

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

October 3, 2018

Richard Dourte, P.E.
RHD Engineering, LLC
4305 Purple Sage Ave NW
Albuquerque, NM, 87120

RE: Burger King – 5101 Gibson Blvd SE
Grading and Drainage Plan
Engineer's Stamp Date: 09/26/18
Hydrology File: L18D084

Dear Mr. Dourte:

PO Box 1293

Based upon the information provided in your resubmittal received 09/28/2018, the Grading and Drainage Plan is approved for Building Permit and SO-19 Permit.

Albuquerque

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

NM 87103

Please provide Private Facility Drainage Covenant per Chapter 17 of the DPM prior to Permanent Release of Occupancy for the first flush pond. Please submit these to the 4th floor of Plaza de Sol. A \$25 fee for each will be required.

www.cabq.gov

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Burger King Restruant Building Permit #: _____ City Drainage #: L18D084
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Lot 2, Block 26, Virginia Place Addition
City Address: 5101 Gibson Blvd. SE

Engineering Firm: RHD Engineering, LLC Contact: - Richard Dourte
Address: 4305 Purple Sage Ave. NW Alb. NM, 87120
Phone#: 505-288-1621 Fax#: _____ E-mail: rhdengineering@outlook.com

Owner: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Architect: Joe Simons Architecture Contact: Joe Simons
Address: PO Box 67408, Albuquerque NM, 87193-7408
Phone#: _____ Fax#: _____ E-mail: joe@simonsarchitecture.com

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☒ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☒ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ GRADING CERTIFICATION
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided

DATE SUBMITTED: 9-27-18

By: Richard Dourte
Richard Dourte

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

September 19, 2018

Ms. Renee Brissette, PE
Senior Engineer, Planning Department
Development Review Services
600 Second Street
City of Albuquerque, NM 87102

RE: 5101 Gibson Blvd SE (Burger King) (L18D084)

Dear Ms. Brissette,

Thank you for your comments dated Sept. 18, 2018 (copy enclosed) regarding the project referenced above. Your issues have been addressed as follows:

1. Bench mark information has been included.
2. FIRM map information has been added.
3. The storm water quality calculation has been changed.
4. Note for the dumpster has been changed.
5. Pavement hatching note has been added.
6. Top of wall and flowline spot elevations have been added, along with the clarification of the section adjacent to the wall.
7. A curb has been added adjacent to the dumpster enclosure to keep storm water out of the dumpster area.

If you have any questions, please feel free to call me at 288-1621.

Sincerely,



Richard Dourte, PE
RHD Engineering, LLC

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

September 18, 2018

Richard Dourte, P.E.
RHD Engineering, LLC
4305 Purple Sage Ave NW
Albuquerque, NM, 87120

RE: Burger King – 5101 Gibson Blvd SE
Grading and Drainage Plan
Engineer's Stamp Date: 09/04/18
Hydrology File: L18D084

Dear Mr. Dourte:

PO Box 1293

Based upon the information provided in your submittal received 09/05/18, the Grading and Drainage Plan is **not** approved for Building Permit and SO-19 Permit. The following comments need to be addressed for approval of the above referenced project:

Albuquerque

1. Please provide the benchmark information for the survey contour information provided.

2. Please add the effective date of the FIRM Map to General Note #1.

NM 87103

3. The storm water quality volume is calculated based on the 0.44 inch storm. To calculate the required storm water quality volume to be captured, multiply the impervious area (SF) by 0.34 inches for the 90th percentile storm. Please redo the first flush calculations. The required volume should be 9,572 CF.

www.cabq.gov

4. Near the dumpster, please change the inlet reference note to note 8.

5. Please clarify what the hatching in the pavement on the West side of the building is.

6. Please add the top of wall and flow line information to the proposed garden/retaining wall. Also please clarify in the detail on Sheet 2 is the curb going to be right next to the wall or is the wall acting as the curb for the parking lot?

7. Near the dumpster, please redirect the sheet flow around the dumpster so that the runoff will discharge into the first flush pond and not the inlet that is in the dumpster enclosure.

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE NARRATIVE:

1. THIS SITE IS LOCATED WITHIN AN X FLOOD PLAIN. REFER TO THE FEMA EXCERPT THIS SHEET.
2. THIS SITE IS IN A FREE DISCHARGE AREA.
3. LANDSCAPED AREA = 19%
IMPERVIOUS AREA = 81%
4. THE VOLUME OF WATER GENERATED BY THIS SITE FOR THE 100YR 6HR RAIN FALL EVENT IS 6400CF.
5. THE FIRST FLUSH PONDING REQUIREMENT IS 798CF. THE PONDING PROVIDED IS 1259CF, THUS THE PONDING PROVIDED IS GREATER THAN THE REQUIRED PONDING.

GENERAL NOTES:

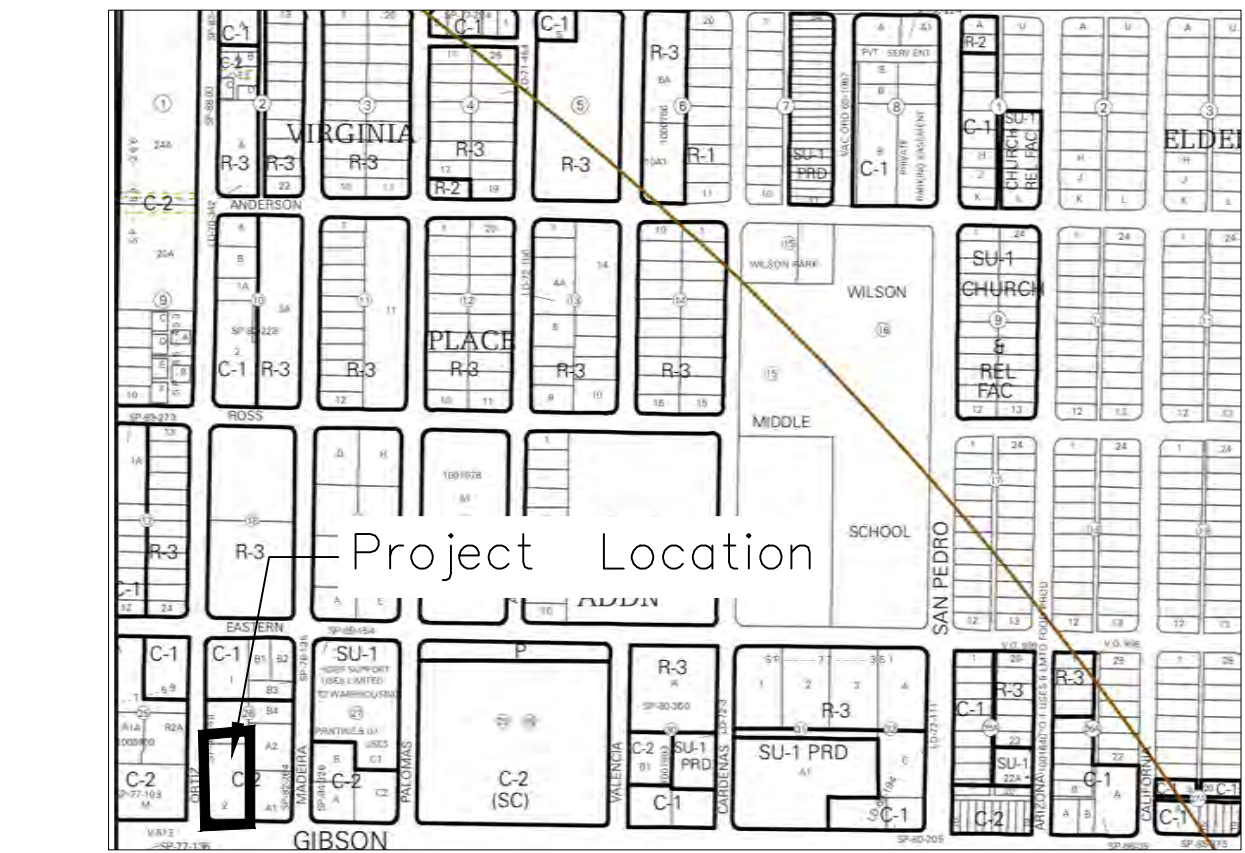
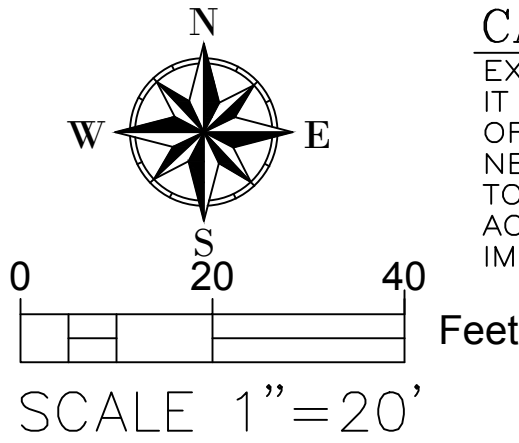
1. THIS SITE IS LOCATED IN A ZONE X, FEMA FLOOD HAZARD ZONE (REFER TO THE FIRM MAP 35001C0362H, (EXCERPT ATTACHED) EFFECTIVE DATE 8/16/2012.
2. RHD ENGINEERING, LLC RECOMMENDS THAT THE OWNER OBTAIN A GEOTECHNICAL REPORT PRIOR TO DESIGN OF BUILDING FOOTING/FOUNDATION.
3. ALL SWPPP REQUIREMENTS SHALL BE ADHERED TO.
4. ALL WORK ON THIS PLAN SHALL BE DONE IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARDS. ALL APPLICABLE PERMITS SHALL BE OBTAINED PRIOR TO WORK COMMENCING.
5. ALL WORK IN THE RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARDS.
6. THE SURVEY INFORMATION WAS PROVIDED BY CONSTRUCTION SURVEY TECHNOLOGIES, INC.
7. FOR SITE DIMENSIONS, BUILDING AND INFRASTRUCTURE LOCATION REFER TO THE SITE PLAN.
8. BUILD 2'X2' INLET WITH GRATE (EL=10.15) AND CONNECT TO GREASE TRAP THEN TO SAS SEWER SERVICE LINE, IN ACCORDANCE WITH APPLICABLE ABCVUA AND CITY OF ALBUQUERQUE CODES, STANDARDS AND REQUIREMENTS.
9. CONSTRUCT 1'-2' SIDEWALK CULVERT PER STD DWG. 2236 (SO-19 REQUIRED, SEE NOTES ON SHEET 2) INV. IN = 8.25, INV. OUT = 8.04+ MATCH EXST. FL
EXTEND STEEL COVER PLATE 1' PAST PROPERTY LINE, TACK WELD TIE DOWN BOLTS.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



VICINITY MAP: L-18-Z



FIRM MAP: 35001C0362H

LEGAL DESCRIPTION:

LOT 2, BLOCK 26, VIRGINIA PLACE ADDITION,
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

NOTES:

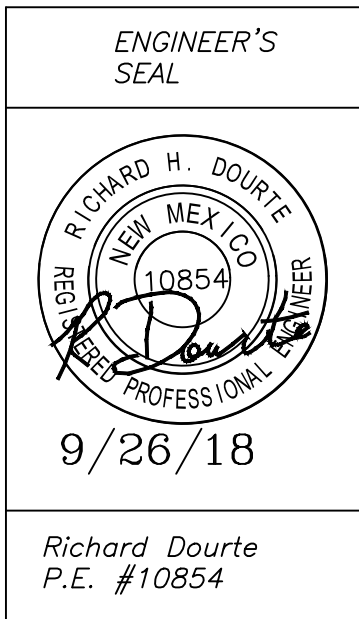
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. RETAIN THE FIRST 46" OF STORM RUNOFF FROM ENTIRE DEVELOPMENT TO CONFORM TO THE WATER QUALITY REQUIREMENTS

LEGEND

TC=46.00 FL=46.00	PROPOSED SPOT ELEVATION
FL=44.00	EXISTING SPOT ELEVATION
-----5601-----	EXISTING CONTOUR
-----5600-----	EXISTING INDEX CONTOUR
-----5601-----	PROPOSED CONTOUR
-----5600-----	PROPOSED INDEX CONTOUR
-----	LOT LINE
-----	CENTERLINE
-----	RIGHT-OF-WAY
-----	PROPOSED RETAINING WALL SEE DETAIL SHEET 2
-----	PROPOSED ROCK FACE WALL
-----	PROPOSED CURB AND GUTTER SEE DETAIL SHEET 2
-----	PROPOSED EDGE OF CONCRETE
-----	PROPOSED FLOW DIRECTION
-----	EXISTING WALL
-----	PROPOSED BASIN BOUNDARY/WATER BLOCK

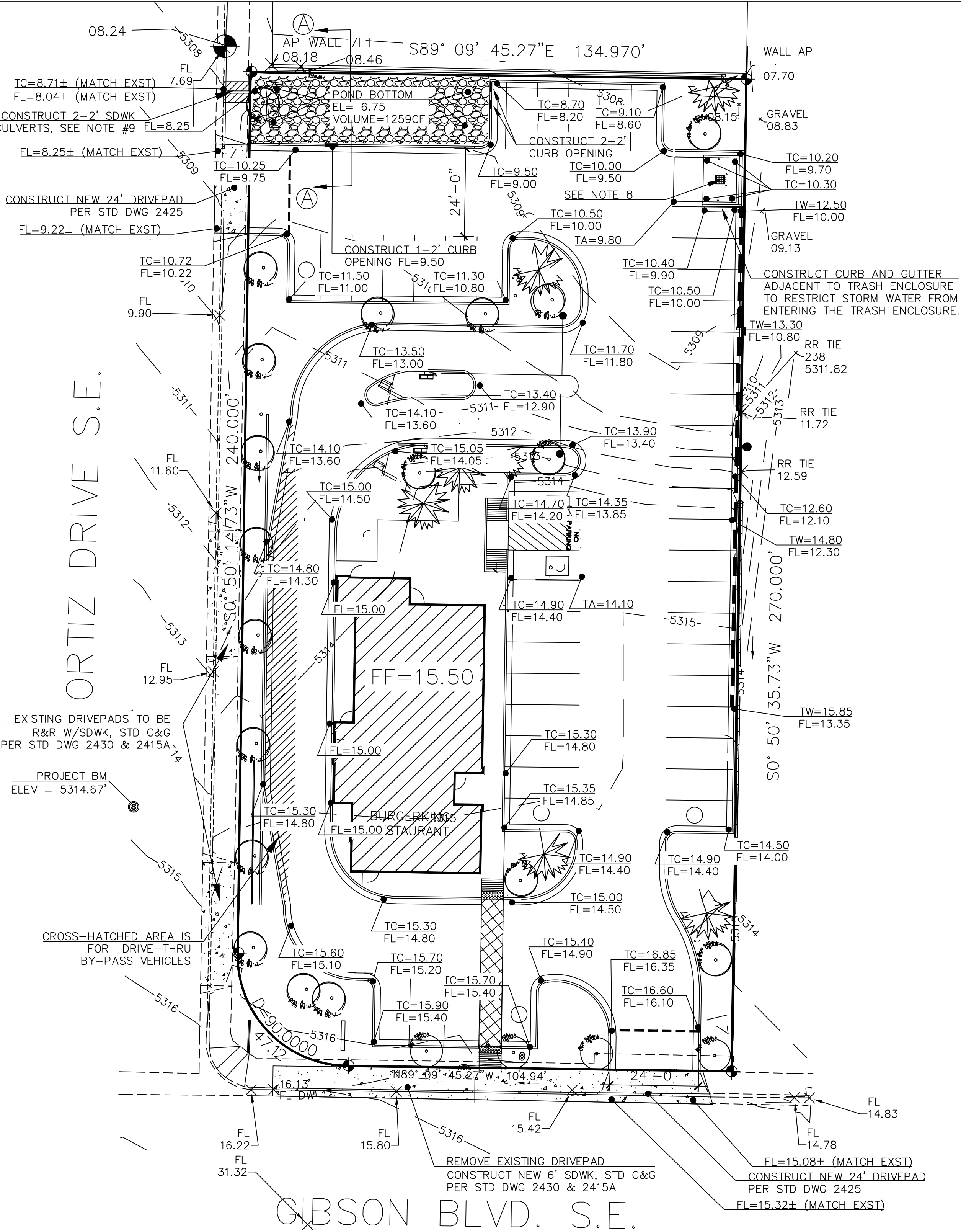
I HAVE PERSONALLY INSPECTED THE PROPERTY ON 7-17-18. NO EARTHWORK HAS BEEN PERFORMED AND THE SITE IS CONSISTENT WITH THE TOPO SHOWN.

Richard Dourte P.E. #10854

	ENGINEER'S SEAL	Title: BURGER KING 5101 GIBSON BLVD SE	DRAWN BY DATE
		GRADING AND DRAINAGE PLAN	SHEET # 1 of 2
		RHD Engineering, LLC 4305 Purple Sage Ave. NW ALBUQUERQUE, NM 87120 (505) 288-1621	JOB #

Project: BURGER KING -5101 GIBSON BLVD SE					
Drainage Calculations - Zone 2					
Depth (inches) at 100yr Storm					
Zone	P60	P360	P1440	P4days	P10days
1	1.87	2.20	2.66	3.12	3.67
2	2.01	2.35	2.75	3.30	3.95
3	2.14	2.60	3.10	3.95	4.90
4	2.23	2.90	3.65	4.70	5.95
Excess Precipitation, E(inches) - 6 HR					
Zone	A	B	C	D	
1	0.44	0.67	0.99	1.97	
2	0.53	0.78	1.13	2.12	
3	0.66	0.92	1.29	2.36	
4	0.80	1.08	1.46	2.64	
Peak Discharge (CFS/ACRE) 100 YR					
Zone	A	B	C	D	
1	1.29	2.03	2.87	4.37	
2	1.56	2.28	3.14	4.70	
3	1.87	2.60	3.45	5.02	
4	2.20	2.92	3.73	5.25	
*****EXISTING CONDITIONS*****					
Area	SQ. FT	Acres	Design Flows (100YR)		
A=	0	0.000	Area	SQ. FT	Acres
B=	0	0.000	Peak Discharge (CFS)		
C=	14500	0.333	A=	0	0.000
D=	21683	0.498	B=	0	0.000
Total	36183	0.831	C=	14500	0.333
Weighted E=		1.931	D=	21683	0.498
			Total (CFS)		3.65
*****PROPOSED CONDITIONS*****					
Area	SQ. FT	Acres	Design Flows (100YR)		
A=	0	0.000	Area	SQ. FT	Acres
B=	0	0.000	Peak Discharge (CFS)		
C=	8030	0.184	A=	0	0.000
D=	28153	0.646	B=	0	0.000
Total	36183	0.831	C=	8030	0.184
Weighted E=		2.123	D=	28153	0.646
			Total (CFS)		3.88
The 100 year peak flows for this developed site is 3.9 CFS and the existing flows are 3.6 CFS for an increase of 0.3 CFS. The 100 year 6 hr volume increase is 6400-5823 = 577CF.					
First Flush Ponding Requirement = Ao *0.34 in/12in/ft = 798 CF					

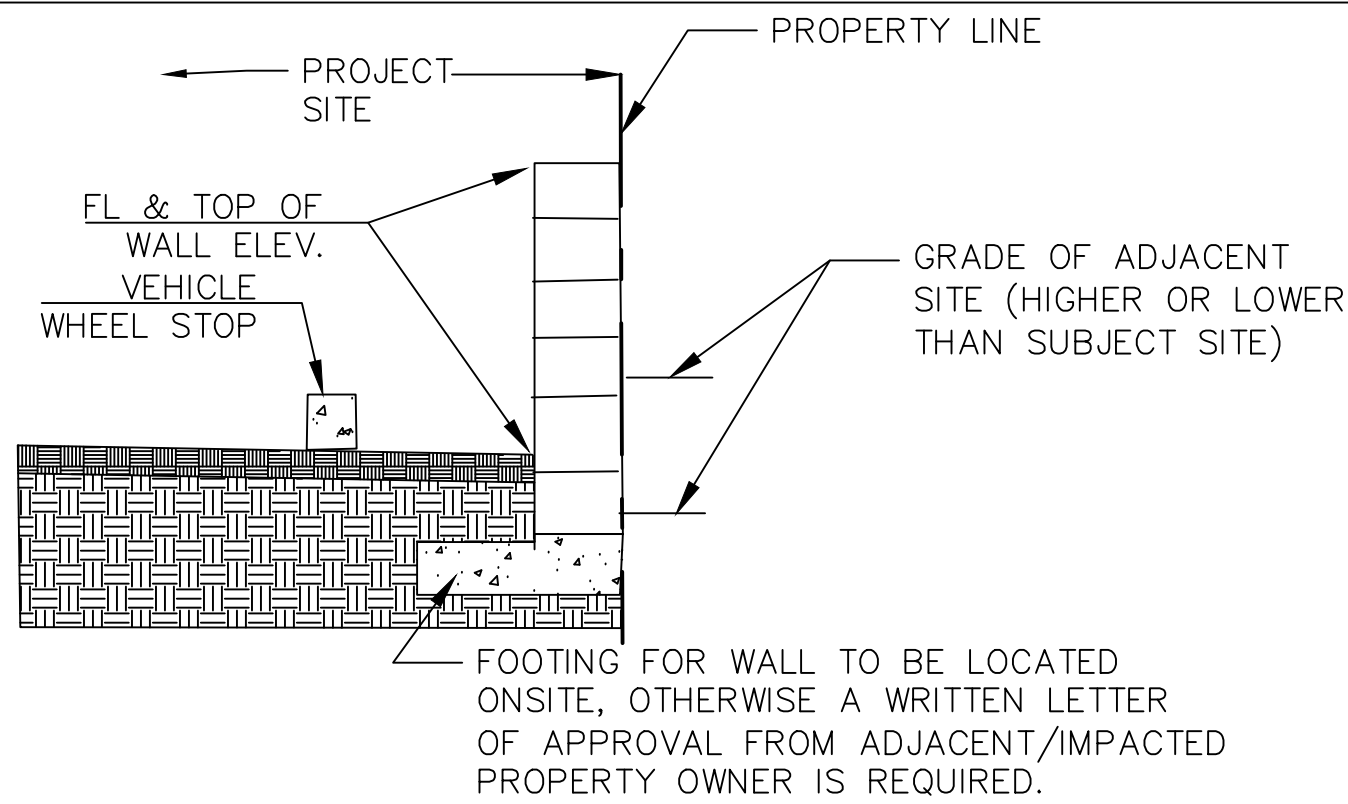
BENCH MARK INFORMATION:
SAS MANHOLE RIM IN ORTIZ DRIVE, ELEVATION= 5314.67.



WEIR CALCULATIONS

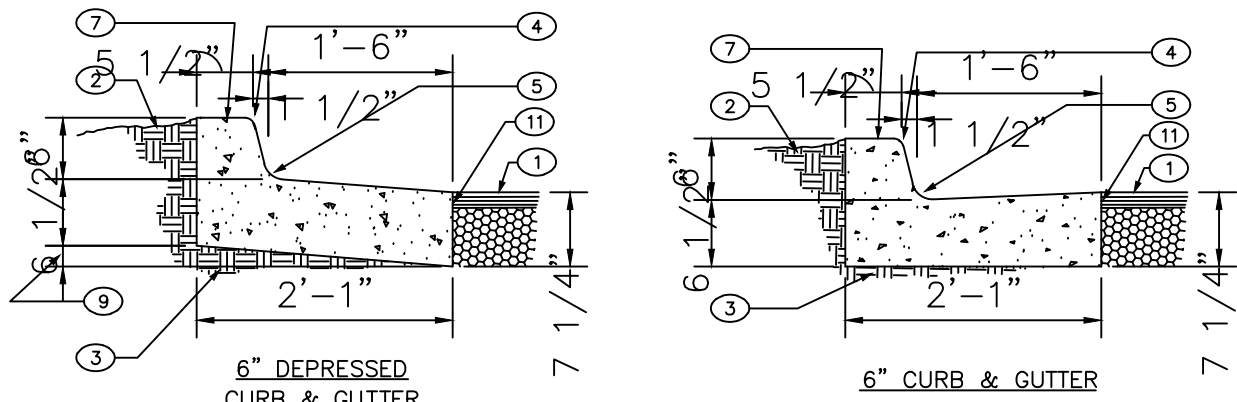
Q=CLH³/2
C=3.2
L=2.0'
H=0.5'
Q=3.2(2.0)((0.5)³*1.5)= 2.3CFS PER SIDEWALK CULVERT

THIS SITE GENERATES 3.88CFS FOR THE 100YR, 6HR EVENT, THUS 2 SIDEWALK CULVERTS ARE NEEDED.



GARDEN WALL/RETAINING WALL DETAIL

1. ANY GARDEN WALL/RETAINING WALL IS TO BE BUILT ON-SITE (DESIGN OF THE GARDEN WALL/RETAINING WALL IS BY OTHERS).
2. A PERMIT IS REQUIRED FOR THE CONSTRUCTION OF THE RETAINING WALL AND ANY FUTURE GARDEN WALL. THIS IS THE PLAN TO FOLLOW WHEN APPLYING FOR A PERIMETER BLOCK WALL.
3. ALL APPLICABLE REQUIREMENTS/GUIDELINES NEED TO BE ADHERED TO.



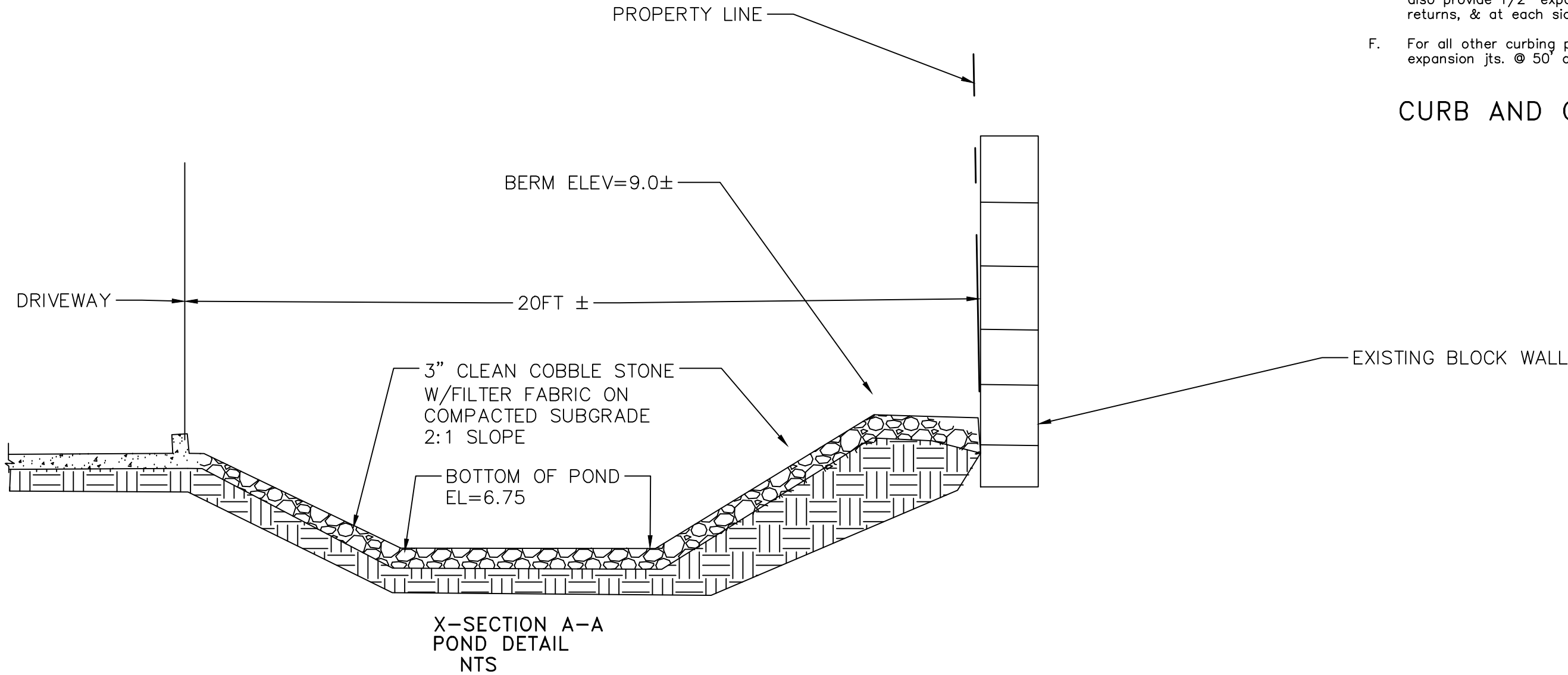
KEYED NOTES:

1. Pavement section per drawings and specs.
2. Finished grade.
3. Prepared subgrade.
4. 3/4" radius.
5. 1 1/2" radius.
6. Not used.
7. Concrete curb.
8. Not used.
9. Varies, depress as needed.
10. Not used.
11. Tack coat.

CURB & GUTTER CONSTRUCTION NOTES:

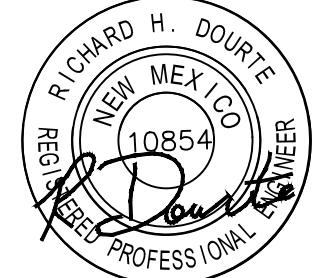
- A. Curbs, gutters & cut-off walls to be constructed of 3500 psi P.C.C unless otherwise noted.
- B. Edges not specifically dimensioned shall be edged with a 3/8" edging tool.
- C. Remove & replace 12" wide strip of pavement beyond lip of gutter when constructing curb & gutter adjacent to existing o.c. pavement.
- D. Dimensions at rounded corners measured to intersection of straight lines.
- E. For 6" curb & gutter provide control jts. @ 6' o.c. max, also provide 1/2" expansion jts. at 30' o.c. max, at curb returns, & at each side of driveways.
- F. For all other curbing provide control jts. @ 10' o.c., provide expansion jts. @ 50' o.c. & adjacent to buildings and walls.

CURB AND GUTTER DETAILS



S.O.19 : NOTICE TO CONTRACTORS

1	AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF -WAY.
2	ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THRU UPDATE #8.
3	TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (CALL 811) FOR LOCATION OF EXISTING UTILITIES.
4	PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIBY THE ENGINEER SO THAT THE CONFLICT CAN BE RESLOVED WITH A MINIMUM AMOUNT OF DELAY.
5	BACKFILL SOMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.
6	MAINTENANCE OF THESE FACILITIES SHALL BE TE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7	WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8	THE WORK IN THE CITY ROW MUST BE INSPECTED AND ACCEPTED, THE CONTRACTOR MUST CONTACT JASON RODRIGUEZ AT 235-8016 AND CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE INSPECTIONS.

 9/26/18 Richard Dourte P.E. #10854	Title: BURGER KING 5101 GIBSON BLVD SE	DRAWN BY DATE
	DETAILS	680.dwg
		SHEET # 2 of 2
	R.H.D Engineering, LLC 4905 Purple Sage Ave. NW ALBUQUERQUE, NM 87120 (505) 288-1621	JOB # XXXX