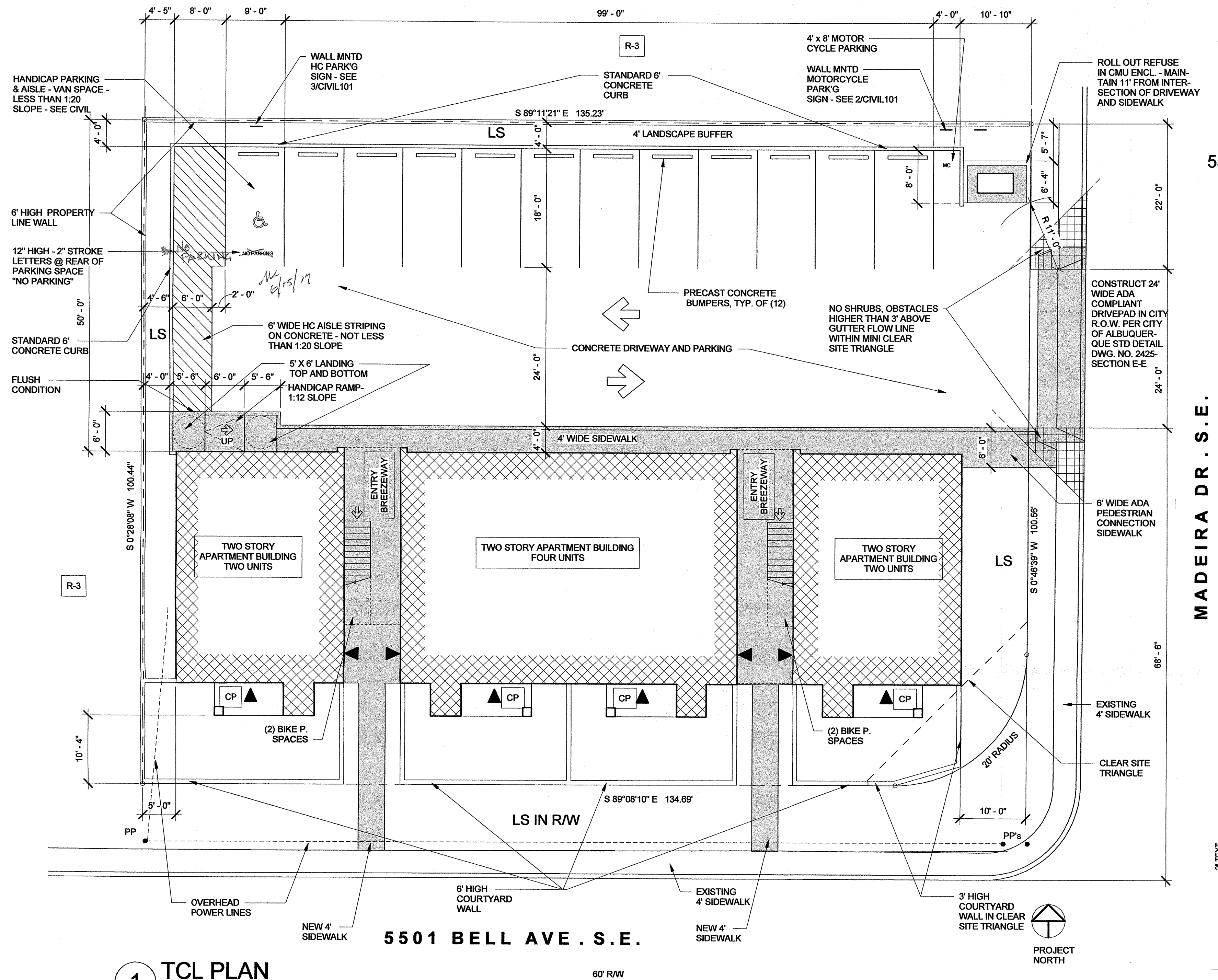
DATE SUBMITTED: 6/12/17

By: ROGER CINELLI

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

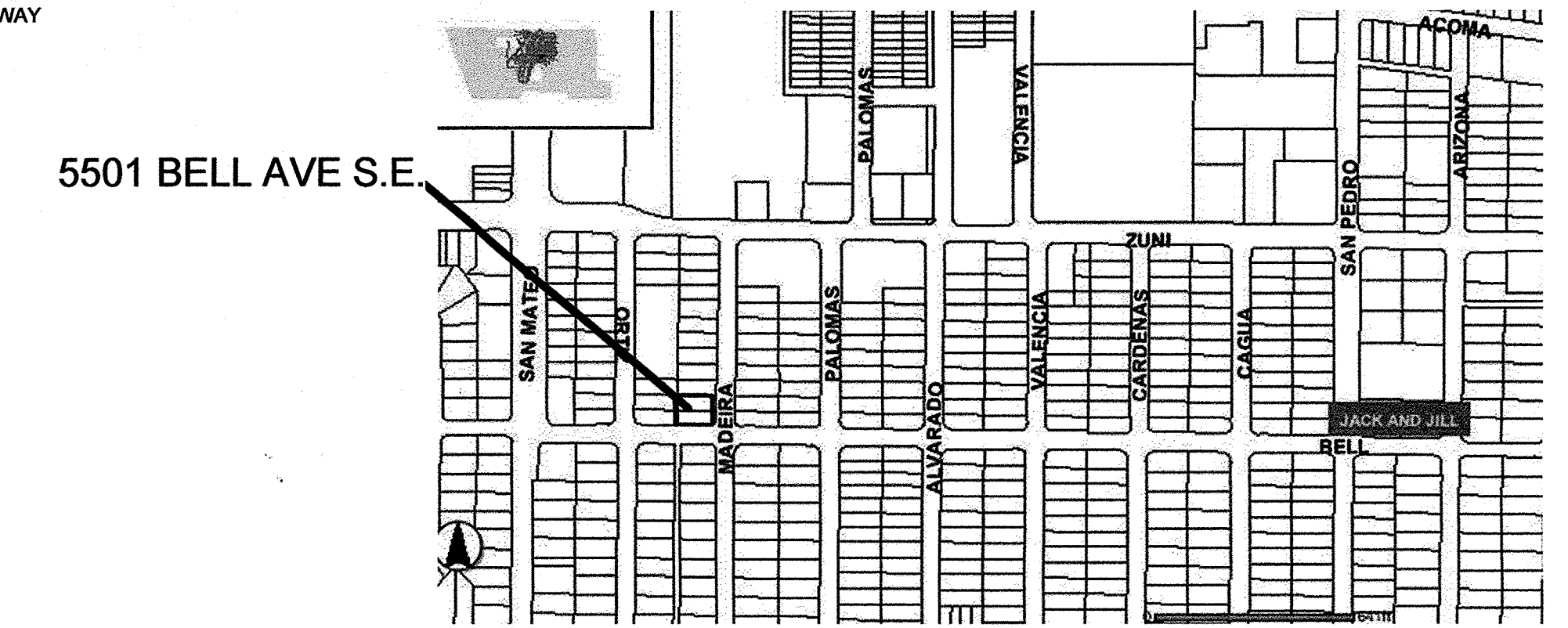
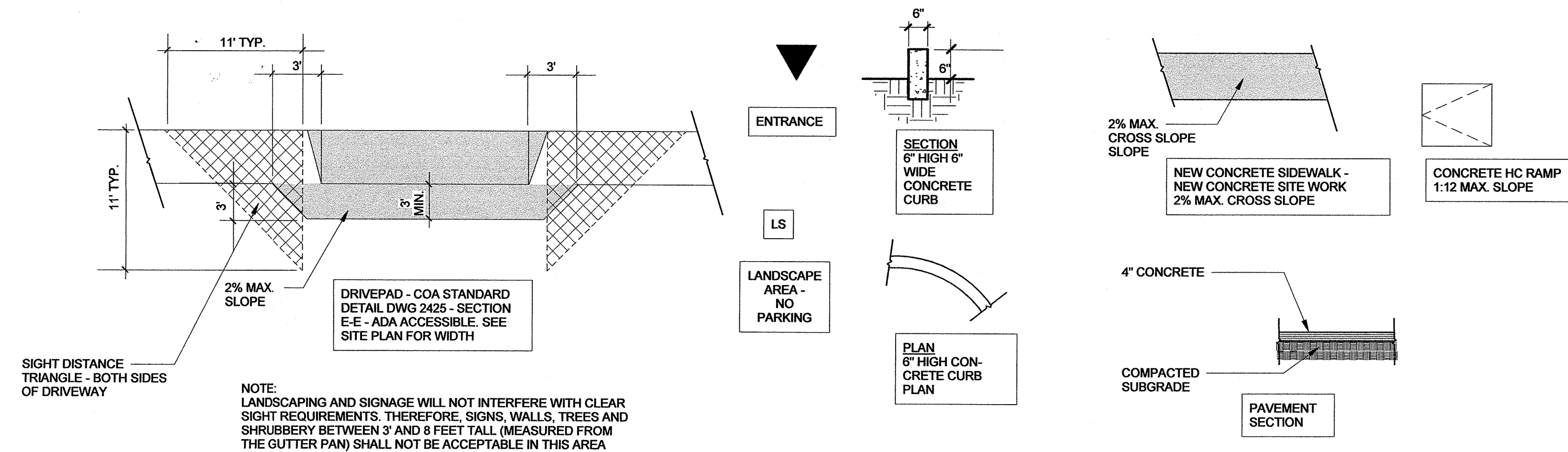
TRAFFIC CIRCULATION LAYOUT
APPROVED
Lopez
Signed Date 06-15-17

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.



1 TCL PLAN
Scale: 1" = 10'-0"

TRAFFIC CONTROL LAYOUT LEGEND



L-18-Z VICINITY MAP - NTS

TCL DESIGN CRITERIA

NOTE:
EXISTING SIDEWALKS, CURB AND GUTTER
ON BELL AND MADIERA FRONTAGE IS IN ACCEP-
TABLE SHAPE; REPLACEMENT NOT REQUIRED.
NO BUS STOP AT FRONTAGE OR WITHIN 300'
OF SITE.

LEGAL DESCRIPTION: LOT 11-A BLK 7 OF MENDELBERG'S
SUBDIVISION BARON BERG HEIGHTS, CONT. 31138A
13,564 SF
ADDRESS: 5501 BELL AVE S.E., ALBUQUERQUE NEW MEXICO
ZONE ATLAS PAGE: L-18-Z
ZONE: R3
SPECIAL EXCEPTION DATED 5-31-17
SPECIAL EXCEPTION NO. 17ZHE-80080, PROJECT
#1011211, VARIANCE OF 4'-8" FROM THE REQUIRED
15' FRONT YARD SETBACK ON BELL AV SE
SPECIAL EXCEPTION DATED 5-31-17
SPECIAL EXCEPTION NO. 17ZHE-80081, PROJECT
#1011211, VARIANCE OF 3'-0" TO THE REQUIRED
3'-0" WALL HEIGHT IN THE FRONT YARD SETBACK
ON BELL AV SE

SITE PARKING CALCULATION:

OFF STREET PARKING:

8 - 1 BATH APARTMENTS - 830 SF NET LEASABLE
1.5 SPACES PER UNIT REQUIRED PER 14-16-3-1(A)
(24)(b) = (12) SPACES REQUIRED
12 OFF STREET PARKING SPACES PROVIDED - COMPLIES
(1) HANDICAP VAN PARKING SPACE PROVIDED

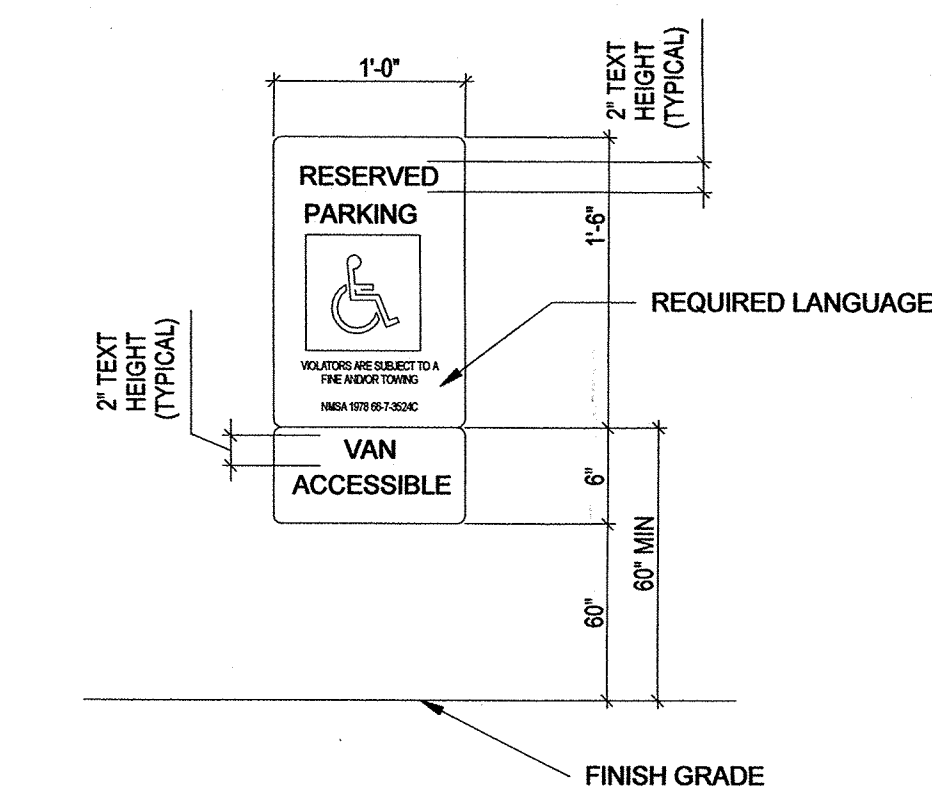
MOTORCYCLE PARKING PER 14-16-3-1(C)(1):

(1) SPACE REQUIRED
MC PARKING PROVIDED - (1) SPACE COMPLIES

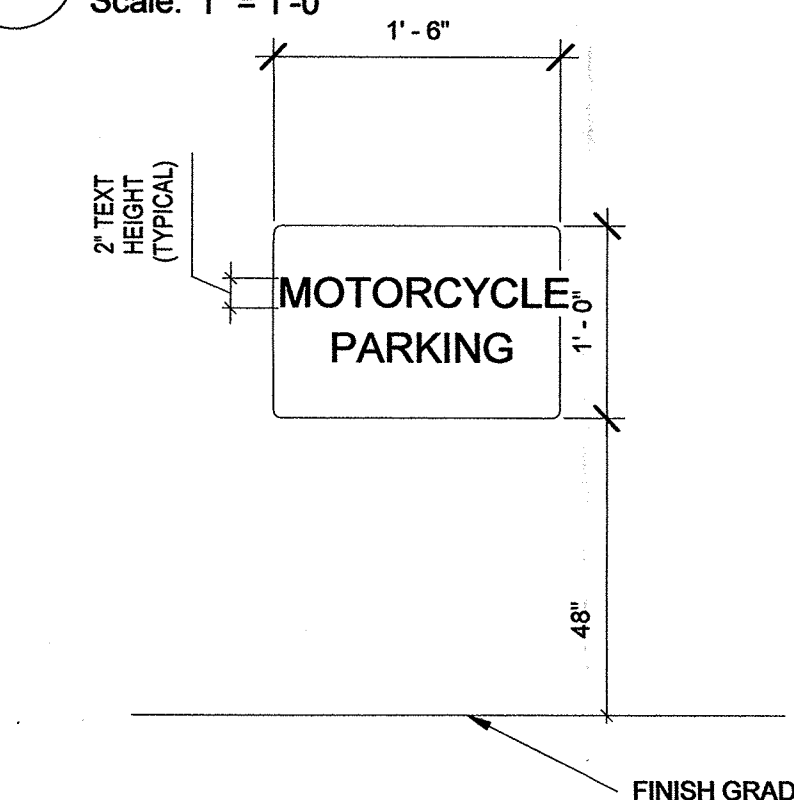
REQUIRED BICYCLE PARKING:

8/2 = 4 BICYCLE PARKING SPACES REQUIRED
4 BICYCLE PARKING SPACES PROVIDED - COMPLIES

MADEIRA DR. S.E.



3 HC PARKING SIGN
Scale: 1" = 1'-0"



2 MOTORCYCLE PARKING SIGN
Scale: 1" = 1'-0"

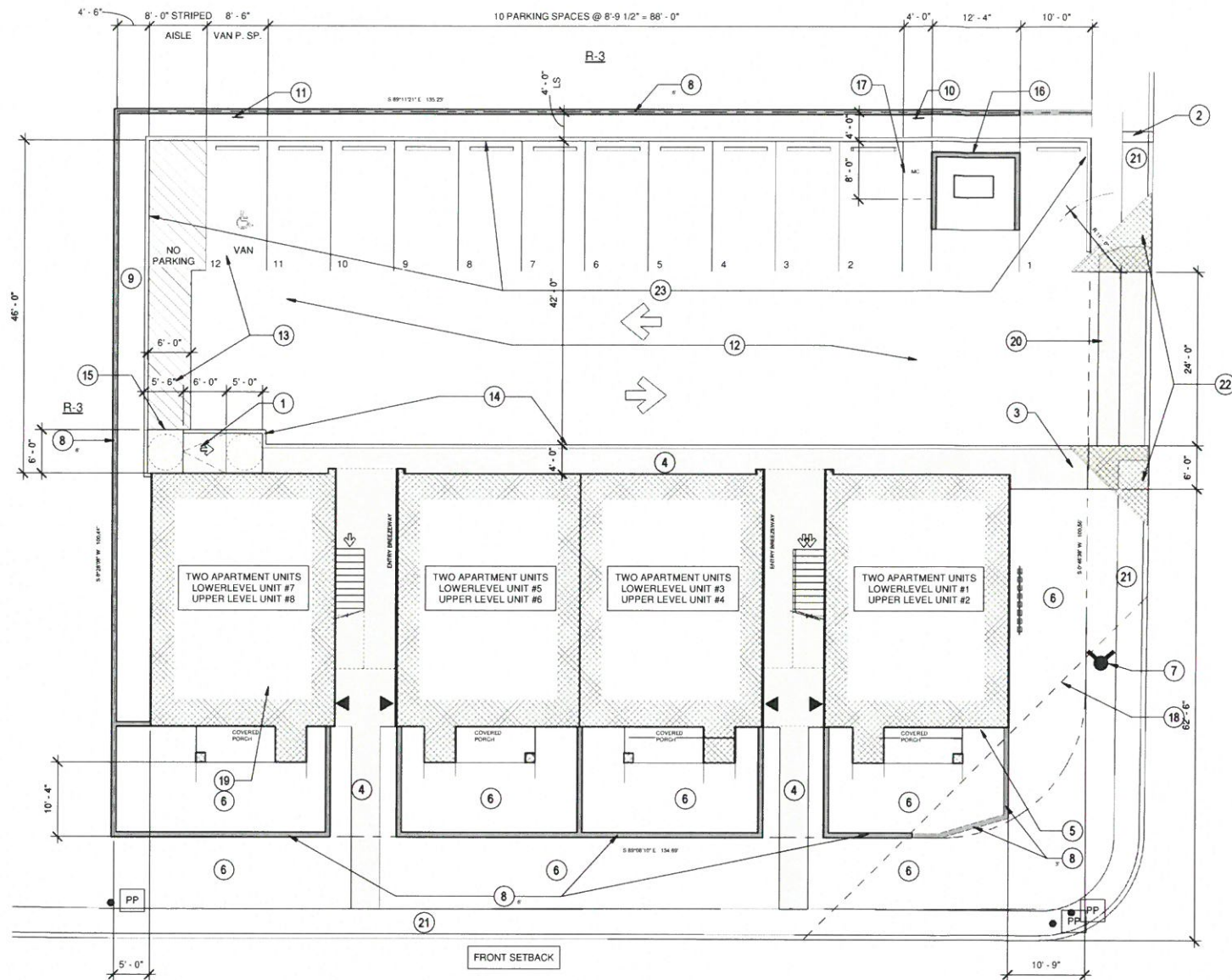
Cinelli / Roger Cinelli & Assoc.
ARCHITECTS
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

PROJECT TITLE: APARTMENTS FOR AHMET
TIRYAKI
5501 BELL AVE. S.E.
ALBUQUERQUE, N.M.

DRAWING TITLE: TRAFFIC CONTROL LAYOUT

SEAL: *[Signature]*
DATE: JULY 2017
PROJECT NO.: TIRY16
DRAWING NO.:
CIVIL 101
6/9/17

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.



1 SITE PLAN
Scale: 1" = 10'-0"

5501 BELL AVE. S.E.

60' R/W



GENERAL NOTES

1. PROVIDE BACKFLOW PREVENTION DEVICE FOR IRRIGATION SYSTEM
2. FIRE ALARM PLANS MUST BE SUBMITTED AND REVIEWED BY THE FIRE MARSHALL'S OFFICE
3. FIRE SPRINKLER PLANS MUST BE SUBMITTED AND REVIEWED BY THE FIRE MARSHALL'S OFFICE
4. ALL WORK SHALL BE DONE AS PER I.B.C. REQUIREMENTS AND ANY OTHER APPLICABLE REGULATIONS AND ORDINANCES
5. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS ON THE JOB SITE AND REPORT ANY AND ALL DISCREPANCIES AND/OR UNUSUAL CONDITIONS TO THE ARCHITECT
6. CONTRACTOR SHALL OBTAIN ALL PERMITS, PAY ALL FEES FOR PERMITS, AND CHECK ALL GOVERNING AUTHORITIES REQUIREMENTS FOR CONSTRUCTION INCLUDING REMOVAL OR RELOCATION OF EXISTING UTILITIES OR OTHER PHYSICAL OBJECTS SHOWN ON PLANS OR OTHERWISE NOTED
7. GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE WORK OF ALL OWNERS SUBCONTRACTORS INCLUDING THE PERFORMANCE OF SUCH MISCELLANEOUS WORK AS MAY BE NECESSARY FOR THEM TO COMPLETE THEIR WORK
8. SIZES OF MECHANICAL EQUIPMENT PADS, BASES, ROOF EQUIPMENT PADS, AND OPENINGS ARE A BASIS FOR DESIGN ONLY. CONTRACTOR SHALL VERIFY DIMENSIONS OF ALL EQUIPMENT PADS AND BASES WITH EQUIPMENT MANUFACTURERS. MECHANICAL CONTRACTOR SHALL VERIFY ALL SIZES AND LOCATIONS OF DUCT OPENINGS ON ROOF

9. ALL RAMPS SHALL HAVE A MEDIUM BROOM FINISH
 10. ALL REQUIRED PERMITS MUST BE OBTAINED FROM ALL GOVERNING AUTHORITIES PRIOR TO START OF CONSTRUCTION
 11. UNLESS OTHERWISE NOTED, ALL EXTERIOR AND INTERIOR EXPOSED METAL TRIM, MOLDING, FRAMES, CASING, AND FLASHINGS SHALL BE PAINTED TO MATCH ADJACENT MATERIALS
 12. ALL WOOD MEMBERS TO BE MINIMUM OF 6" ABOVE SOIL - PROVIDE TREAT SILL PLATES
 13. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT WITHIN 3 WORKING DAYS OF ANY DISCREPANCIES ON PLANS
- NOTE:
ARCHITECT SHALL HAVE NO INVOLVEMENT IN ACTUAL CONSTRUCTION OF THE PROJECT AND SAFETY OF THE CONSTRUCTION SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY MEASURES AND COMPLIANCE WITH OSHA AND LABOR/CONSTRUCTION REGULATIONS RELATED TO SAFE WORKING ENVIRONMENTS.

DESIGN CRITERIA

APPLICABLE CODES: 2015 IBC
2012UMC, 2012UPC, 2014NEC

ADDRESS: 5501 BELL AVE. S.E., ALBUQUERQUE NEW MEXICO
ZONE ATLAS PAGE: L-18-Z

LEGAL DESCRIPTION: LOT 11-A BLK 7 SUBDIVISION PLAT OF LOT 11-A, BLOCK 7 OF MENDELSSBERG'S SUBDIVISION BARON BERG HEIGHTS. CONT. 31138A 13,564 SF

ZONE DISTRICT: R3

OCCUPANCY: R2

FRONT YARD SETBACK ON BELL AVE SE REDUCED FROM 15 TO 10'-0" AS PER VARIANCE APPROVAL 17ZHE-80080, DATED 5/31/17

FRONT YARD COURTYARD WALLS ON BELL AVE SE INCREASED FROM 3' TO 8' IN HEIGHT AS PER VARIANCE APPROVAL 17ZHE-80081, DATED 5/31/17

LOT WIDTH AND DEPTH REDUCED FROM 150' TO 134.69' AND 100.44' AS PER VARIANCE APPROVAL 17ZHE-80083, DATED 5/31/17

CONSTRUCTION TYPE: VB - SPRINKLERED

ALLOWABLE AREA:

TABLE 503 (2009IBC)
TABLE 506.2 (2015IBC) - TYPE VB - ALLOWABLE AREA = 7000 SF PER STORY - 4139 AND 3746 EACH < 7000 SF PER STORY - COMPLIES

ACCESSIBILITY:

TYPE "B" UNITS SHALL BE PROVIDED IN ACCORDANCE WITH 1107.6.2.2.2 - ONLY GROUND FLOOR UNITS SHALL BE TYPE B DWELLING UNITS AS PER EXCEPTION 1107.7 (NO ELEVATOR). ALL TYPE "B" UNITS SHALL BE EQUIPPED WITH TOILET/BATHING ROOM OPTION "B" AS PER ANSI 117.1-2003

HEARING IMPAIRED UNITS:

TABLE E104.2.1 UNITS WITH ACCESSIBLE COMMUNICATION FEATURES REQUIRES 2 UNITS - 2 UNITS PROVIDED - COMPLIES

SEISMIC ZONE D

EXTERIOR STAIRWAY PROTECTION:
ONE HOUR FIRE BARRIER AND 45 MIN LABEL UNIT ENTRY DOOR PROVIDED AS PER 1027.6.2015IBC - COMPLIES

USABLE OPEN SPACE CALCULATION:

REQUIRED UOS PER R-3 = 250 SF PER 2 BR UNIT
8 X 250 = 2000 SF UOS REQUIRED

AT GRADE UOS = 4293 SF
UPPER COV. PORCH = 362 SF
TOTAL = 4655 SF
4655 SF UOS PROVIDED - COMPLIES

REQUIRED BICYCLE PARKING:

8/2 = 4 BICYCLE PARKING SPACES REQUIRED
4 BICYCLE PARKING SPACES PROVIDED - COMPLIES

REQUIRED MOTORCYCLE PARKING:

ONE 4' X 8' MOTORCYCLE SPACES REQUIRED
ONE 4' X 8' MOTORCYCLE SPACES PROVIDED - COMPLIES

LANDSCAPING REQUIRED:

SEE LANDSCAPE PLAN

BUILDING AREAS!

TYPICAL UNIT AREAS:

TYPICAL UNIT 898 SF HEATED
TYP. UNIT STORAGE 22 SF UNHEATED
TYP. COV. PORCH 55 SF

HEATED AREA:

LOWER LEVEL HEATED AREA = 4 X 898 = 3592 SF

UPPER LEVEL HEATED AREA = 4 X 898 = 3592 SF

TOTAL HEATED AREA = 3592 + 3592 = 7184 SF
HEATED AREA

BUILDING AREA:

LOWER LEVEL BUILDING AREA INCLUDING BREEZEWAYS = 4 X 898 + 3592 SF + 600 SF (BREEZEWAYS) = 4193 SF

UPPER LEVEL BUILDING AREA INCLUDING STAIR LANDINGS = 4 X 898 + 3592 SF + 154 SF (STAIR LANDINGS) = 3746 SF

TOTAL BUILDING = 4193 + 3746 = 7939 SF FLOOR AREA

TRAFFIC CIRCULATION LAYOUT APPROVED

Logan Pats
Signed

08-04-17
Date

REVISED

Cinelli / Roger Cinelli & Assoc.
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

PROJECT TITLE:
**APARTMENTS FOR AHMET
TIRYAKI**
5501 BELL AVE. S.E.
ALBUQUERQUE, N.M.

DRAWING TITLE:
SITE PLAN

SEAL
JULY 2017
DATE

PROJECT NO.
TIRY16
DRAWING NO.

SITE101

6/25/17